



Corporation of the Township of Brock

Staff Report to the Mayor and Members of Council

From: Paul Lagrandeur
Position: Director of Public Works
Title / Subject: Sidewalk Master Plan Revised
Date of Report: August 31, 2023
Date of Meeting: October 23, 2023
Report No: 2023-OP-009

1.0 Issue / Origin

Brock Township continues to upgrade its Sidewalk inventory to bring up to today's standards. Staff have been directed to revise the Sidewalk Master Plan.

2.0 Background

The last five-year Sidewalk Master Plan was created in 2018 through consultation with the Brock Accessibility Advisory Committee (BAAC) found in Report 2018-PW-11. The discussion included the reasoning for proposing removals to limit the liability to the Municipality for sidewalks that are not maintained in the winter.

The minimum standards for sidewalks to be installed will continue to utilize both the Ontario Provincial Standard (OPS) and the Accessibility for Ontarians with Disabilities Act (AODA) requirements in the construction of new sidewalks and walkways. See OPSD drawings in Related Policies/Procedures.

In determining locations where sidewalks are required, the minimum standard for sidewalk locations should be similar to that required in new subdivisions.

- A. Local roads shall have sidewalk on one side of the road.
- B. Collector roads shall have sidewalk installed on both sides of the road.
- C. Consideration shall be given to traffic volumes, number of homes and location of amenities when locating sidewalks
- D. The amenities to be considered in establishing a priority sidewalk network should include the following :
 - i. Schools
 - ii. Parks
 - iii. Libraries

- iv. Community Centres
- v. Town Halls
- vi. Medical Centres
- vii. Seniors Buildings
- viii. Subsidized housing
- ix. Commercial areas

Staff's plan to propose a new work plan for the next five years Sidewalk Capital will include a priority list of Remove and Replace existing sub standard sidewalks, determine locations where sidewalks are required.

3.0 Analysis

Below are charts with outstanding areas for sidewalks, new and remove and replace (Re/Re).

SUNDERLAND:

STREET	FROM	TO	LENGTH	Re/Re or New	CONDITION good/avg/poor	COST	PRIORITY
Albert St S	Brethour St	75m south to new park	75m	N		\$15,000	2024
Ida St	West end	East end	220 m	N		\$44,000	
Jane St	Ida St	North end	300m	N		\$60,000	
Waddell St	Ida St	North end	130m	N		\$26,000	
Albert St N	Ida St	North end	290m	N		\$58,000	
Albert St S	School	Thompson Rd	400m	N		\$80,000	
Pine St	River St	Water St	110m	R/R	A	\$22,000	

Cedar St	River St	South end	170 m	R/R	A	\$34,000	
Water St	Cedar St	Albert St S	210m	R/R	G	\$42,000	
Church St	Jones St	South end	120m	R/R	P	\$24,000	2027
James St	River St	Doble St	130m	R/R	G	\$26,000	
Maple St	River St	Jones St	110m	R/R	G	\$22,000	

CANNINGTON:

STREET	FROM	TO	LENGTH	Re/Re or New	CONDI TION	COST	PRIORITY
Addelaide St	McKay St	North End	140m	N		\$28,000	2028
Country Lane	Cameron St	Meadowlands Dr	260m	N		\$52,000	2024
Gibb St	Laidlaw St S	St Johns St	120m	N		\$24,000	2025
Davidson St	Laidlaw St S	Peace St	240m	N		\$48,000	2025
Peace St	Elliot St	Shedden St	410m	N		\$82,000	2026
Munroe St	Albert St	Hillside Cr	90m	N		\$18,000	
Park St	Hillside Cr west end	Albert St	260m	N		\$52,000	

Shedden St	Laidlaw St S	Peace St	240m	N		\$48,000	2025
St John St	Shedden St	Davidson St	240m	R/R	P	\$48,000	2026
St John St	Davidson St	Elliot St	170m	R/R	P	\$34,000	2026
Peace St	Cameron St	Elliot St	290m	R/R	A	\$58,000	
Munroe St	St Johns St	Peace St	120m	R/R	P	\$24,000	2025
York St	Cameron St	Dead End	260m	R/R	G	\$52,000	
Beaver Ridge Dr	Ann St N	Meadowlands Dr	190m	N		\$38,000	2026
Meadowlands Dr	West End	Beaver Ridge Dr	300m	N		\$60,000	2028

Meadowlands Dr	Beave Ridge Dr	Allison Cres	110m	N		\$22,000	2028
Meadowlands Dr	Allison Cres	North End Turnaround	160m	N		\$32,000	2028
Riverlea Rd	Meadowlands Dr	Meadowlands Dr	480m	N		\$96,000	
Heron Dr	Meadowlands Dr	Beaver Ridge Dr	290m	N		\$58,000	
Hillside Cres	Park St	Park St	500m	N		\$100,000	
Elliot St	St Johns St	Peace St	120m	N		\$24,000	2025

Beaverton:

Ethel Park Dr	First St	Victoria Ave	1,000m	N		\$200,000	2029
Morrison Ave	Victoria Ave	End. Checkerboard	1,100m	N		\$220,000	
Ninth St	Ethel Park Dr	Morrison Ave	290m	N		\$58,000	
Eighth St	Ethel Park Dr	Morrison Ave	280m	N		\$56,000	
Seventh St	Ethel Park Dr	Morrison Ave	250m	N		\$50,000	
Sixth St	Ethel Park Dr	Morrison Ave	210m	N		\$42,000	
Fifth St	Ethel Park Dr	Morrison Ave	190m	N		\$38,000	
Fourth St	Ethel Park Dr	Morrison Ave	170m	N		\$34,000	

Third ST	Ethel Park Dr	Morrison Ave	160m	N		\$32,000	
Second St	Ethel Park Dr	Morrison Ave	120m	N		\$24,000	
First St	Ethel Park Dr	Morrison Ave	50m	N		\$10,000	
Lakeland Cres	Pollock Ave	Butcher St	500m	N		\$100,000	2024
James St	Centre St	Main St	200m	N		\$40,000	2024
Colyer St	James St	End	210m	N		\$42,000	2028

Parklawn Blvd	Cedar Beach Rd	Main St	420m	N		\$84,000	2027
Main St W	Nine Mile Rd	Parklawn Blvd	230m	N		\$46,000	2025

Wood St	Osborne St	May St	180m	N		\$36,000	2026
May St	Short St	Church St	320m	N		\$64,000	2025
Centre St	James St	Franklin St	220m	N		\$44,000	2027
Franklin St	Centre St	Main St E	100m	N		\$20,000	2027
Madill St	North St	Simcoe St	130m	N		\$26,000	
Elmwood Ave	Parklawn Blvd	Existing S/W	100m	N		\$20,000	2026
Maplewood Ave	Parklawn Blvd	Existing S/W	100m	N		\$20,000	2026
Elm St	Victoria Ave	King St	120m	N		\$24,000	2027

Bay St	York St	Union St	180m	N		\$36,000	2029
Union St	Bay St	Simcoe St	100m	N		\$20,000	2029
Main St E	James St	400m East	400m	N		\$80,000	2024
Madill St	North St	Riverdale Rd	100m	N		\$20,000	
Riverdale Rd	Madill St	End	200m	N		\$40,000	
York St	Bay St	Park Ave	100m	N		\$20,000	2028
Park Ave	York St	Osborne St	60m	N		\$12,000	2028
Church St	Mill St	Dead End	270m	N		\$54,000	2028

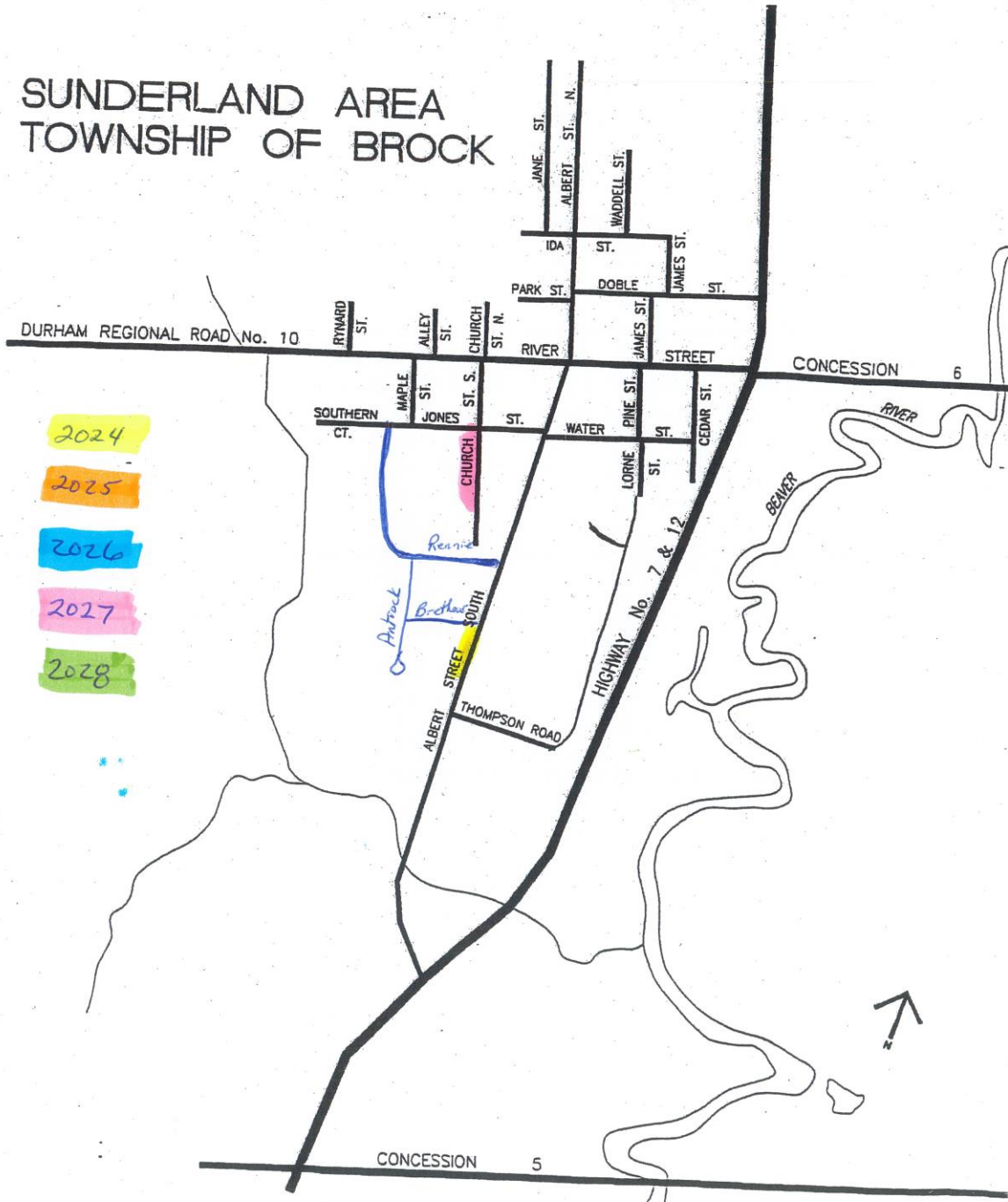
Mill St	Church St	Dead End	140m	N		\$28,000	
Wellington St	Victoria Ave	South End	230m	N		\$46,000	2027
Cedar Beach Rd	Parklawn Ave	Concession 5(T)	1250m	N		\$250,000	
Highland Cres	James St	Highland Cres	390m	N		\$78,000	
Elizabeth St	Beaver St	South End	170m	N		\$34,000	
Beaver St	Main St E	Elizabeth St	60m	N		\$12,000	
Main St E	Dundas St	Franklin St	170m	R/R	G	\$34,000	
Mill St	Bay St	Simcoe St	100m	R/R	G	\$20,000	

Franklin St	Mara Rd	Centre St	150m	N		\$30,000	2027
Madill St	Simcoe St	North St	130m	N		\$26,000	2029

Staff believe the direction for Sidewalks should be concentrated on New Builds. Existing sidewalks for Re/Re are nearing having good and average conditions left. There are a few Poor conditions that will be addressed in the five-year plan as noted above.

MAPS:

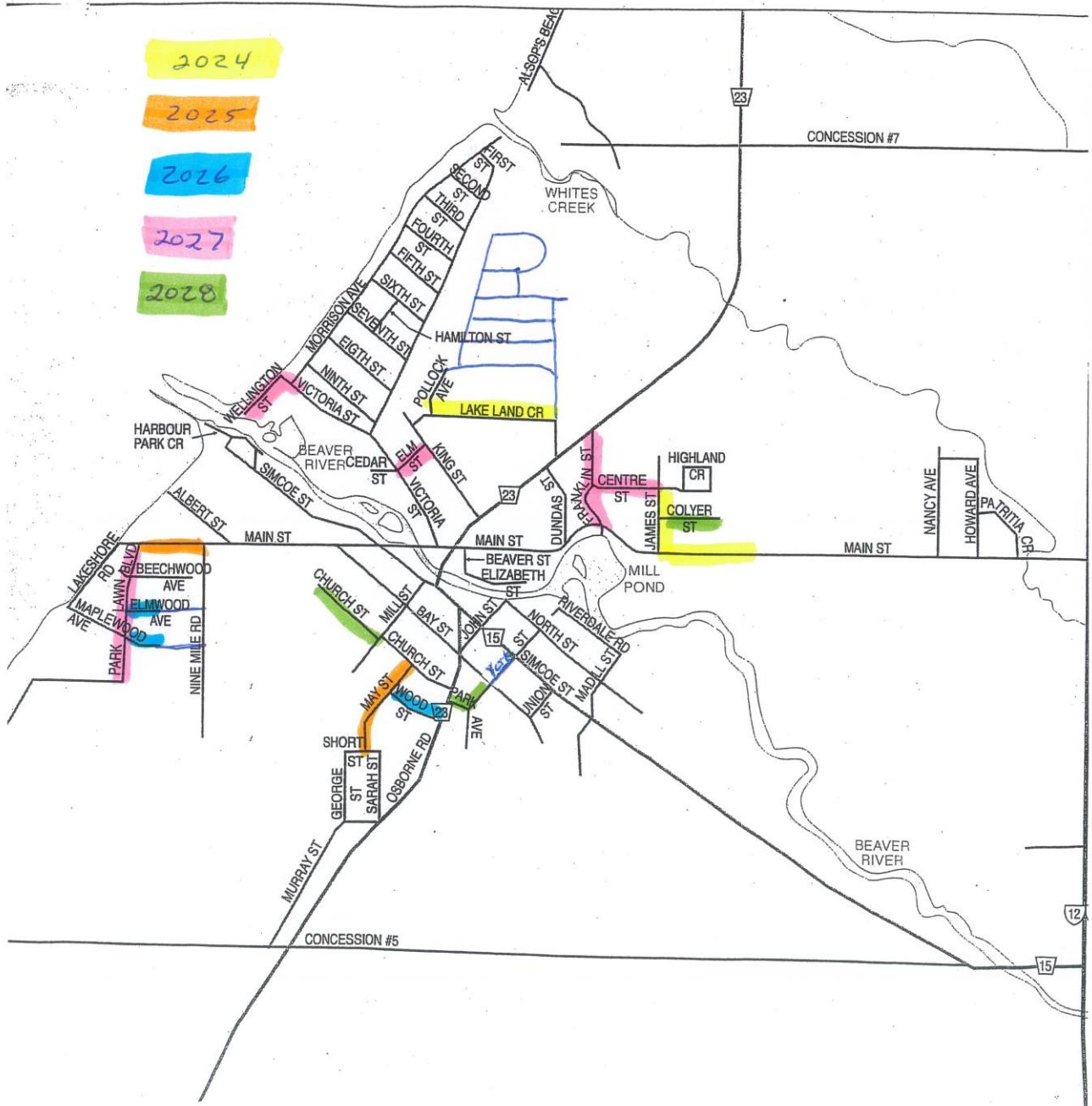
SUNDERLAND AREA TOWNSHIP OF BROCK





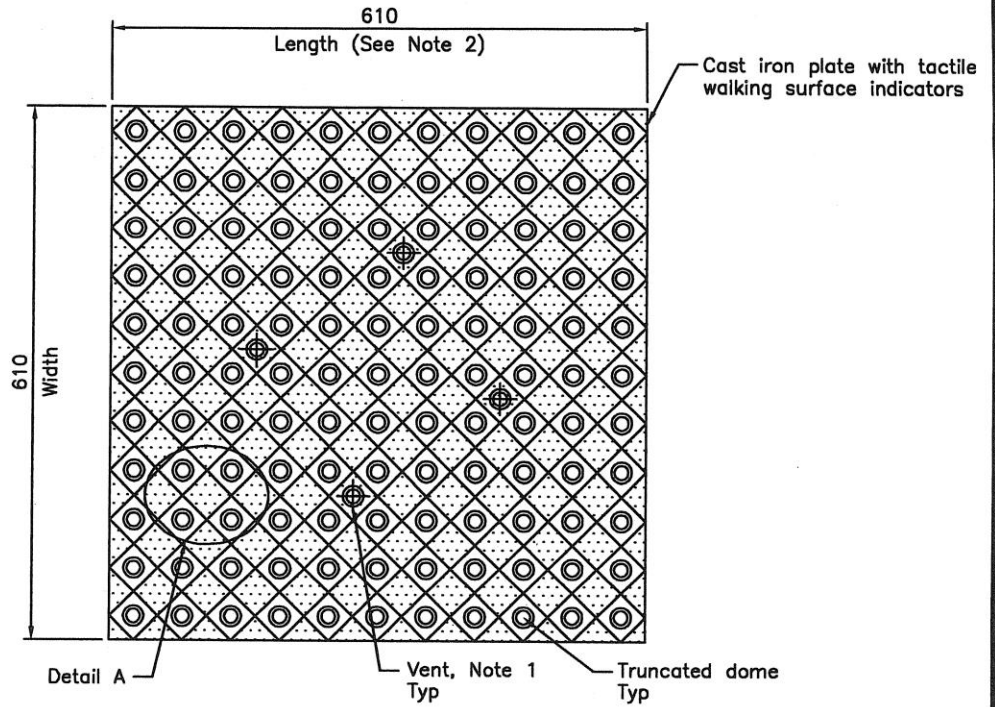
CANNINGTON URBAN AREA
TOWNSHIP OF BROCK

BEAVERTON

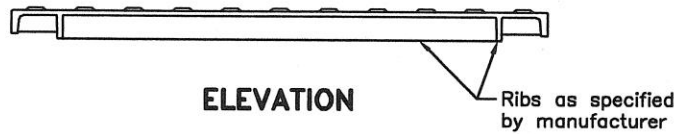


4.0 Related Policies / Procedures

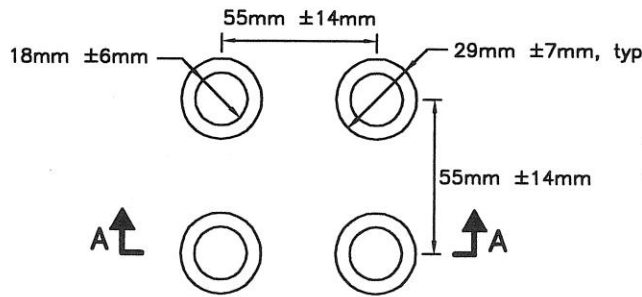
Ontario Provincial Standard Drawings:



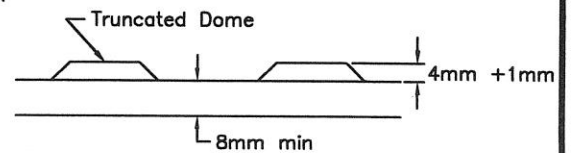
PLAN



ELEVATION




**DETAIL A
TRUNCATED DOMES PLAN**

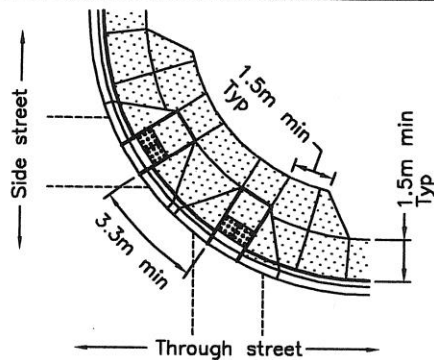


SECTION A-A

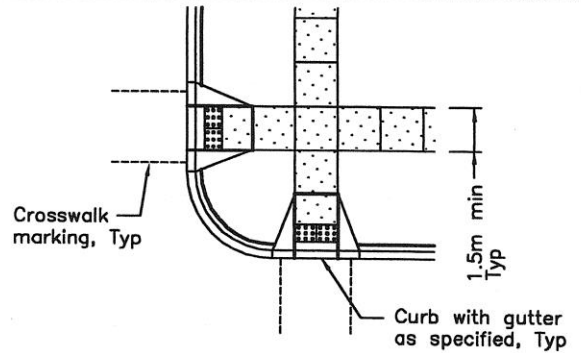
NOTES:

- 1 Vents shall be as specified by the manufacturer.
- 2 Length of plate may be increased to suit the curb depression width.
- A Adjacent cast iron plates shall be permanently connected using a locking mechanism and any hardware shall be hot dipped galvanized.
- B All dimensions are in millimetres unless otherwise shown.

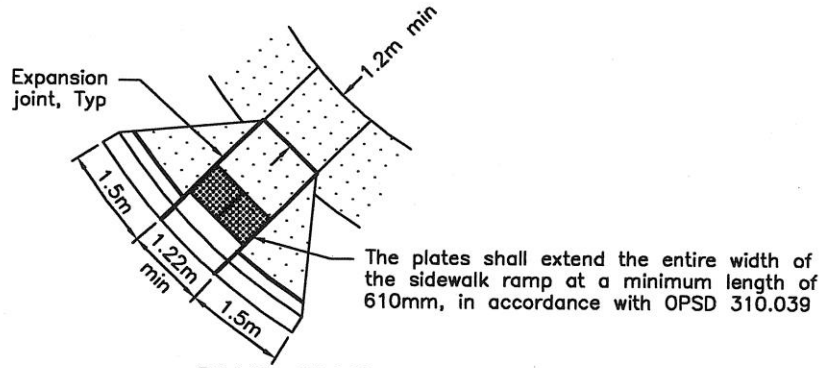
ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2015	Rev 0	
CONCRETE SIDEWALK RAMPS TACTILE WALKING SURFACE INDICATORS COMPONENT	-----		
OPSD 310.039			



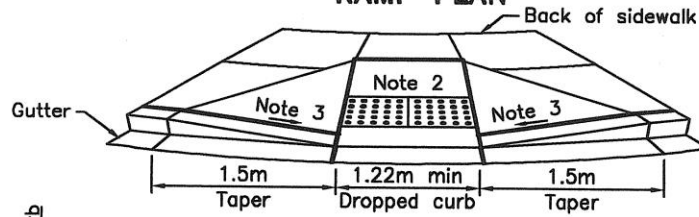
DOUBLE RAMP WITHOUT BOULEVARD



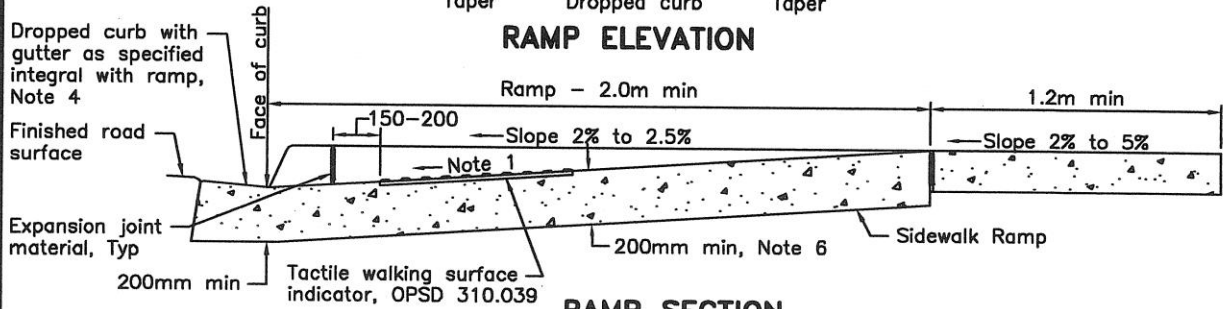
RAMPS WITH BOULEVARD



RAMP PLAN



RAMP ELEVATION



RAMP SECTION

NOTES:

- 1 Slope of ramp shall not exceed 8%.
- 2 Cross slope of ramp shall not exceed 2% in either direction.
- 3 Cross slope of flared side of ramp shall not exceed 8%.
- 4 Dropped curb at ramp shall be modified to eliminate 30 mm step at gutter line.
- 5 Minimum thickness of ramp is 200mm. Minimum thickness of sidewalk and flared sides adjacent to ramp is 150mm.
- A All dimensions are in millimetres unless otherwise shown.

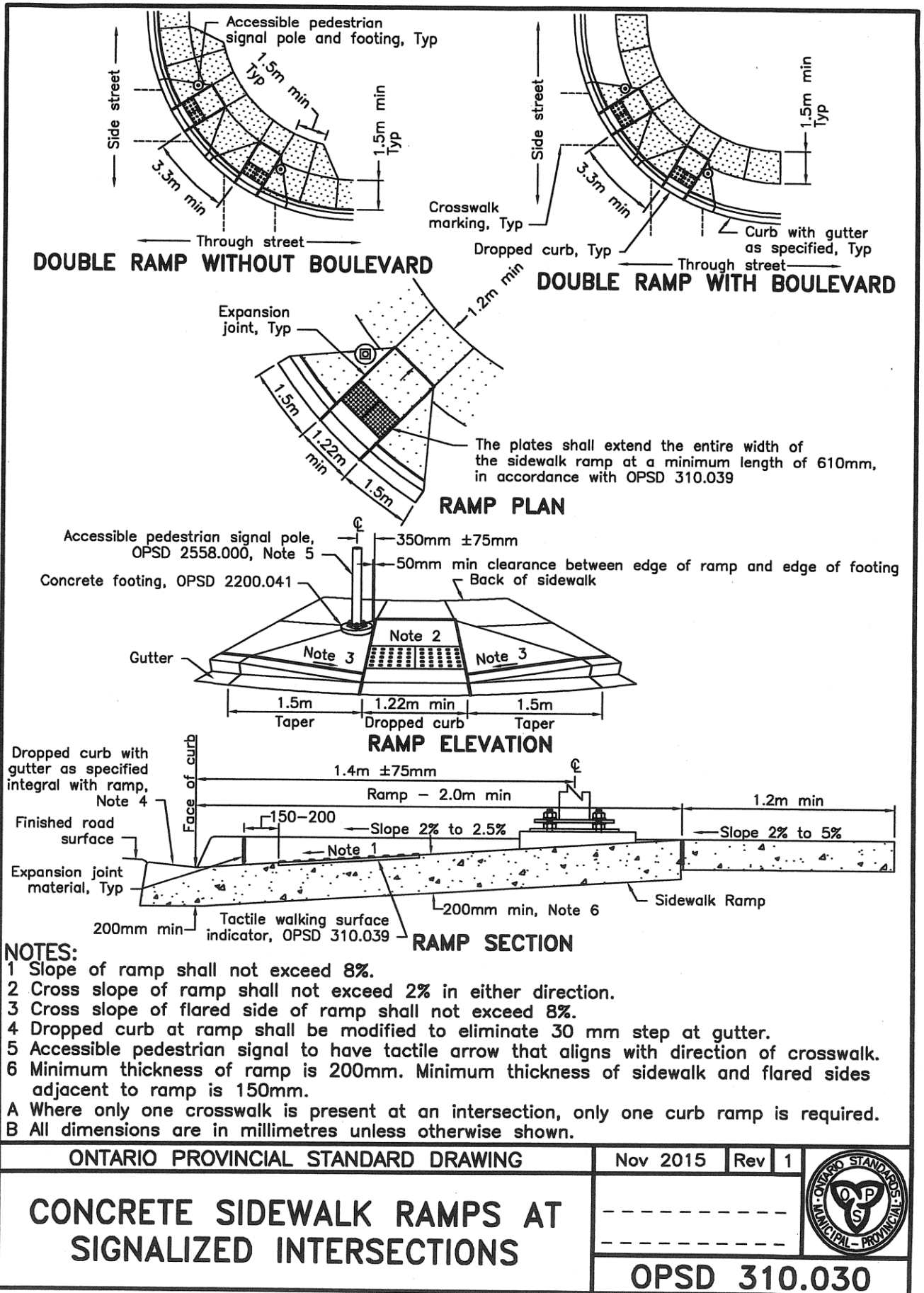
ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2015 Rev 0

CONCRETE SIDEWALK RAMPS AT UNSIGNALIZED INTERSECTIONS



OPSD 310.033



DOUBLE RAMP WITHOUT BOULEVARD

DOUBLE RAMP WITH BOULEVARD

RAMP PLAN

RAMP ELEVATION

RAMP SECTION

NOTES:

- 1 Slope of ramp shall not exceed 8%.
 - 2 Cross slope of ramp shall not exceed 2% in either direction.
 - 3 Cross slope of flared side of ramp shall not exceed 8%.
 - 4 Dropped curb at ramp shall be modified to eliminate 30 mm step at gutter.
 - 5 Accessible pedestrian signal to have tactile arrow that aligns with direction of crosswalk.
 - 6 Minimum thickness of ramp is 200mm. Minimum thickness of sidewalk and flared sides adjacent to ramp is 150mm.
- A Where only one crosswalk is present at an intersection, only one curb ramp is required.
 B All dimensions are in millimetres unless otherwise shown.

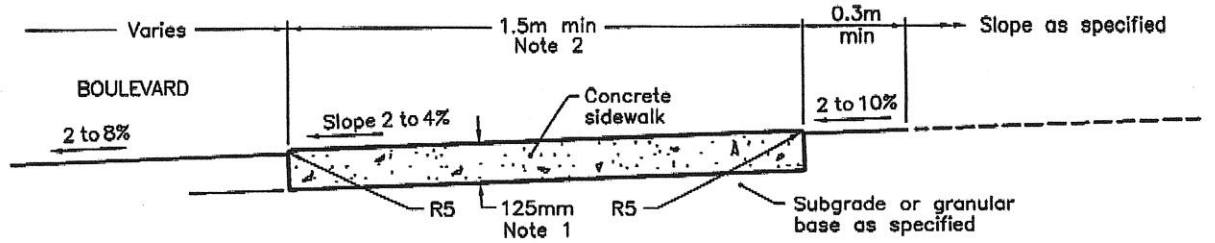
ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2015 Rev 1

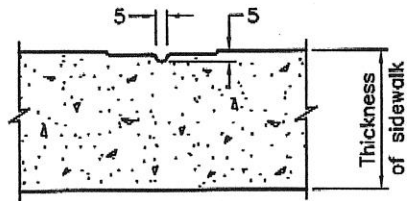


CONCRETE SIDEWALK RAMPS AT SIGNALIZED INTERSECTIONS

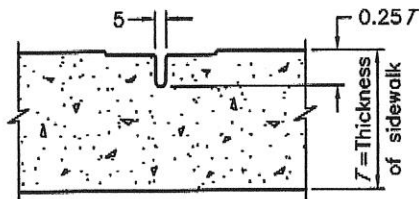
OPSD 310.030



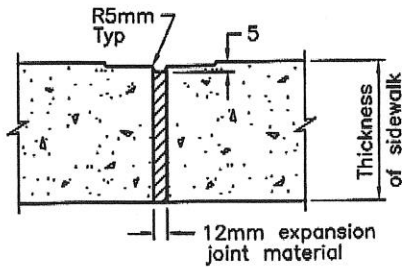
TYPICAL SECTION



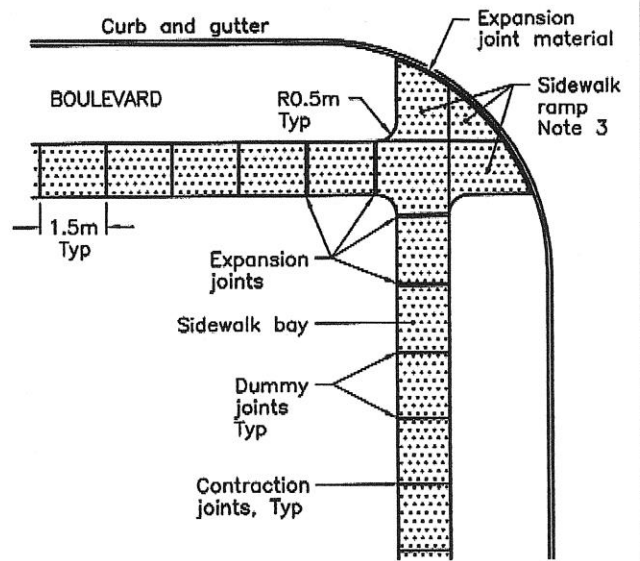
DUMMY JOINT (OPTIONAL)



CONTRACTION JOINT



EXPANSION JOINT



JOINT LAYOUT

NOTES:

- 1 Sidewalk thickness at residential driveways and adjacent to curb shall be 150mm. At commercial and industrial driveways, the thickness shall be 200mm.
- 2 Sidewalk width shall be wider when specified.
- 3 This OPSD shall be read in conjunction with OPSD 310.030, 310.031, 310.032, 310.033 and 310.039.
- A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2015 Rev 2



CONCRETE SIDEWALK

OPSD 310.010

5.0 Financial / Budget Assessment

The report shows \$440,000 for Remove and Replace Existing Sidewalk. The report also shows \$3,183,000 for New Sidewalk Construction in new places. The amounts given are with today's conservative price of \$200/linear metre.

As there is a desire for the addition of new Sidewalk locations, the 2024 limit will need to be \$300,000 from Development Charges. In future years, the budget will be reviewed annually, and adjusted, if required, in accordance with available funding, however, it is currently anticipated to be as follows:

- 2025 - \$24,000 will come from the Capital Reserve Fund- Sidewalks and \$276,000 from DC's.
- 2026 - \$82,000 from the Capital Reserve Fund- Sidewalks and \$218,000 from DC's.
- 2027 - \$24,000 from the Capital Reserve Fund- Sidewalks and \$276,000 from DC's
- 2028 is projected to come from Developmental Charges.

Staff recommend that the budget remain at \$300,000 per year and that funding be allocated per the annual budget process.

6.0 Climate Change Impacts

N/A

7.0 Communications

N/A

8.0 Conclusion

On the basis of the foregoing review, staff recommend to proceed with the plan for Sidewalk placement throughout the Township.

9.0 Recommendation

On the basis of the foregoing review, it is recommended:

THAT staff report 2023-OP-009 Sidewalk Master Plan Revised be received:

AND THAT staff be authorized to proceed with the recommendation of the plan.