

SUNDERLAND TOWN HALL BUILDING CONDITION ASSESSMENT REPORT

TOWNSHIP OF BROCK



LARKIN ARCHITECT LIMITED

SEPTEMBER 2023

INTRODUCTION

Larkin Architect Limited was commissioned by The Corporation of The Township of Brock to complete a building assessment report for the Sunderland Town Hall. The investigations included a site visit on July 14, 2023, to review the condition of the building's exterior envelope, interior finishes, visible structural elements, and systems such as HVAC, electrical, fire alarm, A/V, and I/T, based upon what was accessible and visible by the naked eye without conducting destructive testing to uncover any potential underlying issues. Wayne Ward, Manager, Parks, Recreation, Facilities, IT, CEMC (Alt.) for the Township of Brock accompanied Roberto Chiotti, OAA, FRAIC, founding principal of Larkin Architect Limited during the investigations.

As instructed by the Township, the report does not include the involvement of civil, structural, mechanical, and electrical engineering consultants nor does the report include a Life Safety Study or Fire Safety Plan as defined under the applicable Retrofit Fire Code legislation. We were advised that Fire Code Retrofit upgrades were completed in the 1990's. Current legislation requires new buildings to have "Running Man" exit signs and it is understood that upgrades to do so are planned. LAL was also advised that Golder Associates provide the Township with annual Designated Substances Condition Reports, and as such, this report does not address hazardous materials.

EXECUTIVE SUMMARY

In general, the Sunderland Town Hall has been well maintained and appears to be in good shape (Refer to Fig.'s div. 1.1 to 1.3 inclusive) except for a few minor masonry issues, non-compliant protection of exits, and the desire to meet AODA accessibility standards. A detailed spreadsheet identifying required maintenance, priorities/timeframes, and estimated budgets in 2023 dollars can be found in the appendices. It should be noted that actual costs are subject to market conditions at time of tendering and any changes in the scope of work. In addition, relevant photographs referenced in the report have been included in the appendices. This building assessment report represents observations of existing conditions noted on July 14, 2023. Regular maintenance and monitoring of the items noted should be carried out on an annual basis as a minimum and addressed when required to avoid significant replacement costs.

The Rose Window has been subject to a recently completed contract to replace the deteriorated frame, clean the stained glass, install new protective exterior glazing with a ventilated interstitial space, provide exterior sill flashings, and complete repairs to the interior plaster surround. Drawings for this work are included in the appendices. (Refer also to Fig.'s Div. 8.11 and 8.12). Another project to replace the front doors with a barrier-free entrance and to replace the deteriorating balcony doors has been tendered and currently under review by the Township. (Refer to Fig.'s Div. 8.1 to 8.4 inclusive). The drawings for this project are also included in the appendices along with basic building layout drawings provided by the Township.

DIVISION 1 – GENERAL REQUIREMENTS

The main venue space in the Town Hall is the auditorium which has non-fixed seating signed for 231 persons on the main floor and fixed seating for 120 persons in the balcony. The main auditorium floor is also signed for 182 persons seated at tables and chairs. The floor of the auditorium is slightly raked under the balcony and then levels out beyond its leading edge. We understand that there are plans underway to provide an extended stair access to the stage in the location where the stackable chairs are currently stored. The balcony is supported by the exterior masonry and two intermediate steel columns. No major cracks indicating structural deterioration or failures were observed. There appear to be sufficient signed exits to accommodate the signed occupant loads. Since the exit signs for the “transept” exits to the fire escapes cannot be seen from the rear of the auditorium, it is recommended to add directional signage that is visible from there. (Refer to Fig.’s Div.1.1to 1.3 inclusive). It was noted that the first-floor banquet hall is only accessible from the lobby via a short, portable ramp that does not meet code requirements. Similarly, the washrooms serving this area do not have barrier-free accessibility due to a step in the corridor. (Refer to Fig. Div. 17.1). A code compliant ramp should be constructed to access the lobby exits. Similarly, it would be prudent to provide barrier-free accessibility to the second exit door from this room. If no major renovations to the space are contemplated, providing a barrier-free entrance may not precipitate the requirement to provide a universal washroom but that decision would be at the discretion of the local CBO.

DIVISION 2 – SITE WORK

Generally, the Town Hall grounds appear to be well maintained. There are three parking spaces provided on site including one that is barrier-free. There is a sign adjacent to the door from the rear meeting room that warns the public to “watch for falling snow from the roof”. It would be prudent to assess the situation during freeze thaw cycles in the winter to determine if a canopy is necessary to protect the building users. (Refer to Fig. Div. 2.1). This item has not been included in the costing spreadsheet for that reason. The freestanding signage for the facility has deteriorated to the point where it requires replacement. (Refer to Fig. Div.2.2). The supporting post is deteriorating at grade and represents the potential for failure. (Refer to Fig. Div. 2.3). It should be monitored on a regular basis for stability and removed or replaced if deemed unstable. A French drain was installed in the rear yard to accept roof run-off via connected downspouts as well as surface water in the area. We were advised that the buried drainpipe connecting the downspout to the French drain remains free flowing during freezing weather. It was also noted that the grades on the west side of the property were adjusted to accommodate grade changes on the adjacent property. It was advised that the French drain appears to be dealing with the storm water, so no work is anticipated at this time. (Refer to Fig. Div. 2.4). The concrete and unit paver walkways on the property appear to be in serviceable condition.

DIVISION 3 – CONCRETE

The building has decorative windowsills, keystones, and buttress caps which appear to be limestone but are in fact made of an early form of precast concrete commonly referred to as “Roman Stone” as produced by a local Toronto manufacturer of the same name owned by Sir Henry Pallett, who used the product in lieu of limestone for his own home, Casa Loma. The material is showing signs of age with hairline cracks appearing. It should be noted that one on the east façade appears to have already been replaced with a new precast concrete sill. The pieces with horizontal surfaces should be monitored on a regular basis and eventually replaced or protected with LCC flashings to prevent further deterioration. (Refer to Fig.’s Div. 3.1 to 3.7 inclusive) Due to the fact that the keystones are vertically oriented, they appear to have little or no deterioration. (Refer to Fig. Div. 4.1)

There is a crack in the east wall foundation which should be repaired with a historically appropriate patching material such as those produced by Jahn Masonry Mortars. (Refer to Fig. Div. 3.8).

DIVISION 4 – MASONRY

The masonry on the building appears to be in good shape for a building of its age with some minor deterioration occurring at areas in close proximity to paved areas at points of entry to the building subject to the use of de-icing salts in winter. (Refer to Fig.’s Div. 4.2, 4.4, 4.6 and 4.9). In the case of Fig. Div. 4.5, the joint between the brick window arch and the wall masonry appears to have lost some mortar in its joints. There is a crack telegraphing from a window arch on the east façade. These areas should have deteriorated bricks replaced and missing mortar joints re-pointed with compatible historic lime mortars. Previously, some re-pointing has been done with what appears to be non-compatible Portland cement mortars. (Refer to Fig. Div. 4.10) This practice should be discouraged as cement-based mortars have a higher compressive strength than the original brick which then becomes vulnerable to spalling during freeze-thaw cycles. In many cases, it is necessary to remove these mortars and replace them with compatible historic lime mortars to arrest deterioration of the adjacent masonry. In this case, it would be prudent to provide ongoing monitoring and complete repairs when deterioration becomes apparent as part of a phased building envelope restoration process.

Fig. Div. 4.7 illustrates a vent in the masonry pilaster on the east elevation. It occurs on all four pilasters and is speculated to represent a form of passive ventilation for the auditorium as similar vents can be seen at the floor of the auditorium in alignment with the ones at the top of the pilasters. There does not appear to be any deterioration associated with these vents, so no action is required at this time. Fig. Div. 4.8 indicates a crack in the masonry telegraphing from the precast Roman Stone sill likely caused by freeze-thaw cycling or an impact. This should be

repaired as soon as possible to prevent further deterioration. Fig. Div. 4.3 indicates some chipped masonry around the rose window. Photos taken prior to the window restoration indicate its presence. These bricks should continue to be monitored and replaced if significant deterioration occurs.

As already mentioned, the costing spreadsheet identifies a three-phase building envelope restoration project that should be budgeted for over the next 5-10 years. The scope of work includes masonry restoration, window frame/sash restoration, re-painting of all wood elements, providing new sealants, and other associated work that can be done from the same scaffolding which constitutes the largest proportion of the costs associated with each phase of the work.

DIVISION 5 – METALS

Metals refer to miscellaneous metal items such as fire escapes and railings. Fig.'s Div. 5.1 and 5.2 indicate a vestigial iron through-bolt in the front wall of the upper balcony. One suspects that it once supported something hung in the space or on the exterior that no longer exists. Fig. Div. 5.3 indicates the front exterior balcony railing to be in good shape although it will require annual monitoring to check for corrosion. Periodic painting with rust resistant paint is recommended.

Fig.'s Div. 5.5 and 5.6 reference the west fire escape and corrosion on the landing and its anchorage which is causing damage to the surrounding masonry. As the fire escapes represent a means of egress, repairs to ensure a safe path of exit are paramount. Fig.'s Div. 5.7 and 5.8 reference the east fire escape which passes by windows on the first floor thereby exposing the path of egress to potential fire should it occur on that level when the upper floor is occupied. This could result in an order to comply from the fire department at any time. Possible solutions would be to provide fire shutters on the interior side of the offending windows or applying a hollow metal frame with fire rated glass on the exterior although the available masonry depth appears to be insufficient to add exterior protection. A similar situation occurs at the west fire escape. Refer to Fig. Div. 8.15. Fig. Div. 5.9 illustrates corrosion on the landing of the east fire escape which represents a priority repair to ensure a safe means of egress from the auditorium. Fig. Div. 5.10 illustrates a steel column supporting the auditorium balcony faux painted to look like stained wood. Fig. Div. 5.11 illustrates the auditorium balcony decorative wrought iron railing with add pipe above at 36" AFF to serve as a code compliant guard. Unfortunately, the new steel railing allegedly blocks sightlines to the stage.

DIVISION 6 – WOOD

Generally, the exterior wood elements of the building are in good condition. However, the protective coatings appear to be deteriorating and should be prepped and re-finished soon to avoid deterioration. (Refer to Fig.'s Div. 6.4 to 6.7). Fig. Div. 6.1 and 6.2 illustrate the condition

of the exterior balcony facias which are showing sufficient deterioration of the finishes and underlying wood to require replacement soon. The surface of the deck should be re-finished at the same time and the supporting structure and roof membrane (not visible) should be checked to determine its condition. Fig. Div. 6.3 indicates the balcony soffit to be in good condition with no signs of leaking from above. This work has been included in the phased building envelope restoration process as identified in the cost spreadsheet.

Fig. Div. 6.8 indicates a wooden handrail that separates the balcony storage area from the seating area. Access to this area is precarious and the lack of a railing to protect crew from falling into the stair well represents a risk that should be remedied. A proper latched gate to this area should also be considered.

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

Due to its age, the building is made of solid masonry construction and as such does not have any thermal insulation. The attic was not accessed due to the location of its portal (Refer to Fig. Div. 8.16), so whether it has adequate insulation and ventilation remains unconfirmed although it is presumed to be inadequate to meet current code standards. There was no indication of condensation on the painted tin ceiling of the auditorium. The current roofing material is metal shingles which appear to have been installed within the last decade or two. These roofs have an expected service life of 40-50 years and as such, replacement costs have not been included in the costing spreadsheet.

The building does not have a basement, so the condition of the foundations was not determined although there does not appear to be any indication on the interior of rising damp. Fig. Div. 7.1 indicates a buried drainage pipe directing downspout water to the French drain. Despite what is presumably a shallow depth, the pipe reportedly does not freeze in winter.

DIVISION 8 – OPENINGS

Generally, the windows and doors appear to be in good condition with some minor exceptions. The stained glass appears to be in good condition as do the exterior protective glass panels.

Fig.'s Div. 8.1 and 8.2 illustrate the front doors to the town hall which are typical of their time, but do not meet current code standards for exiting. Drawings to provide a compliant single door with barrier-free operator were tendered recently and LAL is awaiting direction from the Township on next steps. Fig.'s Div. 8.3 and 8.4 illustrating the exterior balcony doors were part of the same tender process. In this case, the doors have deteriorated to the point at which they require replacement, but do not require accessibility, so can be replicated.

Fig.'s Div. 8.5 & 8.6 illustrate the east emergency exit doors with a temporary ramp for accessibility. It is recommended that a proper code compliant landing and new ramp be

installed at your discretion. The doors themselves are painted hollow metal and appear to be in good shape. It should be noted that the door is not signed as an exit and should be to avoid confusion when exiting. (Refer to Fig. Div. 8.7).

Fig.'s Div. 8.8 & 8.9 illustrate the rear exit doors that serve the banquet hall and associated washrooms. One of the two original doors has been permanently blocked with a fixed painted plywood panel since the space behind is now part of a washroom. Both the base of the painted wood frame and the painted plywood panel are showing signs of deterioration likely due to moisture. It may be prudent to replace these with a hollow metal frame, door, and fixed panel.

Fig.'s Div. 8.10 & 8.11 illustrate the east doors to the kitchen. These are convenience doors and do not constitute a code compliant exit as there is a raised sill at the door threshold. The doors themselves are panelled wood and require re-finishing to avoid future deterioration.

Fig.'s Div. 8.12 & 8.13 illustrate the fully restored rose window completed this spring.

Fig. Div. 8.14 illustrates a front window with original stained glass in good condition. However, the paint finish on the windowsill has deteriorated to the point where the wood substrate is also beginning to deteriorate. All existing wood window frames should be assessed and re-painted to avoid further deterioration of the wood. The sills on the building's front windows either side of the rose window are also in need of attention. This work has been included in the phased building envelope restoration process.

Fig. Div. 8.15 illustrates unprotected openings at the base of the west fire escape. Like the unprotected windows exposed to the east fire escape, this one should either have an interior fire shutter installed or have a hollow metal frame with fire-rated glass installed on the exterior. Similarly, the exhaust vent above the window represents an unprotected opening and should have a fire flap installed if none now exists.

Fig. Div. 8.16 illustrates a vinyl window with prefinished aluminum flashings installed on the exterior side of the original wood window. It appears to be in good condition. The masonry below the window appears to be deteriorating. It is interesting to note that the bricks that form the flat arch above the windows appear to have been stained a darker red. This is also evident in a diamond shape on the front gable, on all the roman masonry arches over the windows and the rose window masonry surround.

Fig. Div. 8.17 illustrates the high portal to the attic. As such, the attic was not accessed.

Fig. Div. 8.18 illustrates a rear window like the one in Fig. Div. 8.16.

Fig. Div. 8.19 illustrates double acting doors between the upper lobby and the auditorium. The panel detailing and faux grain finish were specified for the balcony doors opposite so that they match.

Fig. Div. 8.20 illustrates a service stair that connects the auditorium stage with the lower banquet hall, frequently used as a rehearsal and/or green room for productions in the

auditorium. The wooden door breaches the required fire separation between floors and should be replaced with a fire rated hollow metal door and frame with fire-rated closer and latch. From a building code perspective, it should have a landing at the bottom although the code does not require a retroactive compliance.

Fig.'s Div. 8.21 & 8.22 illustrate the exit door from the rear meeting room which is neither signed as an exit nor is it code compliant because of the step at the threshold. Ideally, this exit should be made accessible with a landing and ramp.

Fig. Div. 8.23 illustrates the door from the banquet hall to the front lobby. It is served with a non-code-compliant temporary ramp for barrier-free accessibility. Ideally, it too should have a compliant landing and ramp.

Fig. Div.8.24 illustrates the signed lobby access doors to the east exit which were presumably installed as part of the Fire Code upgrades completed in the 1990's. These doors should not be held open with a door stop. If leaving it open facilitates day to day access, then a fire rated hold device linked to the fire alarm system should be installed. Note the exit sign beyond. It would be prudent to install another exit sign directly above or adjacent to the exterior door. Similarly, all existing exit signs should be upgraded to the "green running man" style that meets current code standards. Refer also to DIVISION 16 – ELECTRICAL.

Fig. Div. 8.25 illustrates the exit door from the auditorium to the fire escape. Its width is only 29" but meets acceptable code standards for existing buildings. Fig. Div. 8.26 illustrates gaps in the weatherstripping which causes wind whistling through the gaps. New weatherstripping should be installed to remedy this situation.

As a general comment, all exterior doors and windows should be checked for the condition of perimeter sealants and replaced everywhere to bring them to the same life cycle. Exterior sealants should be checked every five years as their life expectancy is limited to about 20 years maximum with the likelihood of premature failures occurring before that in some particularly vulnerable areas.

DIVISION 9 – FINISHES

Generally, the interior finishes are in good condition except for some drywall/plaster deterioration at window surrounds (Refer to Fig.'s Div. 9.1 to 9.3 inclusive) and some cracks in the drywall/plaster proscenium arch. (Refer to Fig.'s Div. 9.4 to 9.6 inclusive). The plaster at the window surrounds can be patched after the exterior wood windowsills have been repaired, repainted, and re-sealed since the likely cause of water infiltration is due to this problem.

The cracks on the stage proscenium do not appear to be of a structural nature. For aesthetic purposes, these cracks could be repaired and monitored to see if they re-appear. It is noted

that there are no control joints in the drywall/plaster and the cracks could indicate that the wall is creating its own control joints as it moves through the seasons.

The floors in the auditorium and other public areas appear to be in good condition. (Refer to Fig.'s Div. 9.7 and 9.8)

The decorative tin ceiling in the auditorium appears to be in good shape. (Refer to Fig.'s Div. 9.9 to 9.14 inclusive). As indicated in the photographs, there appear to be a few locations where the tin may have become released from its fasteners. These should be monitored and re-secured where required.

DIVISION 11 – EQUIPMENT

The only equipment noted was in the kitchen. (Refer to Fig.'s Div. 11.1 and 11.2). All kitchen appliances and fitments appeared to be well maintained and presumed to be functioning adequately. The exhaust hood appeared to be adequately sized for the domestic stoves that it serves. There was no fire suppression system observed in the hood so it is presumed that any cooking will not produce grease laden vapours or create other fire risks that would require upgrades to meet NFPA 96 requirements for commercial kitchens.

DIVISION 12 – FURNISHINGS

The balcony has fixed theatre style seating which appears to be in good condition. No. of seats, row lengths, and aisle widths appear to meet exit requirements. The main floor of the auditorium has non-fixed seating.

DIVISION 14 – CONVEYING DEVICES

The building is served by a personal accessible lift (PAL) but its condition was not determined during the investigations but assumed to be functional. A regular maintenance agreement with a qualified accessible lift service provider should be in place.

DIVISION 15 – MECHANICAL

Fig. Div. 15.1 illustrates a view of the rear mechanical room with what appears to be venting for high efficiency gas furnaces. The gas intake and meter are located immediately to the east of this addition.

The mechanical room attached to the rear of the building was inaccessible during the site investigations. After the date of the site visit, LAL was provided with photographs of the furnaces. (Refer to Fig.'s Div. 15.5 and 15.6) illustrating the two, domestic gas fired furnaces which appear to be in working condition. Normally, 20 years is the anticipated service life from heating equipment, so budgeting for replacement at the appropriate time should be considered. Because the age of the existing equipment is unknown, replacement costs have not been included in the spreadsheet. Heating equipment is becoming more energy efficient, and it is always worthwhile to consider long term operating/maintenance costs in addition to initial capital investments when selecting mechanical systems. Any opportunity to reduce dependency on fossil fuels should be considered.

Fig. Div. 15.7 indicates the new $\frac{3}{4}$ " water service that was recently installed to replace the existing service.

Fig. Div. 15.2 illustrates an anomalous vent pipe found at grade on the east elevation next to another round aperture stuffed closed with a glass pop bottle. It was indeterminate as to what these apertures were for and whether they are currently actively serving the facility. Further investigations may be warranted.

Fig. Div. 15.3 illustrates exterior vent stacks and exhaust grille for the lower floor washrooms serving the banquet hall.

Fig. Div. 15.4 illustrates the current janitorial/utility closet accessible from the interior of the building. The electric water heater appears to be relatively new. It was noted that some of the domestic water piping to the unit is not insulated. It was advised that no flammable cleaning supplies are stored in the closet therefore eliminating the building code requirement to have the room fire isolated from the remainder of the facility. There was no exhaust fan observed in this room.

It was recommended that the washroom exhausts be replaced.

There is no mechanical ventilation of the space. Any major renovations that alter the occupant load will precipitate the need to provide mechanical ventilation. There appears to be a passive form of ventilation in the side wall masonry buttresses but whether it works is uncertain. These systems were typical in assembly occupancies of this vintage.

DIVISION 16 – ELECTRICAL

It should be noted that the incoming electrical service and distribution panels were not observed during our investigations although, subsequently it can be surmised that based upon the location of the mast and meter, the service is located within the kitchen cabinet above the dishwasher. (Refer to Fig. Div. 11.1). There were no remarks provided about the adequacy of the service capacity. The building does not appear to be air conditioned, so the electrical draw

is likely not significant. A 200-amp service may be adequate for the building. A subpanel servicing several electrical outlets was noted on the auditorium balcony in the area used by the performance technical operators. (Refer to Fig. Div. 16.1) Further investigations with respect to the condition of the service main switchgear and panels may be warranted.

We were advised that the existing knob and tube wiring did not present a fire hazard. (Refer to Fig. Div. 16.2)

There appears to be an abandoned power box which previously served a light fixture used to backlight the rose window. The wiring should be capped and made safe, and the box closed. (Refer to Fig. Div. 16.)

We were advised that upgrades were completed to comply with the Retrofit Fire Code legislation back in the 1990's and that the current fire alarm system is monitored and maintained on an annual basis. All exit signs should be replaced with "running man" style. Similarly, the auditorium fires escape exits should be identified with directional exit signs that can be seen from the rear of the space.

We were advised that the Electrical Safety Authority (ESA) recently completed an inspection under the auspices of the Continuous Safety Services (CCS) Program. We were further advised that only one deficiency was identified which has subsequently been remedied.

DIVISION 17 – OTHER

It was observed that the rear exit corridor serving the banquet hall and associated washrooms has a step that prevents a barrier-free path to the rear exit and washrooms. The front of house washrooms each have a handicap stall. However, it would be prudent to provide at least two exits that are barrier-free from the first floor.

CONCLUSIONS

The report confirms a building that has been well maintained over its life and is now in need of some minor attention over the next couple of years but will be ready for a more comprehensive building envelope maintenance program within the next 5-10 years. Anticipated expenditures required over the next 1-2 years can be done piecemeal using individual trades. The aggregate expenditure that should be budgeted for that period is estimated to be just over \$125,000 in 2023 dollars. The largest proportion of that amount (\$84,500) can be attributed to the replacement of the front doors with a barrier-free, historically appropriate entrance and the replacement of the exterior balcony doors. Over the following 2-3 years thereafter, only \$10,000 of work was identified which relates to the replacement of the rear corridor exit door, frame, and side panel. The largest amount to be budgeted falls within the 5-10 year period from the present and constitutes a phased, overall building envelope restoration encompassing

masonry, windows, painting, sealants, the balcony deck and roof membrane, etc. The work has been broken down into three phases with the front façade, east façade, north and west facades listed in order of priority. Each phase is estimated to cost approximately \$200,000 in 2023 dollars. A significant portion of that amount can be attributed to scaffolding, therefore combining all work associated with each façade into a single phase is the most cost-effective way to address the issues identified in the report. Monitoring the items addressed in the report on an annual or semi-annual basis can determine if items can be deferred or need immediate attention. All items identified for the first two years should be addressed during that time frame.

Appendices

A.1 Division 1 – General Requirement



FIG. Div.1. 1 –Auditorium Panorama



FIG. Div.1. 2–View of Auditorium Towards Lobby



FIG. Div.1. 3–View of Auditorium From Stage

A.2 Division 2 – Site Work



FIG. Div.2. 1- Falling Snow Warning Sign



FIG. Div.2. 2- Freestanding Signage 1



FIG. Div.2. 3- Freestanding Signage 2



FIG. Div.2. 4 - Rear Area French Drain

A.3 Division 3 – Concrete



FIG. Div.3. 1 – Front Window Sill



FIG. Div.3. 2 – Front Buttress Cap Stone.



FIG. Div.3. 3 – Front Buttress Cap Stone 2



FIG. Div.3. 4 – Front Buttress Cap Stone 3



FIG. Div.3. 5 – Front Buttress Cap Stone 4



FIG. Div.3. 6 – Front Buttress Cap Stone 5



FIG. Div.3. 7 – East Window Sill



FIG. Div.3. 8 – East Wall Foundation

A.4 Division 4 – Masonry



FIG. Div.4. 1 – Front Window Arch



FIG. Div.4. 2 – Masonry at Exit Door



FIG. Div.4. 3 – Rose Window Masonry Surrounding



FIG. Div.4. 4 - West Entrance Canopy Column.



FIG. Div.4. 5 – West Front Window Masonry



FIG. Div.4. 6– East Entrance Canopy Column



FIG. Div.4. 7– East Elevation Pilaster

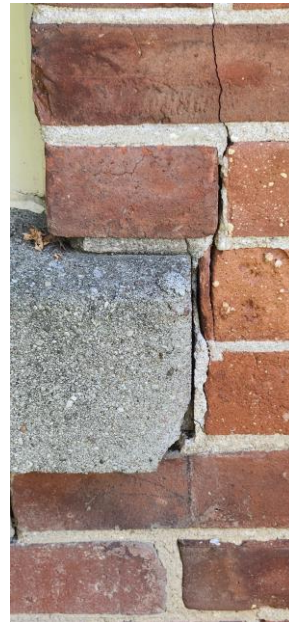


FIG. Div.4. 8– Rear Window Masonry at Sill



FIG. Div.4. 9 – Masonry at Exit Door



FIG. Div.4. 10– East Elevation Masonry at Downspout

A.5 Division 5 – Metals



FIG. Div.5. 1 – Anomalous Iron Through Bolt at Front Wall



FIG. Div.5. 2 – Interior View of Anomalous Iron Through Bolt



FIG. Div.5. 3 – Entrance Canopy Balcony Railing



FIG. Div.5. 4– West Fire Escape



FIG. Div.5. 5- West Fire Escape Anchorage



FIG. Div.5. 6- West Balcony Fire Escape Landing



FIG. Div.5. 7 - East Fire Escape



FIG. Div.5.8 - East Fire Escape 2



FIG. Div.5. 9- East Fire Escape Landing



FIG. Div.5. 10 - Balcony Column



FIG. Div.5. 11-Balcony Railing

A.6 Division 6 – Wood and Plastic



FIG. Div.6. 1 – Entrance Canopy Balcony Fascia



FIG. Div.6. 2 – Balcony Front Fascia



FIG. Div.6. 3 – Entrance Canopy Soffit



FIG. Div.6. 4 – East Fire Escape Canopy



FIG. Div.6. 5 – East Gable 1



FIG. Div.6. 6 – East Gable 2



FIG. Div.6. 7 – Main Roof Painted Wood Soffit



FIG. Div.6. 8 – Balcony Storage

A.7 Division 7 – Thermal and
Moisture Protection



FIG. Div.7. 1- Buried Downspout Drainage

A.8 Division 8 – Doors and Windows



FIG. Div.8. 1 – Front Doors (Exterior)



FIG. Div.8. 2 – Front Doors (Interior)



FIG. Div.8. 3 – Balcony Doors (Exterior)



FIG. Div.8. 4 – Balcony Doors (Interior)



FIG. Div.8. 5 – East Exit Doors



FIG. Div.8. 6 – East Exit Doors 2



FIG. Div.8. 7 – East Exit Doors



FIG. Div.8. 8– Rear Exit Door 1



FIG. Div.8. 9– Rear Exit Door 2



FIG. Div.8. 10 – East Doors to Kitchen



FIG. Div.8. 11 – Interior Kitchen Door



FIG. Div.8. 12 – Rose Window after Restoration.



FIG. Div.8. 13 – Restored Rose Window Exterior



FIG. Div.8. 14 – Front Window



FIG. Div.8. 15 – Exposed Window at West Fire Escape



FIG. Div.8. 16 – East Window



FIG. Div.8. 17 – Rear Elevation Attic Access



FIG. Div.8. 18- Rear Window



FIG. Div.8. 19 – Auditorium Doors



FIG. Div.8. 20- Back Stair to Auditorium



FIG. Div.8. 21 – Exit Door from Rear Meeting Room



FIG. Div.8. 22 – Exit Door from Rear Meeting Room 2

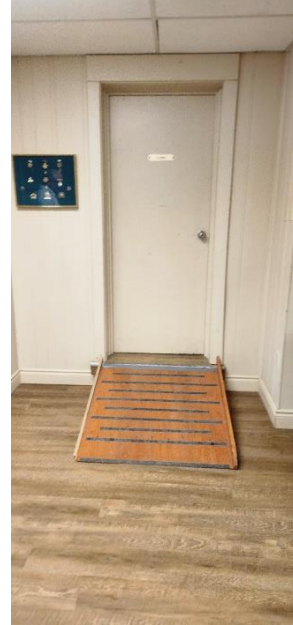


FIG. Div.8. 23 – Door to Lobby from Rear Meeting Room



FIG. Div.8. 24 – Lobby Access to East Exit



FIG. Div.8. 25 – East Fire Escape Exit Door



FIG. Div.8. 26 – West Balcony Door Threshold

A.9 Division 9 – Finishes



FIG. Div.9. 1 – Plaster at Auditorium West Window Sill



FIG. Div.9. 2 – Lobby Window



FIG. Div.9. 3 – Window Plaster



FIG. Div.9. 4 – Proscenium Arch 1



FIG. Div.9. 5 – Proscenium Arch 2



FIG. Div.9. 6 – Proscenium Arch 3

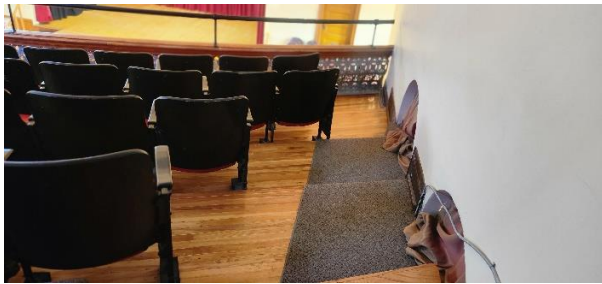


FIG. Div.9. 7 – East Balcony Aisle



FIG. Div.9. 8 – Raked Floor at Rear Auditorium



FIG. Div.9. 9 – Auditorium Tin Ceiling



FIG. Div.9. 10 – Tin Ceiling Detail 1



FIG. Div.9. 11 – Tin Ceiling Detail 2



FIG. Div.9. 12 – Tin Ceiling Detail 3



FIG. Div.9. 13 – Tin Ceiling with Detector



FIG. Div.9. 14 – Ceiling Crown Mold at Balcony

A.10 Division 11 – Equipment



FIG. Div.11. 1 – Kitchen 1



FIG. Div.11. 2 – Kitchen 2

A.11 Division 12 – Furnishings



FIG. Div.12. 1 – Balcony Seating

A.12 Division 15 –
Mechanical/Plumbing



FIG. Div.15. 1 – Mechanical Room Addition



FIG. Div.15. 2– East Wall Projecting Vent Pipe



FIG. Div.15. 3 – Rear Washroom Vent Stacks and Exhaust Vent



FIG. Div.15. 4 – Utility Box



FIG. Div.15. 5 – Furnace Room 1



FIG. Div.15. 6 – Furnace Room 2



FIG. Div.15. 7 – New Water Line

A.13 Division 16 – Electrical



FIG. Div.16. 1 – Sub-panel at Balcony Technical Support Area



FIG. Div.16. 2 – Light Fixture Serviced by Knob and Tube Wiring



FIG. Div.16. 3 – Abandoned Fixture Outlet Box

A.14 Division 17 – Other



FIG. Div.17. 1 – Step in Rear Exit Corridor

A6 - Cost Estimate Summary

*Refer to Condition Report for further descriptions (Recommendations) Lifespans >10years have not been costed.

*Note that Cost Estimates do not address ongoing maintenance tasks.

**"As Needed" is used for items that are recommended but at the discretion of the township

*Costs are order of magnitude for planning purposes only and will be determined upon a more detailed assessment of scope/approach and market conditions at time of tendering

Description	Estimated Cost in 2023 dollars	Priority
Division 02: SITE WORK		
replace existing signage and post	\$1,500	1-2 years
Total Estimated Costs for SITE WORK	\$1,500	
Division 03: CONCRETE		
Refer to Division 4: MASONRY		5-10 years
Total Estimated Cost for CONCRETE	\$0	
Division 04: MASONRY		
Phase 1 envelope restoration south façade (includes brick, roman stone sills/buttress caps, wood window sills, balcony deck/membrane/fascia/railing, re-painting wood elements, and new sealants)	\$200,000	5-10 years
Phase 2 envelope restoration east façade (includes brick, roman stone sills/buttress caps, wood window sills, re-painting wood elements, and new sealants)	\$200,000	5-10 years
Phase 3 envelope restoration west and north façades (includes brick, roman stone sills/buttress caps, wood window sills, re-painting wood elements, and new sealants)	\$200,000	5-10 years
Total Estimated Cost for MASONRY	\$600,000	
Division 05: METALS		
restore fire escapes east and west façades (includes associated masonry repairs)	\$10,000	1-2 years
Total Estimated Cost for METALS	\$10,000	
Division 06: WOOD		
for exterior wood refer to phased envelope restoration under MASONRY		5-10 years
additional wood railing and gate at balcony tech area	\$3,000	1-2 years
Total Estimate Cost for WOOD	\$3,000	
Division 07: THERMAL AND MOISTURE PROTECTION		
no work required under this division as part of building condition assessment		
Total Estimate Cost for THERMAL AND MOISTURE PROTECTION	\$0	
Division 08: OPENINGS		
Front Entrance and exterior balcony door Replacement	\$84,500	1-2 years
rear exit door replace with hollow metal frame, door and fixed panel	\$10,000	3-5 years
for repair and repainting of wood window frames/sash refer to MASONRY		5-10 years
fire rated door at stair to stage	\$1,500	1-2 years

A6 - Cost Estimate Summary

weatherstripping at auditorium fire escape doors	\$250	1-2 years
other accessibility upgrades (interior and exterior landings and ramps)	\$35,000	discretionary
to provide fire shutters at three windows adjacent fire escapes	\$20,000	1-2 years
Total Estimate Cost for OPENINGS	\$151,250	
Division 09: FINISHES		
repair plaster at window surrounds	\$1,200	1-2 years
repair cracks at proscenium arch	\$5,000	discretionary
check tin ceiling components for adequate securement where accessible by ladder	\$500	discretionary
Total Estimate Cost for FINISHES	\$6,700	
Division 15: MECHANICAL		
install fire flap at exhaust grille	\$1,000	1-2 years
replace washroom exhaust fans	\$1,000	1-2 years
Total Estimate Cost for MECHANICAL	\$2,000	
Division 16: ELECTRICAL		
replace exit signs with running man type	\$3,000	1-2 years
Total Estimate Cost for ELECTRICAL	\$3,000	
Subtotal		
	\$777,450	
Contractor General Conditions (8%)	\$62,196	
Contractor Overhead and Profit (15%)	\$125,947	
TOTAL ESTIMATED COST, 2023 DOLLARS	\$965,593	1-10 years

Notes:

1. Estimated costs do not include for Consultant fees, permit fees, and other associated cost other than construction costs.
2. Value Added Tax Extra