

BEAVERTON TOWN HALL BUILDING CONDITION ASSESSMENT REPORT

TOWNSHIP OF BROCK



LARKIN ARCHITECT LIMITED

SEPTEMBER 2023

INTRODUCTION

Larkin Architect Limited was commissioned by The Corporation of The Township of Brock to complete a building assessment report for the Beaverton Town Hall. The investigations included a site visit on July 14, 2023, to review the condition of the building's exterior envelope, interior finishes, visible structural elements, and systems such as HVAC, electrical, fire alarm, A/V, and I/T, based upon what was accessible and visible by the naked eye without conducting destructive testing to uncover any potential underlying issues. Wayne Ward, Manager, Parks, Recreation, Facilities, IT, CEMC (Alt.) for the Township of Brock accompanied Roberto Chiotti, OAA, FRAIC, founding principal of Larkin Architect Limited during the investigations.

As instructed by the Township, the report does not include the involvement of civil, structural, mechanical, and electrical engineering consultants nor does the report include a Life Safety Study or Fire Safety Plan as defined under the applicable Retrofit Fire Code legislation. LAL was also advised that Golder Associates provide the Township with annual Designated Substances Condition Reports, and as such, this report does not address hazardous materials. It should also be noted that this report is not being prepared as a response to an Order to Comply, recommendations, or request by any regulatory body.

Refer to FIG.'s Div. 0.1 and 0.2 for two historic photographs of the town hall shortly after it was erected.

EXECUTIVE SUMMARY

In general, the Beaverton Town Hall has been well maintained and appears to be in good shape (Refer to Fig.'s Div. 1.1 and 1.2) except for some ongoing masonry issues, non-compliant protection of exits, and water ingress problems at the rubble stone foundations. A detailed spreadsheet identifying required maintenance, priorities/timeframes, and estimated budgets in 2023 dollars can be found in the appendices. It should be noted that actual costs are subject to market conditions at time of tendering and any changes or refinements in the scope of work. In addition, relevant photographs referenced in the report have been included in the appendices. This building assessment report represents observations of existing conditions noted on July 14, 2023. Regular maintenance and monitoring of the items noted should be carried out on an annual basis as a minimum and addressed when required to avoid significant replacement costs.

The building roof was replaced under contract with Robertson Restoration Inc. in September 2015 at a cost of \$477, 195.00 plus HST. The scope of work included installation of two new metal imitation cedar roofs complete with new gutter systems and EPDM flat roofs, and a historical restoration of belfry cupolas including new copper cladding and decorative elements. The metal shingle roofing should have a 40-year service life expectancy and the copper roofing a 100-year service life. (Refer to FIG. Div. 1.1)

It also appears that the tower masonry was repointed at some time under separate contract, but the date of this work was unable to be confirmed at this time. Although unsubstantiated with testing, it appears that the mortar used for the restoration may be Portland cement based which is not recommended for historic masonry as it will accelerate damage to surrounding brick since it has a higher compressive strength than the historic bricks. Further testing or consultation with the masonry firm that did the work may be warranted to determine the type of mortar used. It was advised that the Roman stone repairs (sills and trim) were completed in 2014 so perhaps the tower brickwork was completed at the same time. If so, then the mortar used may well have been of appropriate historic lime mix. It would be helpful to have access to archival records to substantiate observations and/or speculations identified in this report.

DIVISION 1 – GENERAL REQUIREMENTS

The main venue space in the Beaverton Town Hall is the second-floor auditorium which has non-fixed seating signed for 237 persons on the main floor and fixed seating for 100 persons in the balcony. The balcony is supported by the exterior masonry and two intermediate steel columns. No major cracks indicating structural deterioration or failures were observed. The stage is served with theatre style lighting. There appear to be sufficient signed exits to accommodate the signed occupant loads. (Refer to Fig.'s Div.1.3 to 1.5 inclusive). If no major renovations to the space are contemplated, provision of a universal washroom to AODA and OBC requirements may not be necessary, but that decision would be at the discretion of the local CBO. A commemorative heritage plaque and original cornerstone indicating that the building was erected in 1910 can be observed mounted at the northwest corner of the building. (Refer to FIG. Div. 1.6)

DIVISION 2 – SITE WORK

Generally, the Town Hall grounds appear to be well maintained. There is limited parking at the rear of the building which presumably is reserved for Service Ontario clients during their operating hours. The adjacent library, (which does not form part of this report) represents an important companion structure to this historic precinct. (Refer to FIG. Div. 0.2).

FIG. Div. 2.1 illustrates an abandoned downspout drain to below grade. An investigation of below grade drainage systems does not form part of this report but could be a contributing source of moisture infiltration observed in the basement. Refer to DIVISION 4- MASONRY for further observations and commentary. The exterior sidewalks and steps leading to the building entrances appear to be in good shape except for some minor deterioration observed. (Refer to FIG.'s Div. 2.2 to 2.4 inclusive). Some spalling of the concrete ramp curbs was observed due to rusting of the metal guard and handrail posts at the point of embedment with the concrete. One solution to this problem would be to either increase the width of the curbs or have the

posts anchored to the curb with base plates in lieu of embedment. (Refer to FIG.'s Div. 2.5 & 2.6) In either case providing sufficient clearances between anchors and adjacent edges of concrete should be considered. FIG. Div. 2.7 indicates the remainder of the ramp to be in serviceable condition. You may wish to add tactile strips at the top of stair and ramp landings.

It was advised that the Township intends to extend the landing at the northwest entrance to the southwest entrance to provide barrier free accessibility to both portion of the building from the exterior. (Refer to FIG. Div. 2.8). To do so requires removal of soft landscaping and preparation of the grade substrates to support the proposed landing structure. It would be prudent to examine the rubble stone foundation and adjacent brickwork at that time to determine extent of any damage and execute the necessary repairs. Refer also to DIVISION 4- MASONRY.

FIG. Div. 2.9 illustrates the Gerald Gladstone sculpture in the adjacent parkette behind the Town Hall.

DIVISION 3 – CONCRETE

FIG. Div. 3.1 illustrates concrete added to raise the grade at the basement window to direct water away from the sill. Presumably, this was necessary when the grades were raised to accommodate the adjacent paved parking area. Refer also to FIG. Div. 4.23 indicating interior masonry damage and loss of mortar at the same window. Whether the addition of concrete has eliminated the infiltration of water remains uncertain. It may be that only upon completing interior masonry repairs and continuing to monitor the situation will this become apparent.

The building has decorative windowsills, keystones, and buttress caps which appear to be limestone but are in fact made of an early form of precast concrete commonly referred to as "Roman Stone" as produced by a local Toronto manufacturer of the same name owned by Sir Henry Pallett, who used the product in lieu of limestone for his own home, Casa Loma. Some of these have been repaired with new precast concrete "Dutchmen" or replaced entirely. (Refer to FIG.'s Div. 3.2 to 3.5 inclusive) presumably as part of the 2014 stone repair project. A crack in the Roman Stone horizontal decorative banding was noted in FIG. Div. 3.6. Future repairs should be undertaken in a similar way to the sills or, if smaller in nature, use of historic repair mortars like those manufactured by Jahn could be used with pigments to match the existing Roman Stone. One unfortunate aspect of the repairs is that the traditional vertical scoring pattern on the surface of Roman Stone was not replicated so the repairs are more obvious.

DIVISION 4 – MASONRY

The masonry on the building appears to be in good shape for a building of its age with some deterioration occurring at areas of brick and rubble stone immediately adjacent to paved areas subject to the use of de-icing salts in winter or where snow might be allowed to pile up against

walls in landscaped areas. (Refer to FIG.'s Div. 4.1 to 4.8 inclusive). These areas should have deteriorated bricks replaced with sound salvaged historic brick and missing mortar joints re-pointed on both brick and exposed stone foundations with compatible historic lime mortars. Previously, some re-pointing may have been done with what appears to be non-compatible Portland cement mortars. (Refer to FIG. Div. 4.9) This practice should be discouraged as cement-based mortars have a higher compressive strength than the original brick and stone which then becomes vulnerable to spalling during freeze-thaw cycles. In many cases, it is necessary to remove these mortars and replace them with compatible historic lime mortars to arrest further deterioration of the adjacent masonry. In this case, it would be prudent to provide ongoing monitoring and complete repairs when deterioration becomes apparent. King is one of the firms that produces pre-mixed bagged historic lime mortars as distributed in Canada through Sika. This ensures consistency with the mix although a competent historic mason could also prepare lime-sand mortars on site using the correct proportions of lime, masonry sand, and water. It should be noted that most of the repairs can be done from grade which will exclude the costs of scaffolding.

FIG.'s Div. 4.10 to 4.12 inclusive illustrate deterioration of brick associated with eavestrough overflow where the Service Ontario wing meets the main building at the old jail cells. The eavestrough should be re-installed to create a steeper fall towards the opposite end or another downspout installed that could capture overflow and direct the water away from the building.

Mortar repairs represent a high priority in order to avoid further deterioration that will incur higher repair costs.

FIG.'s Div. 4.13 to 4.17 inclusive, illustrate general views of the upper building facades indicating that the masonry appears to be in good shape. Although not of concern, it does appear that the clocktower masonry is of a different colour which suggests it may have been erected as a later addition. However, historical photograph FIG. Div. 0.1 suggests otherwise. FIG. Div. 4.18 illustrates that the interior masonry in the clocktower is in good condition which indicates it may have been subject to a previous masonry restoration program.

FIG.'s Div. 4.19 to 4.30 inclusive, illustrate interior masonry deterioration in the basement foundation walls due to water infiltration. Some areas are more severe than others. Moisture was observed on the concrete floor slab in FIG. Div. 22 and 23. This latter photograph suggests that previous repairs of the mortar joints were completed. Again, use of historic lime mortars should be encouraged for all future repairs. It may be prudent to excavate on the exterior of basement walls in order to examine their condition, complete any necessary repairs, provide parging and waterproofing with drainage board and weeping tile to prevent further water migration through the walls. The immediate moisture problem can be solved with the introduction of drainage board applied to the interior face of the masonry and connected to a perimeter weeping tile system beneath the floor slab sloped to a storm water sump pit. However, the masonry mortar will continue to deteriorate behind the interior drainage board so this approach is not recommended as a long-term solution.

DIVISION 5 – METALS

Metals refer to miscellaneous metal items such as fire escapes and railings. No steel structural components were observed. FIG. Div. 5.1 and 5.2 illustrate the exterior fire escape exit from the auditorium. It is showing signs of paint deterioration and rusting. Removal of loose paint and rust and re-coating with rust resistant paint coatings should be done as soon as feasible to prevent more serious deterioration and costs associated with more significant repairs and/or replacement of component parts. FIG. Div. 5.3 indicates what is presumed to be an original crawl space vent. Whether or not it is still functional is uncertain. FIG. Div. 5.4 illustrates the steel door of an original basement jail cell now used for storage.

DIVISION 6 – WOOD

Generally, the exterior wood elements of the building such as the soffit and structure of the roof overhang of the Service Ontario wing and the decorative roof soffits are in good condition except for a few minor areas of damage which do not cause concern and could be easily and cost effectively addressed. The paint coatings on wood elements also appear to be in good condition and should last for several years more before repainting is required. (Refer to FIG.'s Div. 6.1 to 6.4 inclusive).

FIG. Div. 6.5 illustrates the stair and structure of the tower which also appears to be in good condition. Periodic reviews should be conducted to identify any issues of deterioration before they become serious.

FIG. Div. 6.6 illustrates the recently installed kitchenette cabinetry in the Service Ontario suite.

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

Due to its age, the building is made of solid masonry construction and as such does not have any thermal insulation. The attic was not accessed so whether it has adequate insulation remains unconfirmed although there does appear to be sufficient ventilation installed as part of the re-roofing project in 2015. There was no indication of moisture infiltration on the ceiling of the auditorium. The current main roofing material is metal shingles, the tower cupola copper, and the flat portions EPDM which, according to available records was installed by Robertson Restoration Inc. in 2015. The metal roof shingles have an expected service life of 40-50 years, the copper roofing 100 years, and the EPDM 20 years. As such, replacement costs have not been included in the costing spreadsheet.

The building does have a basement with rubble stone foundations that are neither insulated nor waterproofed. Refer to DIVISION 4- MASONRY for more observations and recommendations.

DIVISION 8 – OPENINGS

Generally, the windows and doors appear to be in good condition with some minor exceptions.

Fig.'s Div. 8.1 and 8.2 illustrate the rear doors from the Service Ontario suite. It could also serve as a second exit for the adjacent Chamber of Commerce space. If the occupant load of either space is less than 60 persons, a second means of egress may not be required. However, because the door is signed as an exit, one option would be to replace it with one that meets OBC requirements for minimum height. This would require custom full height doors that incorporate the arched opening. Ultimately, the step provides a trip hazard and should also be replaced with a 1:12 ramp. Alternatively, if the door is not required as an exit, the exit sign should be removed and alternate signage directing occupants to other exits should be installed. FIG. Div. 17.1 illustrates the Service Ontario suite.

FIG. Div. 8.3 illustrates the exterior door to the Suite occupied by the Chamber of Commerce. It appeared that its primary use was for storage. This door may require repainting in the near future to remain in a good state of repair.

FIG Div. 8.4 illustrates an original basement window that brought natural light to the jail cell area. It is speculated that when the parking lot was paved, grades were raised and/or a window well was infilled to create this situation. It should either be replaced with a more robust window or infilled with masonry.

FIG. Div. 8.5 illustrates a window and masonry infill at an original door opening to a space currently occupied by the Community Employment Resource Centre.

FIG. Div. 8.6 indicates a window in the exit stair that is unprotected with a guardrail to prevent accidental falling. Provision of a guard rail to meet OBC requirements should be a priority.

FIG. Div. 8.7 illustrates the means of egress to the rear exit aisle for the auditorium. FIG.'s Div. 8.8 and 8.9 illustrate the access to exit from the balcony. Note that the placement of loose furnishings restricts the required exit width and should be removed as soon as possible.

As a general comment, all exterior doors and windows should be checked for the condition of perimeter sealants and replaced everywhere when deteriorating to bring them to the same life cycle. Exterior sealants should be checked every five years as their life expectancy is limited to about 20 years maximum with the likelihood of premature failures occurring before that in some particularly vulnerable areas.

DIVISION 9 – FINISHES

Generally, the interior finishes are in good condition except for some drywall/plaster deterioration associated with water infiltration in the basement (Refer to FIG.'s Div. 9.1 to 9.4 inclusive) and around windows and within stairs due to impact damage and water infiltration

and/or condensation. (Refer to Fig.'s Div. 9.5 to 9.8 inclusive). Further investigations may be required to confirm the underlying causes of the damage and develop the necessary scope of remedial work to address the problem before effective, long lasting interior repairs to finishes can be undertaken. However, damage to the integrity of fire separations such as apparent in FIG. Div. 9.2 should have priority and be remedied as soon as feasible.

FIG. Div. 9.9 illustrates the decorative plaster moldings at the auditorium stage proscenium arch which appear to be in good shape as a character defining heritage element of the historic Town Hall.

FIG.'s Div. 9.10 to 9.12 inclusive, illustrate painted Masonite wall finishes that likely do not meet OBC requirements for flame spread and smoke contribution within a means of egress. Once this can be confirmed with further investigation, either coating with intumescent paints or replacement with fire rated GWB will be required to achieve the OBC fire rated assemblies required of corridor walls. It is presumed that the acoustic tile ceilings in these corridors are suspended below the original plaster ceilings that form part of the fire separations between floors although the integrity of those assemblies was not confirmed during the site visit.

DIVISION 11 – EQUIPMENT

There was no equipment under this division observed during the site visit.

DIVISION 12 – FURNISHINGS

The balcony has fixed theatre style seating which appears to be in good condition. No. of seats, row lengths, and aisle widths appear to meet exit requirements. Refer to FIG.'s Div. 12.1 and 12.2. The main floor of the auditorium has non-fixed seating as illustrated in FIG.'s Div. 1.3 to 1.5 inclusive. FIG, Div. 12.3 illustrates the loose furnishings for the Meeting Room. FIG. Div. 12.4 illustrates the room used by the Chamber of Commerce for meetings and storage. Loose furnishings should not be stored such that they restrict required exist widths.

DIVISION 14 – CONVEYING DEVICES

The building is served by a personal accessible lift (PAL). Its condition was not confirmed during the investigations but was advised to be functional. A regular maintenance agreement with a qualified accessible lift service provider should be in place.

DIVISION 15 – MECHANICAL

Fig. Div. 15.1 illustrates a view of the HVAC unit serving the Auditorium. The unit was not investigated as part of this report but is presumed to be functioning adequately for its intended purposes. Note that HVAC equipment such as this has an expected service life of between 20-25 years if it is properly maintained so budgeting for its replacement at the end of its expected service life should be considered. FIG.'s Div. 15.2 and 15.3 illustrate the two domestic high efficiency forced air furnaces serving the building which appear to be relatively new. FIG. Div. 15.4 illustrates that the Employment Centre offices have supplemental electric baseboard heating. Care should be taken to make sure their respective thermostats are set such that the two systems do not work against each other. For example, the baseboard thermostat should be set lower than the furnace thermostat, so they only come on only if the furnace is unable to reach the desired comfort levels. FIG. Div. 15.5 illustrates the Energy Recovery Ventilation unit located in the basement. It also appears to be relatively new, likely installed at the same time as the furnaces. Like the HVAC unit, budgeting for replacement at the end of their expected service life is recommended. Because the equipment is relatively new, their replacement does not appear in the costing spreadsheet.

FIG. Div. 15.6 illustrates an obsolete radiator in the stairwell to the basement and is presumed to be disconnected and capped somewhere within the building.

FIG. Div. 15.7 illustrates the sewage Sump Pump located in the basement. Due to the critical role of this equipment, it may be prudent to consider installing a back-up unit in case of failure.

FIG. Div. 15.8 illustrates a disconnected vent pipe which should be removed so as not to provide confusion for building operators.

FIG. Div. 15.9 illustrates the barrier-free toilet which does not appear to meet current OBC required clearances.

DIVISION 16 – ELECTRICAL

It should be noted that the incoming electrical service and distribution panels were not observed during our site visit investigations but nothing regarding deficiencies in the electrical systems was brought to our attention. However, an old, fuse type electrical panel was observed in the area occupied by the Employment Resource Centre. (Refer to FIG. Div. 16.1 At some point, the distribution wiring should be upgraded to current ESA standards. We were also advised that the current fire alarm system panel is planned to be replaced soon. (Refer to FIG. Div. 16.2)

DIVISION 17 – OTHER

FIG. Div. 17.1 illustrates the Service Ontario suite.

CONCLUSIONS

The report confirms a building that has been well maintained over its life and is now in need of some minor attention over the next couple of years but will be ready for a more comprehensive building foundation repair and waterproofing program within the next 3-5 years. Anticipated expenditures required over the next 1-2 years can be done piecemeal using individual trades. The aggregate expenditure that should be budgeted for that period is estimated to be just over \$86,000 in 2023 dollars. Over the following 2-3 years thereafter, \$421,500 of work has been identified which relates to masonry repairs above and below grade and includes waterproofing of the rubble stone foundations. Monitoring the items addressed in the report on an annual or semi-annual basis can determine if items can be deferred or need immediate attention. All items identified as immediate or for the first two years should be budgeted for and addressed within those time frames.

Appendices

A.1 Division 0 – Historical Photos

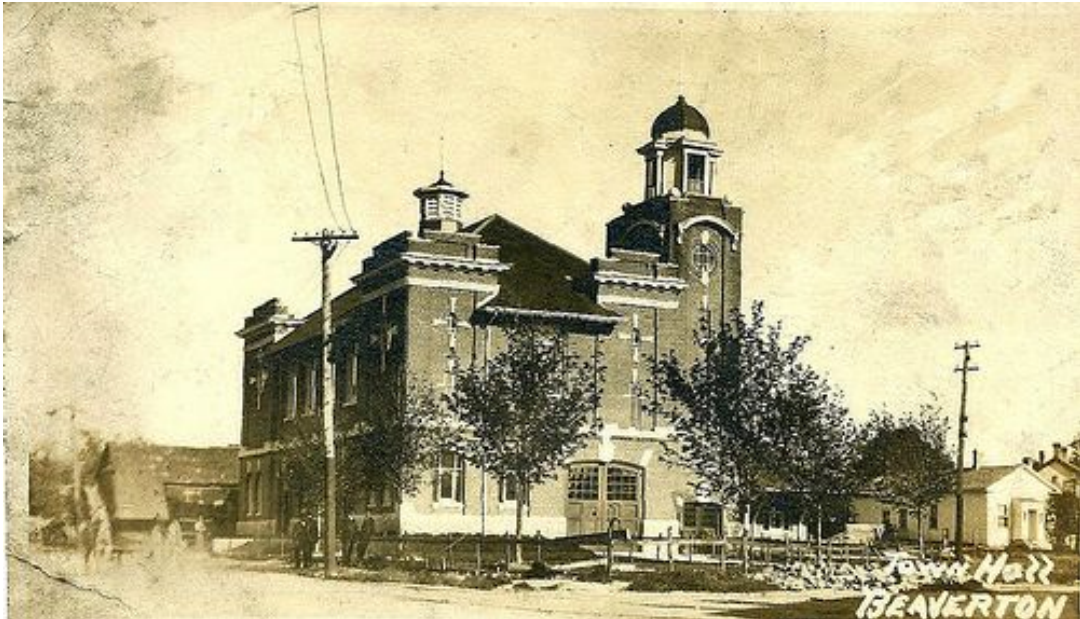


FIG. Div.0. 1 –Beaverton Town Hall



FIG. Div.0. 2 –Beaverton Town Hall beside Library

A.2 Division 1 – General Requirements



FIG. Div.1. 1 –Beaverton Hall Context from Osborne St



FIG. Div.1. 2- Beaverton Hall Context From Simcoe St



FIG. Div.1. 3 – Beaverton Hall Auditorium Context from Balcony



FIG. Div.1. 4 – View Towards Stage in Auditorium



FIG. Div.1. 5 – Beaverton Hall Auditorium Context Towards Balcony



FIG. Div.1. 6 – Cornerstone and Heritage Plaque

A.3 Division 2 – Site Work



FIG. Div.2. 1 – Abandoned Downspout Drain



FIG. Div.2. 2 – Deterioration at Front Steps



FIG. Div.2. 3 – Northeast Entrance



FIG. Div.2. 4 – Southeast Entrance



FIG. Div.2. 5 – Rusting Handrail Post Spalling Concrete Curb



FIG. Div.2. 6 – Rusting Handrail Post Spalling Concrete Curb



FIG. Div.2. 7 – Barrier-free Ramp



FIG. Div.2. 8 – Entrances to be Joined with New Sidewalk Landing



FIG. Div.2. 9 – Gerald Gladstone Sculpture in Adjacent Parkette

A.4 Division 3 – Concrete



FIG. Div.3. 1 – Concrete Patching at Window Well



FIG. Div.3. 2 – Precast Concrete Sill Replacement



FIG. Div.3. 3 – Repaired Stone Sill



FIG. Div.3. 4 – Deteriorated Caulking Joint at Sill



FIG. Div.3. 5 – Stone Sill Repairs



FIG. Div.3. 6 – Crack in Roman Stone Banding

A.5 Division 4 – Masonry



FIG. Div.4. 1 – Loss of Mortar Adjacent to Ramp



FIG. Div.4. 2 – Masonry Deterioration due to De-icing Salts



FIG. Div.4. 3 – New Precast Concrete Window Sill and Deteriorated Masonry Below



FIG. Div.4. 4 – Deteriorated Masonry Mortar Joints



FIG. Div.4. 5 – Loss of Mortar at Front Entrance



FIG. Div.4. 6 – Deteriorated Mortar Joints



FIG. Div.4. 7 – Deteriorated Mortar Joints at Grade



FIG. Div.4. 8 – Deteriorated Mortar Joints



FIG. Div.4. 9 – Non-compatible Mortar Repairs



FIG. Div.4. 10 – Water Damage at Eave trough Overflow



FIG. Div.4. 11 – Spill from Eave trough causing damage to masonry



FIG. Div.4. 12 – Deteriorating Mortar Joints at Window Arch



FIG. Div.4. 13 – General View of Tower Masonry



FIG. Div.4. 14 – North Facade



FIG. Div.4. 15 – General View of Tower West Façade



FIG. Div.4. 16 – General View of Tower West Façade 2



FIG. Div.4. 17 – Beaverton Hall Tower Indicating Different Coloured Bricks



FIG. Div.4. 18 – Interior Clock Tower



FIG. Div.4. 19 – Masonry Deterioration in Basement Due to Moisture Infiltration



FIG. Div.4. 20 – Masonry Deterioration in Basement Due to Moisture Infiltration 3 @ Window Well



FIG. Div.4. 21 – Masonry Deterioration in Basement Due to Moisture Infiltration 2



FIG. Div.4. 22 – Deteriorating Mortar in Rubble Foundation Wall



FIG. Div.4. 23 – Restored Masonry Joints in Area that Still Exhibits Moisture Infiltration



FIG. Div.4. 24 – Evidence of Moisture Infiltration at Basement Floor



FIG. Div.4. 25 – Missing Mortar in Original Rubble Stone Foundation



FIG. Div.4. 26 – Evidence of Moisture Infiltration at Stair to Basement



FIG. Div.4. 27 – Deteriorating Masonry Joints



FIG. Div.4. 28 – Damage to basement foundation and stair due to moisture infiltration



FIG. Div.4. 29 – Evidence of Moisture Infiltration at Basement



FIG. Div.4. 30 – Evidence of Water Infiltration on Floor Slab

A.6 Division 5 – Metals



FIG. Div.5. 1 – Detail of Metal Corrosion on Fire Escape



FIG. Div.5. 2 – Corrosion of Metal Fire Escape



FIG. Div.5. 3 – Crawl Space Ventilation



FIG. Div.5. 4 – Basement Cell Now Used for Storage

A.7 Division 6 – Woods and Plastic



FIG. Div.6. 1 – View of Canopy at Service Ontario



FIG. Div.6. 2 – Minor Damage to Canopy Roof Deck



FIG. Div.6. 3 – Minor Damage at Canopy Roof Deck Crown Mold



FIG. Div.6. 4 – Painted Wood Soffit



FIG. Div.6. 5 – Stair to Tower



FIG. Div.6. 6 – Refurbished Kitchenette in Service Ontario Space

A.8 Division 7 – Thermal and
Moisture Protection



FIG. Div.7. 1 – View of Restored Tower Cupola

A.9 Division 8 – Doors and Windows



FIG. Div.8. 1 – Emergency Exit Door from Service Ontario (Exterior)



FIG. Div.8. 2 – Emergency Exit Door from Service Ontario (Interior)



FIG. Div.8. 3 – Door to Chamber of Commerce Space



FIG. Div.8. 4 – Basement Window Damage



FIG. Div.8. 5 – North Façade at Old Doors Now Infilled



FIG. Div.8. 6 – Lack of Safety Guard at Auditorium Exit Stair



FIG. Div.8. 7 – View Towards Rear Exit Aisle at Auditorium



FIG. Div.8. 8 – Auditorium Balcony Access to Exit Blocked by Furniture



FIG. Div.8. 9 – Auditorium Balcony Access to Exit

A.10 Division 9 – Finishes



FIG. Div.9. 1 – Drywall Damage Due to Moisture Infiltration into Basement



FIG. Div.9. 2 – Deteriorated Fire Separation at Ceiling in Basement



FIG. Div.9. 3 – Plaster Damage in Stair to Basement



FIG. Div.9. 4 – Damage and Debris in Stair to Basement



FIG. Div.9. 5 – Plaster Damage in Auditorium Exit Stair



FIG. Div.9. 6 – Some Deteriorated Plaster at Window Surround in Auditorium Stair



FIG. Div.9. 7 – Plaster Deterioration at Tower Stair



FIG. Div.9. 8 – Plaster Delamination at Tower Stair

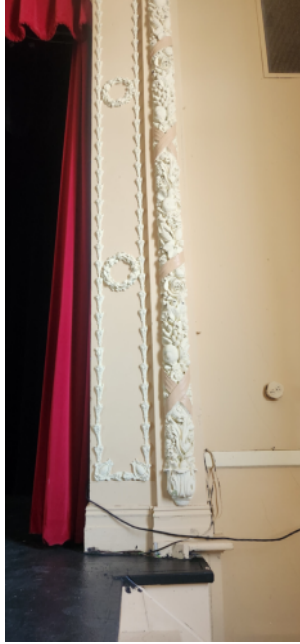


FIG. Div.9. 9 – Decorative Plaster Moldings at Stage Proscenium



FIG. Div.9. 10 – Interior Exit Corridor with Painted Masonite Panelling



FIG. Div.9. 11 – Interior Exit Corridor with Painted Masonite Panelling 2



FIG. Div.9. 12 – Interior Exit Corridor with Painted Masonite Panelling 3



FIG. Div.9. 13 – Projecting Pipe at Washroom Ceiling



FIG. Div.9. 14 – Drywall Ceiling Damage in Washroom

A.11 Division 12 – Furnishings



FIG. Div.12. 1 – Beaverton Hall Auditorium Seating



FIG. Div.12. 2 – View of Balcony Seating Aisle



FIG. Div.12. 3 – Meeting Room



FIG. Div.12. 4 – Chamber of Commerce Storage-Meeting Room

A.12 Division 14 – Conveying Equipment



FIG. Div.14. 1 – Personal Accessible Lift (PAL) Connecting Main Floor to Auditorium Above



FIG. Div.14. 2 – Elevator Machine Room

A.13 Division 15 –
Mechanical/Plumbing



FIG. Div.15. 1 – View of West Façade at HVAC Unit



FIG. Div.15. 2 – Furnace Room



FIG. Div.15. 3 – Second of Two Furnace Rooms



FIG. Div.15. 4 – Two Separate Heating Systems in Ontario Works Office



FIG. Div.15. 5 – Energy Recovery Ventilator



FIG. Div.15. 6 – Obsolete Radiator at Stair to Basement



FIG. Div.15. 7 – Existing Sewage Sump Pump



FIG. Div.15. 8 – Disconnected Vent Pipe



FIG. Div.15. 9 – Barrier-free Toilet

A.14 Division 16 – Electrical



FIG. Div.16. 1 – Old Fuse Type Electrical Panel



FIG. Div.16. 2 – Fire Alarm and Security Alarm Panels



FIG. Div.16. 3 – View of Sound Board at Rear of Auditorium

A.15 Division 17 – Other



FIG. Div.17. 1 – Service Ontario

A6 - Cost Estimate Summary

*Refer to Condition Report for further descriptions (Recommendations) Lifespans >10years have not been costed.

*Note that Cost Estimates do not address ongoing maintenance tasks.

**"As Needed" is used for items that are recommended but at the discretion of the township

*Costs are order of magnitude for planning purposes only and will be determined upon a more detailed assessment of scope, approach and market conditions at time of tendering

Description	Estimated Cost in 2023 dollars	Priority
Division 02: SITE WORK		
Join landings to southeast and northeast entrances	\$25,000	1-2 years
Repair barrier-free ramp curbs and stairs where concrete missing	\$5,000	1-2 years
Total Estimated Costs for SITE WORK	\$30,000	
Division 03: CONCRETE		
Repair Roman Stone Banding	\$1,500	3-5 years
Total Estimated Cost for CONCRETE	\$1,500	
Division 04: MASONRY		
General brick & stone repairs/repointing near grade	\$50,000	3-5 years
Total Estimated Cost for MASONRY	\$50,000	
Division 05: METALS		
restore/repaint fire escape and metal railings on exterior ramp and stairs	\$10,000	1-2 years
Total Estimated Cost for METALS	\$10,000	
Division 06: WOOD		
no work anticipated under this division for next ten years	\$0	
Total Estimate Cost for WOOD	\$0	
Division 07: THERMAL AND MOISTURE PROTECTION		
Waterproof rubble stone foundations where accessible from the exterior	\$350,000	3-5 years
Total Estimate Cost for THERMAL AND MOISTURE PROTECTION	\$350,000	
Division 08: OPENINGS		
Provide guard at exit stair window	\$500	immediate
Ensure access to full exit widths are maintained (ie remove obstructions like furniture)	\$0	immediate
Provide full height door from ON Service at east elevation and paint BofC door	\$20,000	discretionary
Replace or infill basement windwo with masonry	\$2,500	1-2 years
Total Estimate Cost for OPENINGS	\$23,000	
Division 09: FINISHES		
minor plaster/drywall repairs to be done after fixing source of damage	\$5,000	1-2 years
providing intumescent paint to corridor walls lined with masonite	\$20,000	1-2 years
Total Estimate Cost for Finishes	\$25,000	1-2 years

A6 - Cost Estimate Summary

Division 15: MECHANICAL		
No anticipated work in this Division for +/- 15-20 years	\$0	
Total Estimate Cost for MECHANICAL	\$0	
Division 16: ELECTRICAL		
Replace fuse box panel with new breaker panel	\$20,000	3-5 years
Replace fire alarm panel	\$15,000	1-2 years
Replace exit signs with running man type	\$3,000	1-2 years
Total Estimate Cost for ELECTRICAL	\$38,000	
Subtotal	\$527,500	
Contractor General Conditions (8%)	\$42,200	
Contractor Overhead and Profit (15%)	\$85,455	
TOTAL ESTIMATED COST, 2023 DOLLARS	\$655,155	1-10 years

Notes:

1. Estimated costs do not include for Consultant fees, permit fees, and other associated cost other than construction costs.
2. Value Added Tax Extra

Beaverton Town Hall

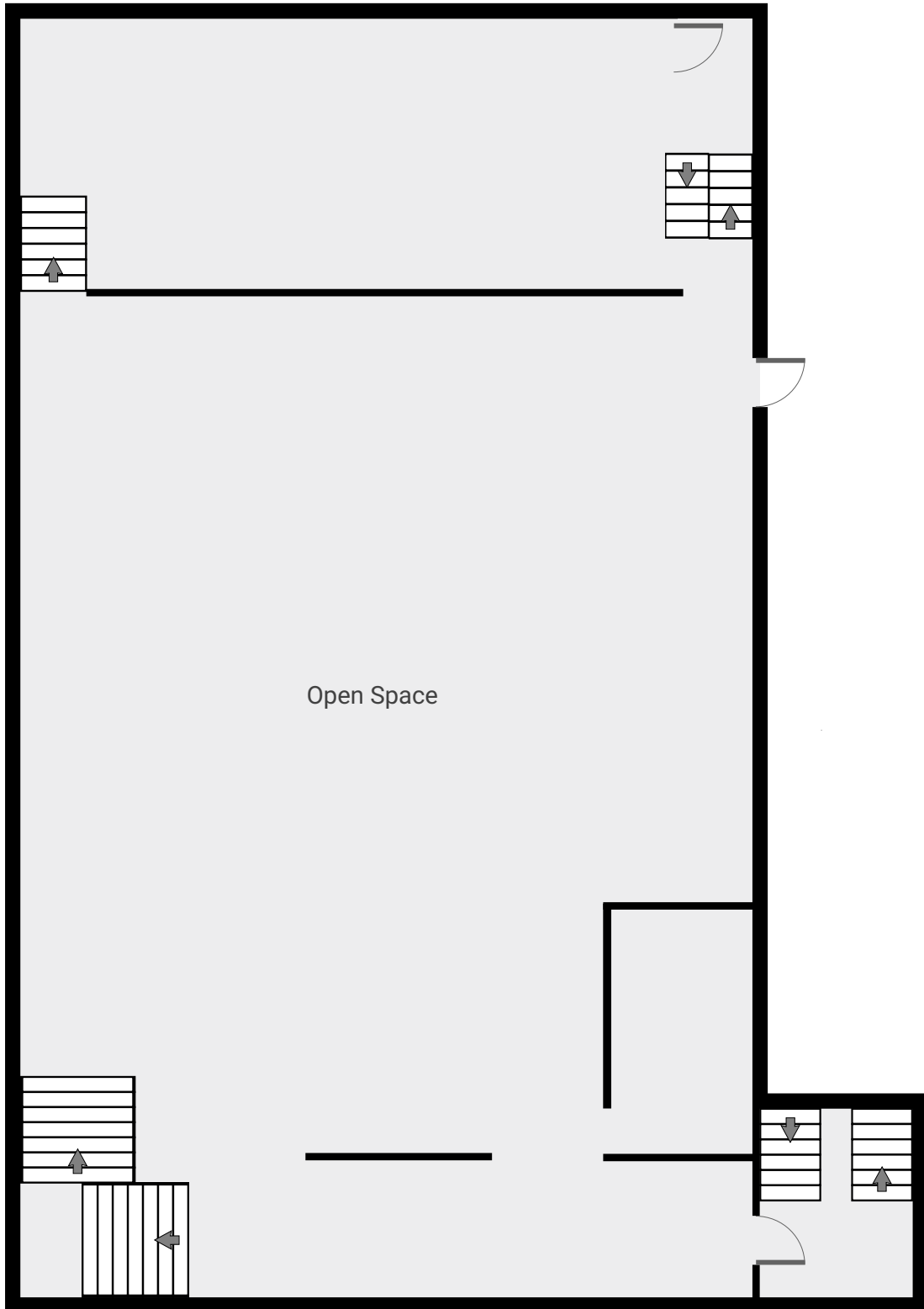
Created on
2020-10-30

Floors
3

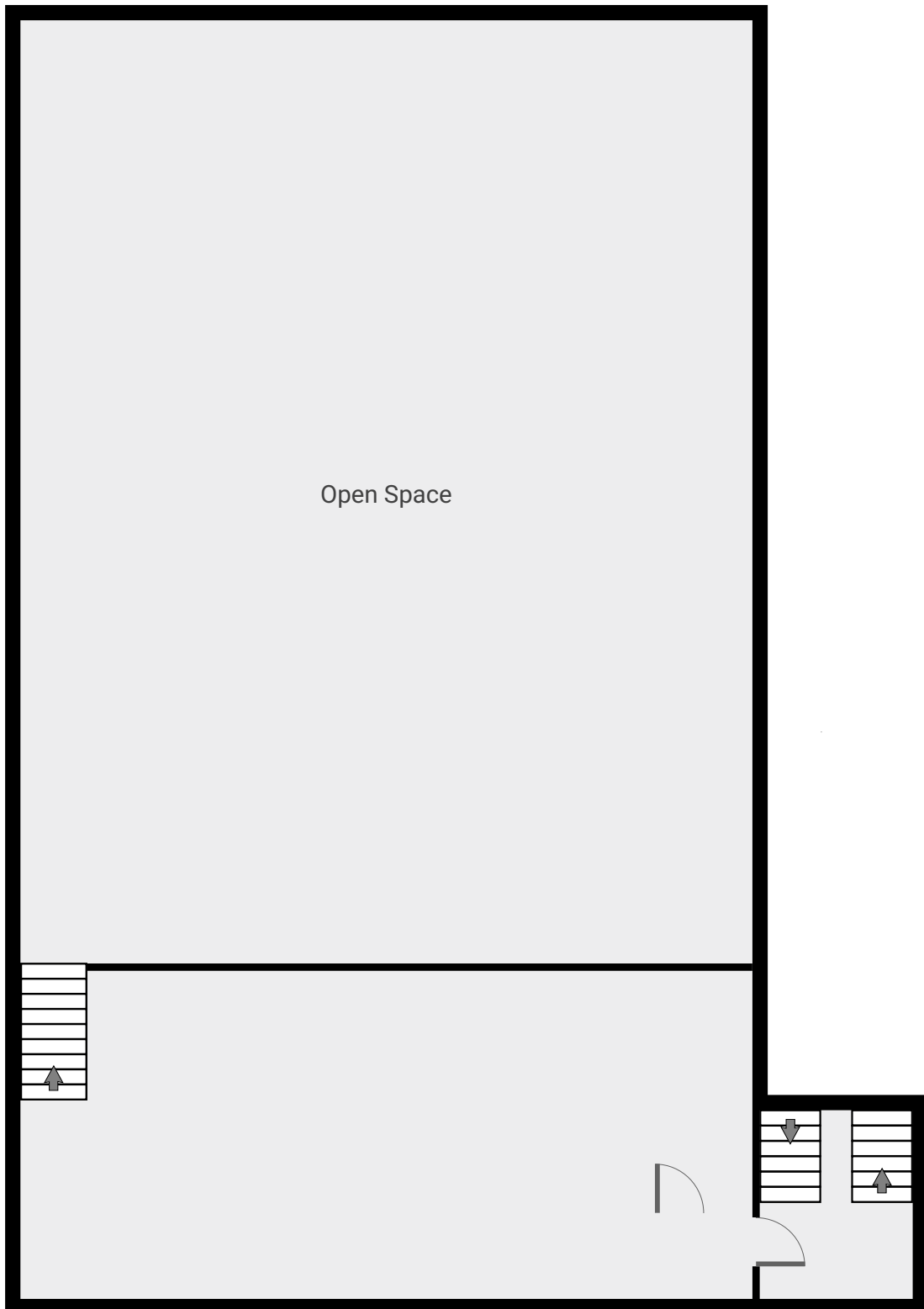
▼ Ground Floor



▼ 2nd Floor



▼ 3rd Floor



Contractor's Qualification Statement

Standard Construction Document

CCDC 11 – 2019

CONFIDENTIAL

APPENDIX B

Comparable projects completed (similar type, size and complexity)

Project Title:

Location:

Date Project Substantially Completed:

Date Project Completed:

Project Value at Completion: \$

Project Manager:

Project Superintendent:

Owner:

Contact Person:

Phone:

E-mail:

Consultant:

Contact Person:

Phone:

E-mail:

Other Party, if applicable:

Contact Person:

Phone:

E-mail:

Contract Type: (e.g. Design-Bid-Build / Construction Management / Design-Build, Prime Contractor/Subcontractor)

Description of Project and Scope of Services:

Remarks: