



The Corporation of the Township of Brock
Council Agenda

Session 4
Monday, April 26, 2021, 5:00 p.m.
Virtual Meeting

Pages

1. Call to Order
2. Disclosure of Pecuniary Interest and Nature thereof in Closed Session
3. Closed Session
Recommendation:
That Council Proceed to Closed Session to discuss personal matters about an identifiable individual, including municipal employees pursuant to Section 239(2)(b) of the Municipal Act.
4. Rise from Closed Session
5. Call Open Session to Order & Moment of Silence – 5:00 p.m.
6. Disclosure of Pecuniary Interest and Nature Thereof
7. Matters from Closed Session
8. Presentations
9. Delegations and/or Petitions
 - 9.1. Allan's Place Petition
Communication No. 464/21
Recommendation:
That the petition as contained within communication no. 464 be received for information.
10. Consent Agenda
Recommendation:
That the items listed in Section 10, Consent Agenda be approved save and except items.
 - 10.1. Adoption of Minutes of Previous Meetings

10.1.1.	3rd Meeting of Council - March 22, 2021	16
	Recommendation: That the minutes of the 3rd Council meeting, as held on March 22, 2021, be approved.	
10.1.2.	3rd Meeting of Council - In Camera Session - March 22, 2021	
	Recommendation: That the minutes of the 3rd meeting of Council - In Camera Session as held on March 22, 2021 be approved.	
10.1.3.	11th Meeting of Special Council - April 1, 2021	26
	Recommendation: That the minutes of the 11th Meeting Special Council meeting, as held on April 1, 2021, be approved.	
10.1.4.	11th Meeting of Special Council - In Camera Session - April 1, 2021	
	Recommendation: That the minutes of the 11th Meeting of Special Council - In Camera Session as held on April 1, 2021 be approved.	
10.1.5.	5th Meeting of Committee of the Whole - April 12, 2021	29
	Recommendation: That the minutes of the 4th Committee of the Whole meeting as held on April 12, 2021 be approved.	
10.1.6.	5th Meeting of Committee of the Whole - In Camera Session April 12, 2021	
	Recommendation: That the minutes of the 5th Committee of the Whole Meeting - In Camera Session as held on April 12, 2021 be approved.	
10.1.7.	2nd Meeting of the Planning and Community Affairs Committee - April 19, 2021	44
	Recommendation: That the minutes of the 2nd meeting of the Planning and Community Affairs Committee, as held on April 19, 2021 be approved.	
10.2.	Reports	
10.2.1.	Report 2021-CO-12 - Request to Purchase Shoreline Road Allowances Ingrid Svelnis Communication No. 532/12	49
	Recommendation: That Council receive Report 2021-CO-12 for information and that the requests to purchase these lake access points not be approved and that the property owners be so advised.	

10.2.2.	Report 2021-CO-14 - Fire Safety Grant Program Rick Harrison Communication No. 561/21 Recommendation: That Report 2021-CO-14 be received for information and that Council shall authorize the CAO to execute the Fire Safety Grant Transfer Agreement.	51
10.2.3.	Report 2021-CO-13 - Site Plan Approval Report for 8-202-SP Mancini (2753883 Ontario Inc.) Debbie Vandenakker Communication No. 572/21 Recommendation: That Site Plan Application 8-2020-SP Mancini be approved and that the Mayor and Deputy Clerk be, and they are hereby authorized to enter into a Site Plan Agreement with 2753883 Ontario Inc. as contained within Communication 572.	53
10.3.	Correspondence	
10.3.1.	World Elder Abuse Awareness Day - June 15, 2021 Durham Elder Abuse Network Communication No. 398/21 Recommendation: That the Council of the Corporation of the Township of Brock, do hereby proclaim June 15, 2021 as World Elder Abuse Awareness Day in the Township of Brock, Region of Durham, in Ontario, and encourage all of our residents to recognize and celebrate seniors and their ongoing contributions to the success and vitality of Ontario.	89
10.3.2.	2021 Durham Region Mayors' Gala - Supporting Ontario Philharmonic Communication No. 428/21 Recommendation: That Council endorse the 2021 Durham Region Mayor's Gala supporting Ontario Philharmonic and approve the use of the corporate logo on gala material.	94
10.3.3.	Flag Raising & Proclamation for May 17th, 2021 PFlag Canada Durham Region Communication No. 527/21 Recommendation: That the Township of Brock proclaim May 17th as the International Day Against Homophobia, Transphobia and Biphobia.	97

10.3.4.	Request for Electronic LED Sign at the Beaverton Town Hall Beaverton Lions Club Communication No. 531/21 Recommendation: That Council has no objection to the requests as outlined in communication no. 531.	98
10.3.5.	Request for Nursing Week Proclamation Registered Nurses' Association of Ontario - Durham Northumberland Chapter Communication No. 545/21 Recommendation: That the Council of Corporation of the Township of Brock do hereby proclaim May 10th - May 16th, 2021 as Nursing Week.	99
10.3.6.	Interoffice Memorandum - Beaverton Harbour Advisory Committee - Updated Terms of Reference Maralee Drake 560/21 Recommendation: That Council approve the updated Beaverton Harbour Advisory Committee Terms of Reference as contained within Communication 560.	101
10.3.7.	Sunderland and District Historical Society Lease Agreement Communication No. 562/21 Recommendation: That the Mayor and Deputy Clerk be, and are hereby authorized to enter into a Lease Agreement with the Sunderland and District Historical Society.	106
10.3.8.	Request for Enbridge Line Chris Terzis Communication No. 564/21 Recommendation: That Council have no objection to the request as contained within Communication 564, provided there is no cost to the Township of Brock	108
10.4.	By-Laws	
10.4.1.	By-law Number 3032-2021 A By-law to cancel, reduce or refund taxes	112

Recommendation:

That By-law Number 3032-2021 being a by-law to cancel, reduce or refund taxes, be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.2. By-Law Number 3033-2021 114

Being a By-law to amend By-law Number 1977-2006-PP,
Being a By-law to regulate and control the use of parks and park buildings under the jurisdiction of the Township of Brock

Recommendation:

That By-law Number 3033-2021 Being a By-law to amend By-law Number 1977-2006-PP, Being a By-law to regulate and control the use of parks and park buildings under the jurisdiction of the Township of Brock be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.3. By-law Number 3035-2021 115

Being a By-law to levy and collect taxes for the year 2021.

Recommendation:

That By-law Number 3035-2021 being a by-law to levy and collect taxes for the 2021 year be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.4. By-law Number 3036-2021 118

Being a By-law to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock, (Municipally known as B22575 Lakeridge Road, Cannington, ON)

Recommendation:

That By-law Number 3036-2021 being a By-law to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock, (Municipally known as B22575 Lakeridge Road, Cannington, ON) be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.5. By-law Number 3042-2021

151

Being a By-law to appoint a Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 and 228(2) of the Municipal Act, S.O. 2001, as amended.

Recommendation:

That By-law Number 3042-2021 being a By-law to appoint a Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 and 228 (2) of the Municipal Act, S.O. 20021, as amended be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

11. Items Extracted from Consent Agenda

12. Notices of Motions

12.1. Interim Personnel Committee

That an Interim Personnel Committee be established to assist with human resource matters and that Mayor Grant, Regional Councillor Smith and Councillor Doble be appointed to the committee.

Moved by Councillor Claire Doble

Seconded by Regional Councillor Ted Smith

Recommendation:

That an Interim Personnel Committee be established to assist with human resource matters and that Mayor Grant, Regional Councillor Smith and Councillor Doble be appointed to the committee.

12.2. Community Safety Zone - Maple Beach Road

That staff review and investigate the feasibility of a Community Safety Zone along Maple Beach Road from Concession Road 2 to Concession Road 3.

Moved by Councillor Cria Pettingill

Seconded by Councillor Mike Jubb

Recommendation:

That staff review and investigate the feasibility of a Community Safety Zone along Maple Beach Road from Concession Road 2 to Concession Road 3.

12.3. Speed Reduction - Cedar Street and Twmarc Avenue

That staff review and investigate the reduction of speed to 30 km/h on Cedar Street from Regional Road 23 to Twmarc Avenue and on Twmarc Avenue from dead end to dead end.

Moved by Councillor Cria Pettingill

Seconded by Councillor Mike Jubb

Recommendation:

That staff review and investigate the reduction of speed to 30 km/h on Cedar Street from Regional Road 23 to Twmarc Avenue and on Twmarc Avenue from dead end to dead end.

12.4. 2021 Harbour Passes

That Harbour Passes be reinstated for the 2021 year, as was done in 2020.

Moved by Councillor Claire Doble

Seconded by Regional Councillor Ted Smith

Recommendation:

That Harbour Passes be reinstated for the 2021 year, as was done in 2020.

13. Council Member Updates

14. Other Business

15. Public Questions and Clarification

16. Closed Session (if required)

17. Confirmation By-law

Recommendation:

That By-law Number 3041-2021, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 26, 2021, be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

18. Adjournment

Recommendation:

That we do now adjourn at TIME.

To:

Mr. Dan Carter
Chairman of Durham Region Non-Profit Housing Corporation
City of Oshawa
2nd floor, West Wing, City Hall
50 Centre St. S.
Oshawa, ON L1H 3Z7

Mr. Walter Schummer
Ward 3 Counsellor, Brock
102 Peace Street
Cannington, ON L0E 1E0

Gentlemen,

Please find an attached letter and names/signatures from 100 McKay Street,
Cannington, ON

This is a letter of concern from the residents.

Look forward to hearing from you.

Respectfully,

A handwritten signature in black ink, appearing to be 'Allan Pepper', with a stylized, cursive script.

Allan Pepper



MR. JOHN GRANT
MAYOR OF TOWNSHIP OF BROCK
447 NORTH ST
BEAVERTON, ON L0K 1A0.

DEAR MR. GRANT

UPON ACQUIRING SIGNATURES FROM OUR RESIDENTS.
"DEJEEN DIXON" ASKED ME TO INCLUDE YOU WITH ALL
MY PAPERWORK.

YOU WILL FIND ENCLOSED EVERYTHING THAT I
HAVE DONE WITH REGARD TO OUR CONCERNS.

I ALSO HAVE SIGNATURES FROM OUR NEAREST
NEIGHBOURS WHO HAVE SMALL CHILDREN. THEY
SUGGESTED THAT I CANVAS DOWN ADELAIDE (SOME
CHILDREN) AND ON TO CAMERON ST. THAT BACK ONTO
THIS PROPERTY, SDRY OLD LEGS DON'T DO THAT WELL.
ONE PERSON APPARENTLY HAS REPORTED ITEMS
STOLEN FROM AN OUT BUILDING.

I HOPE THAT YOU DO NOT LET A BUILDING
LIKE THIS BE BUILT IN YOUR COMMUNITY
IT IS NOT WHAT IS REPRESENTED AS BY
DURHAM REGION HOUSING.

THANK YOU



ALLAN PEPPER

March 19, 2021

Mr. Dan Carter
Chairman of Durham Region No-Profit Housing Corporation

Mr. Walter Schumer
Ward 3 Counsellor, Brock

Gentlemen,

We recently attended meetings here at [REDACTED] Street - our home.

It seems that this was a make feel good presentation with good information about COVID and the fact that there are repairs that have to be tended to before our warranty with Gay Construction runs out. Perfectly normal for new construction.

As we got to the last item on the agenda where we were asked about our concerns - they were basically swept under the rug. Citing security help when needed as problems arise, but that only happens after an occurrence.

There are a lot of seniors here and some are quite concerned about our safety. We moved here to make this our home - what a shock! It was only reiterated that everyone is entitled to a roof over their heads. I agree, but some of these people need mental health support. The police are here every time you turn around. I myself had a conversation with an officer, who voiced his concern about what we have been put in the middle of. Indeed you put a quiet little hamlet and us in jeopardy. Hope this is not get repeated in Beaverton. The word around town is not great about this building.

We have a needle drop box at the front door. I raised the fact that at the end of our driveway there are 2 homes with young children. What happens if one of them finds a discarded syringe. Then a photo was shown with a syringe on the ground not in any drop box.

It seems that there was more interest with the presenters about an opening ceremony.

I personally had a chap jump off the roof right in front of me. It was pouring rain and I called 911. The officer answering told me they were already here, I then suggested they

send more help. They apprehended him out near the gazebo. I have never heard a word as to the outcome.

I've already lost a neighbour next door because she was afraid. How terrible.

I hope that something is going to come out of this in our favour and realize that we also wish a roof over our heads as well. One that makes us feel comfortable.

It was suggested to me by a neighbour that the larger cities in our region have just moved their problems out - out of sight, out of mind.

This is just another political wipe away with no future consideration. This is a very nice small town I am sure that they are also wondering what is going on.

Respectfully,




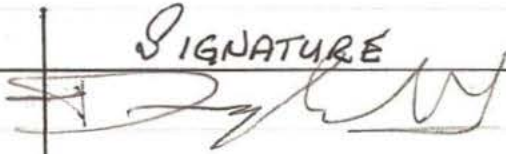








Allan Pepper



SIGNATURE PAGE

UNIT	PRINTED NAME	SIGNATURE
	RONALD S. DALE GRACE MONGRAIN	Ronald S. Dale Grace Mongrain
	LARRY MUSGROVE	Larry Musgrove
	Mary Hill	MARGARET HILL
	JAMES CLAESIE Mary Thelma Marsh	J. E. Claesie M. T. Marsh
	Gerald Smit GERHARD Smit	G. Smit
	Nita Wiseman	Nita Wiseman
	ALLAN PEPPER	ALLAN PEPPER
	Kristen Malcolm Kristen Malcolm	Kristen Malcolm
	BRAD TUMELTY	BRAD TUMELTY

SIGNATURE PAGE

UNIT	PRINTED NAME	SIGNATURE
	Darryl KOKS	
	Row Stiles / ROW STILES Cathy Stiles	C Stiles
	Bill McDonald	B McDonald
	DON GONES	D B Jones
	Madge Headley	M Headley
	DENEEN DIXON	D Dixon
	John McKeown	J McKeown
	Phyllis South	P South
	DEIRDRE CORDNER	D Cordner

SIGNATURE PAGE

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UNIT	PRINTED NAME	SIGNATURES
	NEIGHBOURS WITH SMALL CHILDREN 2 HOMES AT THE END OF OUR DRIVEWAY	
	Jordan Martin [REDACTED], Cannington	J Martin
	Rebecca Tremblay [REDACTED], Cannington	R Tremblay
	Richard Deland & Stephanie Dacey [REDACTED], Cannington	M D



The Corporation of the Township of Brock

Council Minutes

March 22, 2021

Virtual Meeting

Members Present: Mayor John Grant
Deputy Mayor Ted Smith
Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble
Ward 3 Councillor Walter Schummer
Ward 4 Councillor Cria Pettingill
Ward 5 Councillor Lynn Campbell

Staff Present: Municipal Clerk Becky Jamieson
Deputy Clerk Deena Hunt
Clerks Assistant Maralee Drake
Fire Chief Rick Harrison
Director of Public Works Paul Lagrandeur
Interim Treasurer John Gormaly
Chief Building Official Richard Ferguson

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1. **Call to Order - 3:00 p.m.**
 2. **Disclosure of Pecuniary Interest and Nature thereof in Closed Session**
 3. **Closed Session**

a) Employee Matters: To discuss matters relating to employees of the Township as per Section 239(2)(b) of the Municipal Act

Resolution: 1-3

Moved by Councillor Schummer

Seconded by Councillor Doble

That Council move in closed session at 3:02 p.m. to discuss personal matters about an identifiable individual, including municipal or local board employees as per Section 239(2)(b) of the Municipal Act.

CARRIED

4. **Rise from Closed Session**

Resolution: 2-3

Moved by Councillor Campbell

Seconded by Councillor Doble

That we rise from closed session at 4:54 p.m.

CARRIED

- 4.1 Recess

Resolution: 3-3

Moved by Councillor Jubb

Seconded by Councillor Pettingill

That Council break for a recess at 4:54 p.m.

CARRIED

5. Call Open Session to Order & Moment of Silence - 5:00 p.m.

The Fire Chief and the Chief Building Official joined the meeting at 5:00 p.m.

Mayor Grant called the open session to order and requested a moment of silence in honour of the passing of the Fire Chief's Mother in Law and a former employee's Father.

Mayor Grant read the acknowledgement of traditional treaty lands as follows:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

6. Disclosure of Pecuniary Interest and Nature Thereof

Mayor Grant advised that he is the Chair of the Brock Community Health Centre Board and would not be declaring a pecuniary interest with respect to item 11.2. Lease Agreement between the Township of Brock and the Brock Community Health Centre.

7. Matters from Closed Session

a) Matters about an identifiable individual, including municipal employees, pursuant to Section 239 (2)(b) of the Municipal Act.

Mayor Grant requested a recorded vote.

Resolution: 4-3

Moved by Councillor Doble

Seconded by Councillor Campbell

THAT Council receive Report 2021-CO-11, for information;

THAT Council authorize the Mayor to hire Ms. Ingrid Svelnis as Interim CAO on a contract basis as per the terms laid out in the staff report and that an appointing by-law be brought forward;

THAT Council hire a consultant on a contract basis as per the terms laid out in this report;

THAT \$125,000 from the modernization reserve be transferred to the CAO operating budget to offset the unexpected costs;

That Council authorize that Ms. Maralee Drake be temporarily promoted to Deputy Clerk and that the appointing by-law be brought forward;

THAT Council authorize the CAO & Clerk to implement the other direction provided during closed session as required; and

FURTHER THAT Council request that the Interim CAO report to Council every two (2) weeks on the status of items as per the schedule in the report during a closed session.

Yes (7): Mayor Grant, Deputy Mayor Smith, Councillor Jubb, Councillor Doble, Councillor Schummer, Councillor Pettingill, and Councillor Campbell

CARRIED (7 to 0)

- 8. Presentations**
- 9. Delegations and/or Petitions**
- 10. Consent Agenda**

Resolution: 5-3
Moved by Councillor Pettingill
Seconded by Deputy Mayor Smith

That the items listed in Section 10, Consent Agenda be approved save and except items 10.2.1. and 10.3.2. as listed on the agenda.

CARRIED

10.1 Adoption of Minutes of Previous Meetings

- 10.1.1 5th Meeting of Special Council - In Camera Session - February 12, 2021

Resolution: 6-3

That the minutes of the 5th Meeting of Special Council - In Camera Session as held on February 12, 2021 be approved.

- 10.1.2 2nd Meeting of Council - February 22, 2021

Resolution: 7-3

That the minutes of the 2nd Council meeting, as held on February 22, 2021, be approved.

- 10.1.3 6th Meeting of Special Council - March 2, 2021

Resolution: 8-3

That the minutes of the 6th Special Council meeting, as held on March 2, 2021, be approved.

- 10.1.4 6th Meeting of Special Council - In Camera Session - March 2, 2021

Resolution: 9-3

That the minutes of the 6th Meeting of Special Council - In Camera Session, as held on March 2, 2021 be approved.

- 10.1.5 7th Meeting of Special Council - March 4, 2021

Resolution: 10-3

That the minutes of the 7th Meeting of Special Council as held on March 4, 2021, be approved.

- 10.1.6 7th Meeting of Special Council - In Camera Session - March 4, 2021

Resolution: 11-3

That the minutes of the 7th Meeting of Special Council - In Camera Session as held on March 4, 2021 be approved.

10.1.7 8th Meeting of Special Council - March 8, 2021

Resolution: 12-3

That the minutes of the 8th Meeting of Special Council as held on March 8, 2021 be approved.

10.1.8 8th Meeting of Special Council - In Camera Session - March 8, 2021

Resolution: 13-3

That the minutes of the 8th Meeting of Special Council - In Camera Session as held on March 8, 2021 be approved

10.1.9 9th Meeting of Special Council - March 15, 2021

Resolution: 14-3

That the minutes of the 9th Meeting of Special Council as held on March 15, 2021 be approved.

10.1.10 1st Meeting of Planning and Community Affairs Committee - March 15, 2021

Resolution: 15-3

That the minutes of the 1st meeting of the Planning and Community Affairs Committee, as held on March 15, 2021 be approved.

10.1.11 10th Special Meeting of Council - March 15, 2021

Resolution: 16-3

That the minutes of the 10th Meeting of Special Council as held on March 15, 2021 be approved.

10.1.12 10th Meeting of Special Council - In Camera Session - March 15, 2021

Resolution: 17-3

That the minutes of the 10th Meeting of Special Council - In Camera Session as held on March 15, 2021 be approved.

10.1.13 4th Committee of the Whole Meeting - March 8, 2021

Resolution: 18-3

That the minutes of the 4th Committee of the Whole as held on March 8, 2021 be approved.

10.2 Reports

See later in the meeting.

10.3 Correspondence

10.3.1 2021 COVID-19 Recovery Funding

Ministry of Municipal Affairs and Housing
Communication No. 343/21

Resolution: 19-3

That Communication No. 343 be received for information,
That the Treasurer be authorized to sign and return the letter to the Ministry of Municipal Affairs and Housing in order to receive an allocation of \$262,400.00 for the purpose of assisting with COVID-19 costs and pressures, and
That staff report back to the province and Council on the 2021 COVID-19 costs and pressures and the use of this funding.

10.4 By-Laws

10.4.1 By-law Number 2962-2021

Being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O. 1990, as amended, to amend Zoning By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock with respect to certain land located at Part Lot 23, Concession 12, PT 2, 40R-13288, Brock Township (Municipally known as 396 Cameron Street, Cannington), Region of Durham.

Resolution: 20-3

That By-law Number 2962-2021 being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O. 1990, as amended, to amend Zoning By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock with respect to certain land located at Part Lot 23, Concession 12, PT 2, 40R-13288, Brock Township (Municipally known as 396 Cameron Street, Cannington), Region of Durham, be read a first, second, and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.2 By-Law Number 3000-2021

A By-law to prescribe a tariff of fees for the processing of applications made in respect of planning matters ("The Planning Fees By-law")

Resolution: 21-3

That By-law Number 3000-2021, being a by-law to prescribe a tariff or fees for the processing of applications made in respect of planning matters ("The Planning Fees By-law") be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.3 By-law Number 3014-2021

Being a By-law under the provisions of Section 34 of the *Planning Act*, R.S.O., 1990, as amended, to amend by-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock, Region of Durham, with respect to Cannabis Product and Processing.

Resolution: 22-3

That By-law Number 3014-2021 being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O., 1990, as amended, to amend By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock, Region of

Durham, with respect to Cannabis Production and Processing be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.4 By-law Number 3015-2021

Being a By-law passed pursuant to the provisions of Sections 17, 21 and 22 of the *Planning Act*, R.S.O. 1990, as amended.

Resolution: 23-3

That By-law Number 3015-2021 being a By-law passed pursuant to the provisions of Sections 17, 21 and 22 of the *Planning Act*, R.S.O. 1990, as amended be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.5 By-law Number 3024-2021

Being a By-law to provide for the actual cost recovery of the McFeeters Drain in the Township of Brock in the Regional Municipality of Durham.

Resolution: 24-3

That By-law Number 3024-2021, being a By-law to provide for the actual cost recovery of the McFeeters Drain in the Township of Brock in the Regional Municipality of Durham be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.6 By-law Number 3025-2021

Being a By-law to amend By-law Number 2915-2021, being a By-law to regulate open air, recreational and agricultural fire and to repeal by-law 2613-2015-PP.

Resolution: 25-3

That By-law Number 3025-2021, being a By-law to amend By-law Number 2915-2021, being a By-law to regulate open air, recreational and agricultural fire and to repeal by-law 2613-2015-PP be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

10.4.7 By-law Number 3026-2021

A By-law to re-divide the wards in the Township of Brock

Resolution: 26-3

That By-law Number 3026-2021, being a by-law to re-divide the wards in the Township of Brock, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

11. Items Extracted from Consent Agenda

11.1 Report: 2021-CO-09 - 2020 Council Remuneration and Expense Report

John Gormaly, CPA, CMA
Communication No. 376/21

Councillors enquired as to the expense allowance column and were advised that it reflects mileage. Councillors enquired whether funds were allocated annually into Reserves for severance and were advised in the affirmative.

Resolution: 27-3

Moved by Councillor Doble

Seconded by Councillor Pettingill

That Council receive report 2021-CO-09 for information.

CARRIED

11.2 Beaverton Torah Health Centre Lease

Brock Community Health Centre
Communication No. 375/21

Councillors enquired as to the total square footage of the space to which the Clerk advised that the areas require remeasuring as the rooms have changed from what is shown within the attachment. Councillors enquired as to the rent to which the Clerk advised that the BCHC rent increase is based on the Consumer Price Index but only increases when BCHC receives an increase to their base government funding.

Councillors enquired whether it is the intention of the BCHC to retain this space upon completion of their new building and were advised in the affirmative, for use by Nurse Practitioners.

It was noted that the BCHC have submitted their Site Plan Agreement to the Township.

Mayor Grant refrained from discussing and voting on Resolution Number 28-3.

Resolution: 28-3

Moved by Councillor Schummer

Seconded by Deputy Mayor Smith

That the Mayor and Clerk be and are hereby authorized to execute a Lease Agreement between the Corporation of the Township of Brock and Brock Community Health Centre.

CARRIED

12. Notices of Motions

12.1 Cannabis By-law and Controls

That copies of the new cannabis bylaws and controls be distributed to all cannabis production facilities in Brock Township.

Councillors advised that it would be prudent to share the Cannabis By-law with existing grow operations in Brock to provide the opportunity to comply with the requirements.

Resolution: 29-3

Moved by Councillor Pettingill

Seconded by Councillor Jubb

That copies of the new cannabis by-laws and controls be distributed to all cannabis production facilities in Brock Township.

CARRIED

13. Council Member Updates

Regional Councillor Smith expressed appreciation to staff for their efforts on road grading. He advised that there is a Regional meeting on Wednesday.

Councillor Doble advised that she has been in contact with the By-law department with respect to cleaning up dog waste in the parks.

Councillor Schummer expressed sorrow that the Clerk is leaving the Township noting that she is taking a wealth of experience with her. He expressed appreciation for her continuing efforts within Brock and wished her success in Scugog.

Mayor Grant expressed best wishes to the Clerk on her future endeavours and appreciation for her contributions to the Township of Brock.

Council members wished the Clerk well on her future endeavours.

Councillor Campbell expressed appreciation for the coordination of vaccination clinics in Brock.

Mayor Grant advised that Durham Health is working to address issues with respect to the vaccination clinics.

14. Other Business

14.1 By-law Number 3027-2021

To appoint a Chief Administrative Officer for the Corporation of the Township of Brock pursuant to Sections 228(2) and 229 of the Municipal Act, S.O. 2001, as amended.

Resolution: 30-3

Moved by Councillor Doble

Seconded by Deputy Mayor Smith

That By-law Number 3027-2021, being a by-law to appoint a Chief Administrative Officer for the Corporation of the Township of Brock, pursuant to Sections 228(2) and 229 of the Municipal Act, S.O. 2001, as amended, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

14.2 By-Law Number 3029-2021

Being a by-law to appoint Deputy Clerk's and an Acting Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 of the Municipal Act, S.O. 2001, as amended.

Resolution: 31-3
Moved by Councillor Doble
Seconded by Deputy Mayor Smith

That By-law Number 3029-2021, being a by-law to appoint Deputy Clerk's and an Acting Deputy Clerk for the Corporation of the Township of Brock, pursuant to Sections 228 of the Municipal Act, S.O. 2001, as amended, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

14.3 By-law Number 3028-2021

Being a By-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock

Resolution: 32-3
Moved by Councillor Doble
Seconded by Councillor Jubb

That By-law Number 3028-2021, being a by-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

15. Public Questions and Clarification

None

16. Closed Session (if required)

17. Confirmation By-law

Resolution: 33-3
Moved by Councillor Schummer
Seconded by Councillor Pettingill

That By-law Number 3023-2021, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on March 22, 2021, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

18. **Adjournment**

Resolution: 34-3
Moved by Councillor Pettingill
Seconded by Councillor Campbell

That we do now adjourn at 5:34 p.m.

CARRIED

Mayor, John Grant

Clerk



**The Corporation of the Township of Brock
Special Council Minutes**

**April 1, 2021
Virtual Meeting**

Members Present: Mayor John Grant
Regional Councillor Smith
Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble
Ward 3 Councillor Walter Schummer
Ward 4 Councillor Cria Pettingill
Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO Ingrid Svelnis
Deputy Clerk Deena Hunt
Deputy Clerk Maralee Drake
Fire Chief Rick Harrison
Director of Public Works Paul Lagrandeur
Interim Treasurer John Gormaly

1. Call to Order

Mayor Grant called the meeting to order at 3:00 p.m.

2. Disclosure of Pecuniary Interest and Nature Thereof

None

3. Closed Session

Staff left the meeting with the exception of the CAO and Deputy Clerks.

Resolution: 1-11

Moved by Regional Councillor Smith

Seconded by Councillor Doble

That Council move in camera at 3:02 p.m. pursuant to Section 239(2)(f) of the Municipal Act, 2001, to discuss advice that is subject to solicitor-client privilege.

CARRIED

4. Rise from Closed Session

Resolution: 2-11

Moved by Councillor Schummer

Seconded by Councillor Campbell

That Council rise from in camera at 3:37 p.m.

CARRIED

5. Matters from Closed Session

The Director of Public Works, Fire Chief, and Interim Treasurer joined the meeting at 3:40 p.m.

Mayor John Grant read the following land acknowledgement:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

6. Delegations

7. Consideration of Business for Which Notice was Given

7.1 By-law Number 3030-2021

Being a By-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock.

Resolution: 3-11

Moved by Councillor Jubb

Seconded by Regional Councillor Smith

That By-law Number 3030-2021 being a by-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law book on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

8. Public Questions and Clarification

None

9. Confirmation By-law

By-law Number 3031-2021, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 1, 2021.

Resolution: 4-11

Moved by Councillor Pettingill

Seconded by Councillor Schummer

That By-law Number 3031-2021 being a By-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 1, 2021, was read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law book on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

10. **Adjournment**

Resolution: 5-11

Moved by Councillor Campbell

Seconded by Councillor Pettingill

That we do now adjourn at 3:45 p.m.

CARRIED

Mayor, John Grant

Deputy Clerk,



**The Corporation of the Township of Brock
Committee of the Whole Minutes**

**April 12, 2021
Virtual Meeting**

Members Present: Mayor John Grant
Regional Councillor Smith
Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble
Ward 3 Councillor Walter Schummer
Ward 4 Councillor Cria Pettingill
Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO, Ingrid Svelnis
Deputy Clerk Deena Hunt
Deputy Clerk Maralee Drake
Fire Chief Rick Harrison
Chief Building Official Richard Ferguson

-
1. **Call to Order - 8:30 a.m.**
 2. **Disclosure of Pecuniary Interest and Nature thereof in Closed Session**
None.

3. **Closed Session**

Resolution: 1-5

Moved by Councillor Pettingill

That Council move in camera at 8:30 a.m. pursuant to Sections 239(2)(b) and 239(2)(h) of the Municipal Act, 2001, to discuss matters relating to employees of the Township and information explicitly supplied in confidence to the municipality or local board by Canada, a province or territory or a Crown agency of any of them.

CARRIED

- 3.1 To discuss matters personal matters about an identifiable individual, including municipal employees, pursuant to Section 239 (2)(b) of the Municipal Act.
- 3.2 To discuss information explicitly supplied in confidence to the municipality or local board by Canada, a province or territory or a Crown agency of any of them, pursuant to Section 239 (2)(h) of the Municipal Act.
4. **Rise from Closed Session**

Resolution: 2-5

Moved by Regional Councillor Smith

That we rise from in camera at 9:50 a.m.

CARRIED

4.1 Recess - Resolution 3-5

that Committee break for a recess at 9:51 a.m. and resume the meeting at 10:00 a.m.

5. Call Open Session to Order & Moment of Silence – 10:00 a.m.

The Fire Chief, and the By-law Enforcement/Animal Control Supervisor joined the meeting. The Planner joined the meeting at 10:25 a.m.

Mayor Grant called the meeting to order at 10:00 a.m. and read the following land acknowledgement:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

Committee paused for a moment of meditation, personal reflection, and moment of silence to honour the passing of Prince Philip.

6. Disclosure of Pecuniary Interest and Nature thereof

None.

7. Matters from Closed Session

Resolution: 4-5

Moved by Councillor Doble

That Committee accept the recommendation from the Township solicitor as discussed in closed session.

CARRIED

8. Presentations

8.1 MPAC's 2020 Municipal Partnership Report

Kevin Yaraskavitch, Account Manager

Natasha Dawood, Regional Manager

Mr. Kevin Yaraskavitch, Account Manager, and Ms. Natasha Dawood, Regional Manager, Municipal Property Assessment Corporation (MPAC), provided a slideshow presentation with respect to property assessment within Brock noting that the 2016 valuations have not changed.

Councillors enquired as to the impact on property taxes once MPAC proceeds with re-assessments to which Mr. Yaraskavitch advised that property taxes are proportional to the value of the overall properties in an area and if property values increase equally, the proportions remain the same. Mr. Yaraskavitch advised that, while the next assessment date remains unknown, valuations could be based on 2020 values and any changes in assessment would be phased in over a 4 year period.

Councillors enquired as to Brock properties that fall within the exempt classification and were advised lands used for non-profit long term care, places of worship, charities, municipal properties, schools, and hospitals, all of which are defined in Regulation 282/98 under the Assessment Act. Ms. Dawood advised that she could forward a list of the exemption criteria to Council members.

Councillors enquired as to MPAC inspections during the pandemic and were advised that inspections are not permissible within the grey category and exterior home inspections coupled with building plans, permits, financial statements, and sales data, are sufficient for assessment within the red category.

Councillors enquired with respect to the increased sales values for homes in rural areas and the impact to the future valuation and taxes. Ms. Dawood advised that the valuation process includes analyzing a broad community area, market sales in the community, review of the sales values in shoulder years of that valuation date, continuing to analyze market trends, and noted that increased property sales values do not always result in an increase in taxes. She advised that assessments are averaged for property types and municipal budgets also impact the tax rate.

Councillor Pettingill experienced internet loss and left the meeting at 10:20 a.m.

Ms. Dawood advised that MPAC could provide social media content for the Township's website with respect to assessments and taxes.

9. Delegations

9.1 Durham Environmental Advisory Committee

Richard Dickinson

Mr. Richard Dickinson advised that he is a member of Durham Environmental Advisory Committee (DEAC), the DEAC Environmental Achievement Awards are now listed on the DEAC website and are open to individuals and organizations in the public, private, and non-profit sectors who have achieved an environmental protection/enhancement accomplishment. He noted that there are 8 awards, with 2 designated for schools (one for the school, one for a student), and the deadline to submit is April 30, 2021. He provided an overview of the requirements to apply for an award which would be recognized during a virtual ceremony late fall 2021. He encouraged people to submit a nomination for Brock. He further advised that DEAC would host webinar series in late Spring.

9.2 Outer City Arts

Jay Yerema-Weafer

Ms. Jay Yerema-Weafer advised that she was representing the Board of Directors for Outer City Arts, a not for profit organization started in Brock a number of years ago. She advised that the groups intention was to renovate the space above the Timothy Findley Memorial Library Branch in Cannington for use as an arts centre for North Durham. She advised that no income has been generated due to COVID-19 and the organization is in the process of dissolution. She requested that the Committee consider breaking the lease between the Township of Brock and Outer City Arts with no penalty noting that it has been a difficult decision to let go of their

dream. She further advised that anyone interested in picking up this initiative in the future would have access to the documentation and connections that they have put in place.

Councillors enquired as to the achievements which could assist future interested parties and were advised a consultant prepared a feasibility study with respect to the renovations which included preliminary investigation into architectural firms, financial sustainability initiatives were documented, conference notes were documented with respect to rural economic strategies, how to offer courses was documented as well as job descriptions captured. Ms. Yerema-Weafer advised that the priority for renovation was placed on accessible washrooms, repairs to the elevator and retractable theatre seating. She noted that information was gathered on flooring options, lighting, and sound and advised that the organization had made connections with Toronto based SKETCH.

Councillor Pettingill rejoined the meeting at 10:47 a.m.

Councillors enquired as to the impact of the pandemic on funding and were advised that funding was cut and new funding models arising for the Arts would be given to the well established organizations.

Ms. Yerema-Weafer advised that she has paid to maintain their website for the next three years and Mr. Bernard Leroux could be contacted with respect to sharing the gathered information.

Resolution: 5-5

Moved by Councillor Campbell

That the lease between Outer City Arts and the Township of Brock be terminated and that residents who donated to the Outer City Arts program be refunded.

CARRIED

10. Sub-Committees

10.1 Finance Committee

10.1.1 Staff Reports

10.1.1.1 Report: 2021-FI-06, Annual Building Permit Fee Report - For the 2020 Fiscal Year

John Gormaly, CPA, CMA
Communication No. 392/21

Resolution: 6-5

Moved by Councillor Doble

That the Committee receive Report 2021-FI-06, Annual Building Permit Fee report for 2020 for information.

CARRIED

10.1.1.2 Report: 2021-FI-07, Award of RFP-2020-02 Building Our Best Brock Official Plan Review Study

Debbie Vandenaeker
Communication No. 510/21

Councillors enquired as to the timeline and processes involved to which the Interim CAO advised that staff would consult with WSP and report back to Council.

The Planner advised that the first two modules of the review would be completed consecutively in order to meet the obligations for the Interim Control Bylaw.

Councillors enquired as to public input and were advised that each module would request public input which would be incorporated into the draft Official Plan (OP).

Councillors enquired as to the OP review considering the expansion of the Community Improvement Plan to which the Planner advised not, that the CIP program could be reviewed following the completion of the OP study.

Councillors enquired as to the Development Charges funding this venture to which staff advised that they would follow up.

Resolution: 7-5
Moved by Councillor Pettingill

That the Committee of the Whole approve staff's recommendation to award the Official Plan Review Study as it is described in RFP-2020-02 to WSP, that the Clerk's Department and CAO be authorized to enter into an agreement based on the submission proposal, and that funding the remainder of the project cost be distributed evenly in the 2022 and 2023 budgets, the details of which will be discussed during the 2022 and 2023 budget deliberations.

CARRIED

- 10.1.2 Consent Agenda
- 10.1.3 Items Extracted from Consent Agenda
 - 10.1.3.1 Interest charged on taxes during COVID-19 pandemic

Cedric Baker
Communication No. 390/21

Councillors expressed appreciation for staff's response to this enquiry.

Resolution: 8-5
Moved by Regional Councillor Smith

That communication no. 390/21 be received for information and filed.

CARRIED
 - 10.1.3.2 One Time Doubling of Gas Tax Funds in 2021

AMO
Communication No. 463/21

The Interim CAO advised that staff would provide proposed projects for this funding and follow up with Council.

Resolution: 9-5

Moved by Councillor Jubb

That Communication no. 463/21 be received for information.

CARRIED

10.2 Operations Committee

10.2.1 Staff Reports

10.2.1.1 Report: 2021-OP-01 - Tender B2021-PW-02 - Routing, Hot Lance and Seal Various Streets

Paul Lagrandeur
Communication No. 476/21

Councillors requested that future reports provide how much the proposal represents of the amount allocated in the budget to which the CAO advised in the affirmative.

Resolution: 10-5

Moved by Regional Councillor Smith

That staff Report 2021-OP-01, Tender B2021-PW-02 - Routing, Hot Lance and Seal, Various Streets be received;

And that staff be authorized to proceed with the recommendation of awarding the tender to Northern Sealants Inc. in the amount of \$30,300.00 plus HST.

CARRIED

10.2.1.2 Report: 2021-OP-02 - Tender B2021-PW-03 - One Ton Truck

Paul Lagrandeur
Communication No. 477/21

Resolution: 11-5

Moved by Councillor Campbell

That staff report 2021-OP-02, Tender B2021-PW-03 - One Ton Truck be received;

And that staff be authorized to proceed with the recommendation of awarding the tender to Jim Wilson Chevrolet in the amount of \$70,000.00 plus HST

CARRIED

10.2.2 Consent Agenda

10.2.3 Items Extracted from Consent Agenda

10.3 Parks, Recreation and Facilities Committee

10.3.1 Staff Reports

10.3.2 Consent Agenda

Resolution: 12-5

Moved by Councillor Doble

That the items listed under Section 10.3.2 Parks, Recreation & Facilities Consent Agenda, be approved, save and except item 10.3.2.3. as listed on the agenda.

CARRIED

10.3.2.1 Beaverton Harbour Advisory Committee - Minutes - February 3, 2021

Communication No. 382/21

Resolution: 13-5

That that minutes of the February 3, 2021 Beaverton Harbour Advisory Committee meeting be received for information and approved.

10.3.2.2 Non-Profit Sector Review Committee - Minutes - January 6, 2021

Communication No. 453/21

Resolution: 14-5

That that minutes of the January 6, 2021 Non-Profit Sector Review Committee meeting be received for information and approved.

10.3.3 Items Extracted from Consent Agenda

10.3.3.1 Non-Profit Sector Review Committee (NPSRC) - Minutes - February 10, 2021

Communication No. 454/21

Councillor Schummer advised that the NPSRC has launched a second survey to local non profit groups for their comprehensive input with respect to the health of this sector noting that the first survey dealt with gathering information to build a reference database. He encouraged all non profit groups to complete the survey as it would assist the review committee in fulfilling their mandate.

Resolution: 15-5

Moved by Councillor Schummer

That the minutes of the February 10, 2021 Non-Profit Sector Review Committee meeting be received for information and approved.

CARRIED

10.4 Tourism & Economic Development Committee

10.4.1 Staff Reports

10.4.2 Consent Agenda

Resolution: 16-5

Moved by Regional Councillor Smith

That items listed under Section 10.4.2, Tourism & Economic Development Consent Agenda, be approved.

CARRIED

- 10.4.2.1 Brock Economic Development Advisory Committee - Minutes - February 16, 2021

Communication No. 462/21

Resolution: 17-5

That the minutes of the February 16, 2021 Brock Economic Development Advisory Committee meeting be received for information and approved.

- 10.4.2.2 Extension and Expansion of the Digital Main Street Program

Town of Whitby

Communication No. 503/21

Resolution: 18-5

That Communication No. 503/21 be received for information.

- 10.4.3 Items Extracted from Consent Agenda

10.5 Protection Services Committee

- 10.5.1 Staff Reports

- 10.5.1.1 Report: 2021-PS-04 - Source Protection-Sewage System Maintenance Agreement

Richard Ferguson

Communication No. 474/21

The Interim CAO advised that Durham Region completes the septic inspections on behalf of the municipality.

Resolution: 19-5

Moved by Councillor Doble

That the Committee receive Report: 2021-PS-04 and that the Mayor and Clerk be authorized to sign the agreement with the Durham Region Health Department for the administration and inspection of Septic Systems in the Wellhead Protection Zones within the Township of Brock.

CARRIED

- 10.5.1.2 Report: 2021-PS-05 - Parks By-law Number 1977-2006-PP - No Fishing

Sarah Beauregard-Jones

Communication No. 475/21

Councillors requested clarification to which the Bylaw Supervisor advised that the amendment is in response to safety concerns at the Township docks where there have been too many people fishing while boats are docking and that the By-law had not addressed fishing in the harbour. She advised that this would not affect fishing from the north beach or break walls.

Councillors enquired as to old no fishing signage and were advised that the signage is not the property of the Township. Discussion ensued with respect to the municipality and the federal government both owning portions of the harbour. The Bylaw Supervisor advised that staff have contacted the Federal government for clarification with respect to enforcement within the harbour noting that staff would provide enforcement within the municipality's jurisdiction.

Councillors enquired as to public education in conjunction with the placement of municipal signage and were advised that staff regularly provide education during their patrols and noted that this amendment is only prohibiting fishing from the Township owned docks.

Councillors enquired as to an update with respect to federal jurisdiction and were advised that staff have not received a response and would only enforce bylaws with respect to municipally owned property.

Resolution: 20-5

Moved by Councillor Jubb

That Report: 2021-PS-05 be received and that By-law Number 1977-2006-PP, as amended be amended to prohibit fishing from public docks and boat launch ramps unless written approval is provided from the Municipal Clerk and that the amending By-law come forward for consideration.

CARRIED

10.5.1.3 Report: 2021-PS-06 - 2021 Fire Department Q1 Responses

Rick Harrison
Communication No. 505/21

Councillors enquired as to the dollar value and cause of the 12 property fires within the first quarter of 2021 and were advised that the Fire Chief would follow up and that future reports would provide those details.

Councillors enquired whether COVID-19 had an impact on calls and were advised that the Fire Chief would follow up.

Councillors expressed concern for the cost of false fire calls enquiring whether there was malicious intent involved and were advised not, that most were the result of faulty alarms.

Resolution: 21-5

Moved by Councillor Pettingill

That staff Report 2021-PS-06 Fire Department responses be received.

CARRIED

10.5.2 Consent Agenda

Resolution: 22-5

Moved by Councillor Schummer

That items listed under Section 10.5.2, Protection Services Consent Agenda, be approved, save and except item number 10.5.2.11 as listed on the agenda.

10.5.2.1 Durham Regional Police Services Board - New Collective Agreements for Sworn and Civilian Members of the Durham Regional Police Services

Communication No. 415/21

Resolution: 23-5

That Communication No. 415 be received for information.

10.5.2.2 C.P. Railway Traffic Information and Data Arising from Resolution C-028-21

Municipality of Clarington
Communication No. 423/21

Resolution: 24-5

That Communication No. 423/21 be received for information.

10.5.2.3 Request for an Interim Cap on Gas Plan and Greenhouse Gas Pollution and the Development and Implementation of a Plan to Phase-Out-Gas-Fire Electricity Generation

Town of Ajax
Communication No. 430/21

Resolution: 25-5

That Communication No. 430 be received for information.

10.5.2.4 Unflood Ontario: Call to Action Resolution

Durham Region Legislative Services
Communication No. 441/21

Resolution: 26-5

That Communication No. 441/21 be received for information.

10.5.2.5 Highlights from the March 23, 2021 Meeting

Durham Regional Police Services Board
Communication No. 445/21

Resolution: 27-5

That Communication No. 445/21 be received for information.

10.5.2.6 Motion to add Pharmacies in Durham Region to the Government of Ontario's Pilot Project to Deliver the AstraZeneca Vaccine

Durham Region Legislative Services
Communication No. 451/21

Resolution: 28-5

That Communication No. 451 be received for information.

10.5.2.7 2021 Climate Change Update and Corporate Climate Change Action Plan (2021-A-3)

Durham Region Legislative Services
Communication No. 452/21

Resolution: 29-5

That Communication No. 452 be received for information.

10.5.2.8 Covid-19 Vaccination Distribution Task Force

General Rick Hillier
Communication No. 456/21

Resolution: 30-5

That Communication No. 456 be received for information.

10.5.2.9 Community Funding Priorities

Durham Region Social Services
Communication No. 480/21

Resolution: 31-5

That Communication No. 480 be received for information

10.5.2.10 Cormorant Shooting Exclusion

Mark-Andre Simard
Communication No. 487/21

Resolution: 32-5

That the request as contained within Communication No. 487 be approved.

10.5.3 Items Extracted from Consent Agenda

10.5.3.1 Interoffice Memorandum - The Nourish & Develop Foundation (TNDF) Mobile Food Market

Deena Hunt
Communication No. 508/21

Councillors enquired whether TNDF would be subject to the conditions of points 1 through 6 while they are operating on private property (point 7) and were advised that staff would follow up and respond to Council.

Resolution: 33-5

Moved by Councillor Schummer

That Committee approve the Mobile Food Market project subject to the Nourish and Develop Foundation meeting the requirements as contained within Communication No. 508.

CARRIED

10.6 General Government Committee

10.6.1 Staff Reports

10.6.1.1 Report: 2021-GG-03 - Human Resources

Ingrid Svelnis
Communication No. 511/21

Resolution: 34-5

Moved by Councillor Doble

That Committee receive Report 2021-GG-03 for information.

CARRIED

10.6.1.2 Report: 2021-GG-04 - Committee Continuation

Ingrid Svelnis
Communication No. 512/21

Resolution: 35-5

Moved by Regional Councillor Smith

That Committee receive report 2021-GG-04 and that the advisory committees of Council continue to meet as scheduled.

CARRIED

10.6.2 Consent Agenda

Resolution: 36-5

Moved by Councillor Schummer

That items listed under Section 10.6.2, General Government Consent Agenda, be approved, save and except item numbers 10.6.2.1. and 10.6.2.4. as listed on the agenda.

CARRIED

10.6.2.1 Review of Health and Safety Policy

Stefanie Stickwood
Communication No. 485/21

Resolution: 37-5

That the Mayor and CAO be authorized to sign the Health and Safety Policy as contained within Communication No. 485/21

10.6.2.2 Proclamation Request - April 24, 2021 - Human Values Day

Communication No. 499/21

Resolution: 38-5

That April 24th be proclaimed as Human Values.

10.6.3 Items Extracted from Consent Agenda

10.6.3.1 Land Parcel Purchase

Alyson Kea
Communication No. 482/21

Regional Councillor Smith advised that he explained the process to the requestors noting that a staff report would address the issue.

The Interim CAO advised that there are two strategies involved, one to address unopened road allowances at the lake and the other to address rural unopened road allowances. She advised that the lake strategy would take priority.

Resolution: 39-5

Moved by Regional Councillor Smith

That committee refer communication number 582 to staff for a report.

CARRIED

10.6.3.2 McFeeters Drain

Ron & Kelly Jarvis
Communication No. 507/21

Councillor Schummer advised that there is public confusion with the municipal drain charges given the length of time it took to complete the project and expressed concern for charging interest on the invoices during the pandemic. He acknowledged that the Township has no option but to implement the charges under the Drainage Act but recommended interest relief be provided for the 2021 year.

Councillors enquired when bills would be subject to interest and were advised January 1, 2022.

Councillors enquired as to some properties receiving a 1/3 grant to which the Interim CAO advised that

staff would follow up and post information onto the Township website.

Resolution: 40-5

Moved by Councillor Schummer

That Communication No. 507 be received for information, and that staff provide an explanation of the Provincial Drainage Legislation and process, and further, that the interest on these bills be waived for the remainder of the 2021 year.

CARRIED

11. Other Business

11.1 COVID-19 Update

The Fire Chief advised that there is a Province-wide Stay at Home Order in place, staff are determining which operations/activities could be opened or closed depending on the colour categories for the pandemic, signage is to be posted at skateboard parks with restrictions for COVID-19, and a forthcoming report for beaches would address operations this season.

The Fire Chief advised that some cases of COVID-19 have been reported in a Brock daycare and that 4 Township staff have tested negative and continue to self isolate for 14 days.

The Fire Chief advised that the vaccine clinic is running well in Brock and the next clinic is scheduled for April 24, 2021. He advised that staff are gathering information to be distributed to local businesses intended to provide education surrounding the safety measure for the pandemic.

Councillors enquired whether contact tracing was implemented for the recent COVID-19 cases and were advised in the affirmative.

Councillors enquired as to the options for booking a vaccination and were advised online or by telephone.

Councillor Doble advised that constituents are expressing an interest in virtual recreation to which the Fire Chief advised that he would follow up.

Regional Councillor Smith advised that Region of Durham Health Department is allotted vaccines on a per capita basis and a vaccination clinic would be opening in the Independent Grocers in Beaverton.

Councillors enquired whether the boat launches are open and were advised in the affirmative.

Councillors enquired as to the number of vaccinations that have been administered to date and were advised approximately 300 per day with 4 clinics completed.

Mayor Grant advised that the Small Urban GTHA Mayors have forwarded a statement to all M.P.P.'s to request that the Provincial government addresses the vaccine supply shortcomings. He advised that Laurie Scott, M.P.P. has enquired as to the vaccination successes and challenges, and that Christine Elliott, Minister of Health, has been invited to attend a meeting of the Small Urban GTHA Mayors.

12. Public Questions and Clarifications

None.

13. Closed Session (if required)

14. Adjournment

Resolution: 41-5

Moved by Councillor Campbell

That we do now adjourn at 12:41 p.m.

CARRIED

Mayor, John Grant

Deputy Clerk,



**The Corporation of the Township of Brock
Planning and Community Affairs Minutes**

**April 19, 2021
Virtual Meeting**

Members Present: Mayor John Grant
Regional Councillor Smith
Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble
Ward 3 Councillor Walter Schummer
Ward 4 Councillor Cria Pettingill
Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO, Ingrid Svelnis
Deputy Clerk Deena Hunt
Deputy Clerk Maralee Drake
Fire Chief Rick Harrison
Director of Public Works Paul Lagrandeur
Chief Building Official Richard Ferguson
Planner Debbie Vandenakker

-
- 1. Call to Order**
 - 2. Disclosure of Pecuniary Interest and Nature thereof in Closed Session**
 - 3. Closed Session**
There was no closed session.
 - 4. Rise from Closed Session**
 - 5. Call Open Session to Order**
Chair/Regional Councillor Smith called the meeting to order at 1:30 p.m.
 - 6. Disclosure of Pecuniary Interest and Nature Thereof**
None
 - 7. Matters from Closed Session**
 - 8. Public Meetings**
None
 - 9. Presentations**
None
 - 10. Delegations**

None

11. Staff Reports

None

12. Correspondence

Resolution: 1-2

Moved by Councillor Campbell

That items listed under Section 12, Correspondence, be approved save and except item numbers 12.2, 12.3, and 12.10 as listed on the agenda.

CARRIED

12.1 Endorsement of The Township of Brock's Cannabis Licencing and Enforcement Resolution

Municipality of Southwest Middlesex
Communication No. 372/21

Resolution: 2-2

That communication number 372/21 be received for information.

12.2 Support for Township of Brock Resolution - Cannabis Licencing and Enforcement

City of Quinte West
Communication No. 413/21

Resolution: 3-2

That communication number 413/21 be received for information.

12.3 Township of Brock - Cannabis Licencing and Enforcement

Town of Fort Erie
Communication No. 421/21

Resolution: 4-2

That communication number 421/21 be received for information.

12.4 Growing the Greenbelt

Town of Ajax
Communication No. 431/21

Resolution: 5-2

That communication number 431/21 be received for information.

12.5 Board of Directors Special Meeting Agenda and Meeting Agenda - March 26, 2021

Lake Simcoe Region Conservation Authority
Communication No. 434/21

Resolution: 6-2

That communication number 434/21 be received for information.

12.6 Appointment to the Lake Simcoe Region Conservation Authority

Durham Region Legislative Services
Communication No. 435/21

Resolution: 7-2

That communication number 435/21 be received for information.

12.7 CP Railway Traffic Information and Data

Durham Region Legislative Service
Communication No. 439/21

Resolution: 8-2

That communication number 439/21 be received for information.

12.8 Memorandum from Ralph Walton, Regional Clerk/Director of Legislative Services dated February 25, 2021, re: Resolution adopted by Regional Council at its meeting held on February 24, 2021

Durham Region Legislative Services
Communication No. 442/21

Resolution: 9-2

That communication number 442/21 be received for information.

CARRIED

12.9 Report PLN 14-21, Environmental Registry Posting 019-3136, Response to consultation regarding growing the Provincial Greenbelt

City of Pickering
Communication No. 457/21

Resolution: 10-2

That communication number 457/21 be received for information.

12.10 Cannabis Licencing

Loyalist Township
Communication No. 468/21

Resolution: 11-2

That communication number 468/21 be received for information.

12.11 Support Resolution

Township of Armour
Communication No. 473/21

Resolution: 12-2

That communication number 473/21 be received for information.

12.12 Region of Durham's Soil and Groundwater Assessment Protocol - Commissioner's Report 2021-P-8

Durham Region Planning and Economic Development Department
Communication No. 498/21

Resolution: 13-2

That communication number 498/21 be received for information.

12.13 Resolution - Cannabis Licencing and Enforcement

Municipality of Huron East
Communication No. 506/21

Resolution: 14-2

That communication number 506/21 be received for information.

12.14 Cannabis Licencing and Enforcement

City of St.Catharines
Communication No. 515/21

Resolution: 15-2

That communication number 515/21 be received for information.

12.15 Cannabis Licencing and Enforcement Resolution

Municipality of Faraday
Communication No. 524/21

Resolution: 16-2

That communication number 524/21 be received for information.

12.16 Council Resolution - Cannabis Licencing and Enforcement

Municipality of Marmora and Lake
Communication No. 530/21

Resolution: 17-2

That communication number 530/21 be received for information.

13. Items Extracted From Consent Agenda

13.1 Shared cost of fencing

Sarah & Graeme Powell
Communication No. 400/21

Councillors enquired as to past practice to which the Deputy Clerk advised that the Township would pay up to 50% of the cost for a chain link fence when municipal property is involved and that the property owner would be responsible for costs above that amount should they opt out of chain link.

Councillors enquired whether the same condition would be offered if there were no existing fence to replace to which staff advised that they would follow up.

Resolution: 18-2

Moved by Councillor Jubb

That committee has no objection to the request for a shared cost of a post and wire fence as contained within communication number 400/21, subject to all requirements being met.

CARRIED

13.2 Street Name Request

Durham Region Planning Division
Communication No. 408/21

Councillors advised that they would prefer the street name to be Debbie Bath-Hadden Way.

Councillors requested a list of reserved street names for Brock from the Region.

Resolution: 19-2

Moved by Councillor Campbell

That communication number 408/21 be received for information.

CARRIED

13.3 Regional Submission to the Ministry of the Environment, Conservation and Parks for the Lake Simcoe Protection Plan 10-Year Review

Environmental Registry of Ontario Posting #019-2833, Launching the Minister's 10 Year Review of the Lake Simcoe Protection Plan
Durham Region Legislative Services
Communication No. 472/21

Councillor Pettingill expressed appreciation for the Regional report and recommendations with respect to the Lake Simcoe Protection Plan.

Resolution: 20-2

Moved by Councillor Pettingill

That communication number 472/21 be received for information, and that Brock Township endorse the communication and forward the endorsement to the Honourable Jeff Yurek, Minister of the Environment, Conservation and Parks, and Claire Malcolmson at the Rescue Lake Simcoe Coalition.

CARRIED

14. Other Business

None

15. Public Questions and Clarification

None

16. Closed Session (if required)

17. Adjournment

Resolution: 21-2

Moved by Councillor Campbell

That we do now adjourn at 1:41 p.m.

CARRIED

Mayor, John Grant

Deputy Clerk,



Date:	15/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Report
Copies to:	

Corporation of the Township of Brock

Staff Report to the Mayor and Members of Council

From:	Ingrid Svelnis
Position:	CAO
Title / Subject:	Request to Purchase Shoreline Road Allowances
Date of Report:	April 13, 2021
Date of Meeting:	April 26, 2021
Report No:	2021- CO-12

1.0 Strategic Goal/Priority

To ensure that the Council has options with respect to the identification of shoreline properties which may have potential to facilitate improved public/pedestrian access.

2.0 Issue / Origin

The Township has received three individual requests to consider the sale of shoreline properties. In addition, Council has requested a report to identify all shoreline access points and identify those which may have potential to facilitate improved pedestrian access.

The purpose of this report is to address the merits of the specific requests. A subsequent report will be prepared to address those properties which may eligible for enhancements.

3.0 Background

The Township has received requests from the following individuals to consider the sale of Township-owned properties as follows:

- J. Kouba/S. Sneath – a strip of land located between 116 and 126 Morrison Avenue, Ethel Park as they own property on the east side of Morrison Avenue.
- C. Terzis – a portion of the Concession 3 - Thorah road allowance west of Maple Beach Road as they own property north of the road allowance.
- J. Besaw – a portion of Maplewood road allowance west of Lakeshore Road.

4.0 Analysis

It is a generally accepted planning principal that municipal ownership of unopened road allowances abutting the lake is generally viewed positively as it provides the opportunity for non-waterfront owners to access the lake regardless of whether vehicular access can be provided. This is of particular significance within the Township of Brock as the majority of the shoreline is in private ownership. The municipality has received a number of requests in the past for which all of them have been ultimately denied by Council.

It is acknowledged that not all access points may be suitable for public access. However, it would be difficult for staff to recommend approval of the sale of these unopened road allowances on the basis that it could set a precedent for future requests, each of which would view the sale of these lands as precedent setting as well as advancing arguments related to their own unique circumstances.

My recommendation is that the Township not sell any lake access points and that over time the municipality look at enhancing these points to provide greater opportunities for passive use to residents who do not reside at the lake.

5.0 Related Policies / Procedures

None

6.0 Financial / Budget Assessment

No impact at present.

7.0 Communications

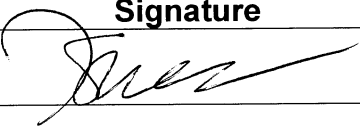
That the respective property owners be advised of Council's position not to entertain requests of this nature at this time.

8.0 Conclusion

That the sale of these properties not be entertained on the basis of accepted planning principles, potential for future requests, and Council's direction to review all lakeshore access points for potential improvement.

9.0 Recommendation

That Council receive this report for information and that the requests to purchase these lake access points not be approved and that the property owners be so advised.

Title	Name	Signature	Date
Chief Administrative Officer	Ingrid Svelnis		April 13, 2021



Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Report
Copies to:	

Corporation of the Township of Brock

Staff Report to the Mayor and Members of Council

From:	Rick Harrison
Position:	Fire Chief
Title / Subject:	Fire Safety Grant Program
Date of Report:	April 19, 2021
Date of Meeting:	April 26, 2021
Report No:	2021-CO-14

1.0 Strategic Goal/Priority

To provide the citizens of Brock Township a safe, progressive, innovative and proactive Fire Department. Through a unified forward-thinking organization, we will create commitment to excellence through professionalism, honesty, integrity and respect for our customers and each other.

2.0 Issue / Origin

The Fire Chief is ultimately responsible for the operation of the fire department, which encompasses the Training Division.

3.0 Background

On March 11, 2021 the Government of Ontario announced a one-time \$5 Million grant to municipal fire services to assist in addressing challenges associated with training and virtual inspections due to the COVID-19 pandemic. Each of the 441 municipal fire departments in the Province is eligible for up to \$4,500 base amount, with the remainder of the \$5 million allocated on a per capita basis.

The Government of Ontario required that all submissions be received no later than March 19, 2021. A further condition is that all projects be completed before August 31, 2021. The local municipality is required to execute a Grant Transfer Payment agreement to receive the funds. The municipality is required to submit a report to the Office of the Fire Marshal confirming the project funds were utilized for the approved purpose no later than September 1, 2021.

Due to the short timelines and the possibility that municipal councils may not have sufficient time to meet and approve the transfer agreement, the Ontario Fire Marshal is prepared to receive notice from the Fire Chief of the acceptance of the funds, conditional on the local municipal council entering into the Transfer Agreement.

The Ontario Fire Marshal advised that a signed Fire Safety Grant Transfer Payment Agreement with a Council resolution must be submitted no later than April 30, 2021.

4.0 Analysis

The Fire Department submitted the required application to the Office of the Fire Marshal. On March 25, 2021, the Municipality was advised that we were approved for the full eligible amount of \$7,400, subject to Council approval of the project submission and execution of Transfer Agreement.

5.0 Related Policies / Procedures

N/A

6.0 Financial / Budget Assessment

N/A

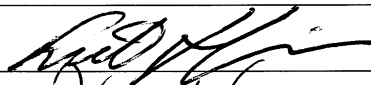
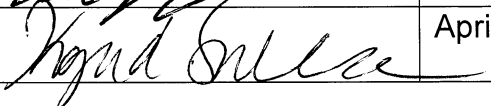
7.0 Communications

N/A

8.0 Conclusion

THAT Report 2021-CO-14 be received for information;

AND THAT Council pass a resolution to direct the CAO to execute the Fire Safety Grant Transfer Agreement.

Title	Name	Signature	Date
Click or tap here to enter text.			
Fire Chief	Rick Harrison		April 19, 2021
Chief Administrative Officer	Ingrid Svelnis		April 20, 2021



Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Report
Copies to:	

Corporation of the Township of Brock

Staff Report to the Mayor and Members of Council

From:	Debbie Vandenakker
Position:	Planner
Title / Subject:	Site Plan Approval Report for 8-2020-SP Mancini (2753883 Ontario Inc.)
Date of Report:	April 20, 2021
Date of Meeting:	April 26, 2021
Report No:	2021-CO-13

1.0 Strategic Goal/Priority

To provide Council with a staff recommendation of approval for the Site Plan application regarding the property municipally known as B22575 Lakeridge Road in Port Bolster (File No. 8-2020-SP).

2.0 Issue / Origin

In September 2020, Township staff received a Site Plan application for B22575 Lakeridge Road in Port Bolster to construct a large workshop on the Commercially zoned property.

3.0 Background

2753883 Ontario Inc. is owned by Tony Mancini. Mr. Mancini's objective for the property is to build a single-story custom workshop for himself. Even though Mr. Mancini does not plan for

the workshop to be used commercially, the commercial zoning and potential future commercial use of the property requires the Site Plan process to be undertaken.

4.0 Analysis

The application and supporting documentation was circulated to the following parties for review and comment:

- Region of Durham Works Department;
- AECOM to provide engineering review on behalf of Brock Township; and
- Township of Brock Public Works, Clerks, Building, Planning and Fire Departments.

The Site Plan documentation was determined to be acceptable through this review process and the Site Plan Agreement was assembled as shown in **Attachment 1**.

The Site Plan Agreement consists of the following parts:

- By-law 3036-2021 to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with the 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock.
- Site Plan Agreement
 - Schedule “A” – Legal Description of the Lands
 - Schedule “B” – Site Development Plans
 - Schedule “C” – Special Conditions
 - Schedule “D” – Financial Obligations

This project is a relatively simple build with minimal anticipated impacts. The Region of Durham required a road widening along Lakeridge Road as per their standard policy and a permit for the work required in the Regional Right of Way has been issued.

The planning and technical reviews of this application show conformance and compliance with all applicable policies, guidelines and standards.

5.0 Related Policies / Procedures

The signed Site Plan Agreement will be registered on the title of the property.

6.0 Financial / Budget Assessment

N/A

7.0 Communications

The Site Plan Approval process is not public. No external consultation was undertaken on this application.

8.0 Conclusion

This Site Plan application meets all technical standards and guidelines as well as planning policies in the Township of Brock.

9.0 Recommendation

It is recommended that Site Plan application 8-2020-SP Mancini be approved, and that the Council of the Township of Brock authorize the Mayor and Clerk's Department to enter into a Site Plan Agreement as attached with 2753883 Ontario Inc. (the Owner).

Title	Name	Signature	Date
Planner	Debbie Vandenakker	<i>D Vandenakker</i>	04.20.2021
Chief Building Official	Richard A. Ferguson, CBCO	<i>Richard Ferguson</i>	
Chief Administrative Officer	Ingrid Svelnis	<i>Ingrid Svelnis</i>	04.20.2021

BY-LAW NUMBER 3036-2021

**BEING A BY-LAW TO AUTHORIZE THE CORPORATION OF THE TOWNSHIP OF BROCK
TO ENTER INTO A SITE PLAN AGREEMENT WITH 2753883 ONTARIO INC. REGARDING
PART LOT 1, CONCESSION 13, BROCK
(MUNICIPALLY KNOWN AS B22575 LAKERIDGE ROAD, CANNINGTON, ON)**

WHEREAS Section 41 of the Planning Act, R.S.O. 1990 provides that a municipality may enter into agreements dealing with and ensuring the provision of any or all of the facilities, works or matters mentioned therein;

AND WHEREAS the Council of the Corporation of the Township of Brock deems it expedient to enter into an agreement with 2753883 Ontario Inc. for the development and use of the lands described therein;

NOW THEREFORE BE IT ENACTED by the Council of the Corporation of the Township of Brock as follows:

- 1. **THAT** the Mayor and Deputy Clerk are hereby authorized to sign and affix the Corporate Seal to a Site Plan Agreement between the Corporation of the Township of Brock and 2753883 Ontario Inc as contained in **Schedule 1 – Site Plan Development Agreement** attached to and forming part of this by-law.

THIS BY-LAW READ TWICE THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

THIS BY-LAW READ A THIRD TIME AND FINALLY PASSED THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

SCHEDULE 1 OF BY-LAW NUMBER 3036-20201

SITE PLAN DEVELOPMENT AGREEMENT

THIS AGREEMENT made this 26th day of April, 2021

BETWEEN:

2753883 ONTARIO INC.
(hereinafter called the "Owner")

OF THE FIRST PART,

and

THE CORPORATION OF THE TOWNSHIP OF BROCK
(hereinafter called the "Township")

OF THE SECOND PART

WHEREAS this Agreement has been entered into pursuant to Section 41 of the Planning Act, R.S.O. 1990, c. P.13, as amended;

AND WHEREAS Subsection 10 of Section 41 of the Planning Act, as amended, provides for the registration of Site Plan Development Agreements on the title of the Lands;

AND WHEREAS the Owner warrants and represents that there are no encumbrancers of the Lands, save and except the Encumbrancers herein;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of mutual covenants herein contained and other good and valuable consideration, the parties hereby covenant and agree as follows:

1. Prohibition

The Owner hereby agrees that no development or redevelopment will proceed or take place on the Lands except as shown on plans, drawings and specifications approved by Council of the Township (hereinafter referred to as the "Site Development Plans"), and without limiting the generality of the foregoing, development or redevelopment shall include the construction, erection or placing of one or more buildings or structures that has the effect of substantially increasing the size or usability thereof, or the laying out and establishment of a commercial parking lot, or the construction, erection, installation or placement on the Lands of any loading spaces, parking areas, garbage container areas, landscaping, lighting, drainage facilities, access driveways or fencing.

2. Completion and Security

- a) The Owner agrees that it shall construct and provide the structures, buildings, facilities, services or works shown on the Site Development Plans within two years of approval by Council of the Site Development Plans.

3. Construction

The Owner shall undertake all construction activity on the Lands in such a manner so as not to unreasonably interfere with adjoining lands or traffic on adjacent roadway. The Owner shall control all dust, mud and debris resulting from any construction activities and remove the same promptly from any municipal catch basin, manhole, sewer, ditch, culvert, roadway, boulevard or sidewalk. The Owner shall reimburse the Township for any damage to any municipal services, facilities or works resulting from the development or redevelopment of the Lands, howsoever caused and the determination of the Director of Public Works or his designate with respect to whether or not said damage was caused by the

owner or with respect to the extent of the damage shall be final and binding on all parties.

4. Maintenance

The Owner shall maintain, in good repair and in a safe and clean condition, the Lands and Boulevard, vegetation, structures, buildings, facilities, services, works and landscaping improvements on the Lands and Boulevard at his own expense and shall do all acts necessary to comply with and properly carry out and provide for the maintenance and use thereof, including the replacement or repair of broken, damaged or worn material or parts and the replacement of dead or deceased vegetation. The Owner shall further keep the Lands and Boulevard free and clear of all refuse, debris and obstructions.

5. Building or Demolition Permits

Notwithstanding the provisions of this agreement, the Owner hereby acknowledges that the Township is not obligated to issue any building permits or demolition permits or grant any other permits or consents with respect to any development or redevelopment on the Lands unless:

- a) all federal, provincial and municipal statutes, regulations, by-laws, ordinances, orders and requirements have been complied with;
- b) any other agreements with the Township, the Regional Municipality of Durham or any other governmental body or agency are not in default; and
- c) all property and business taxes with respect to the Lands have been paid in full.

In the event the development or redevelopment of the Lands herein contemplated requires any other municipal or other governmental approvals, including but not limiting the generality of the foregoing, a building permit, a consent for a severance or rezoning or a variance pursuant to the provisions of the Planning Act, R.S.O. 1990, a permit for access, ingress or egress, approvals pursuant to the provisions of the Environmental Assessment Act, R.S.O. 1990, or the Environmental Protection Act, R.S.O. 1990, the approval of the Medical Officer of Health, the approval of the Conservation Authority having jurisdiction, the approval of the Minister of Health or the approval of any other governmental body or agency, then in such event the Owner hereby agrees not to commence any work on the Lands or demolish or alter any structures on the Lands unless all such approvals, permits or rezoning have been obtained.

6. Landscaping

Landscaping shall be completed in accordance with the site development plans as set out in Schedule "B" attached and those special conditions set out in Schedule "C" attached. All approved landscaping shall be maintained in a healthy growing condition at all times.

7. Garbage

The Owner shall store all garbage in the garbage storage facilities as shown on the Site Development Plans. If the garbage storage facilities are designed for the use of a bulk lift container, it shall be the Owner's responsibility to provide for such container and for the regular removal and replacement of the same as may be reasonably required. In the event no garbage storage facilities are shown on the Site Development Plans, all garbage shall be stored indoors.

8. Hydro

The Owner shall, at its sole cost, comply with the requirements of Ontario Hydro, or its successor, and Veridian Connections, including bearing the cost of the relocation of existing hydroelectric facilities if applicable.

9. Costs

The Owner shall pay to the Township, forthwith upon demand, all reasonable costs and expenses incurred by the Township, whether directly or indirectly, in connection with this Agreement and the approval of any Site Development Plans. Without limiting the generality of the foregoing, such costs and expenses shall include a charge for the processing of the Site Development Plans by the consultants retained by the Township incurred in connection with this Agreement, the supervision of all of the works undertaken in connection therewith or in ensuring compliance with this agreement and the registration thereof on title to the Lands.

10. Fire Access Routes

The Owner shall designate such driveways as shown on the Site Development Plans as fire access routes (if applicable) or hereafter so designated by the Fire Chief for the Township and shall keep them clear and unobstructed at all times. The Owner shall erect and maintain signs approved by the Chief Building Official for the Township designating the fire access routes.

11. Lighting

The Owner agrees that any lights used for the illumination of the building or parking areas shall be so arranged by diverting the lights away from adjoining lands so as to minimize the light affecting adjoining lands.

12. Owner's Expense

The Owner acknowledges that where this Agreement obliges the Owner to perform any work or do anything it is to be done at the Owner's expense and not at the Township's expense.

13. Registration

The Owner hereby consents to the registration of this Agreement on the title of the Lands.

14. Acknowledgment by Encumbrancers

The Encumbrancers (if applicable) hereby acknowledge that they are aware of all of the terms, covenants and conditions contained in this Agreement and agrees to be bound by such terms, covenants and conditions in the event that it should obtain control, possession or equitable ownership of the Lands.

15. Indemnification by Owner

The Owner shall defend, indemnify and save harmless the Township against all actions, causes of action, suits, claims and demands whatsoever which may arise directly or indirectly by reason of this agreement or the Owner undertaking the development or redevelopment herein referred to.

16. Insurance

Prior to the commencement of any construction of any Services or grading on the Lands or issuance of any building permit for the Lands, the Owner shall maintain commercial general liability insurance, and continue to maintain such insurance until the Chief Building Official for the Township certifies that any building or structure located on the Lands is fit for occupancy and has issued an unconditional Lot Clearance Certificate therefore, against all damages or claims for damage with an insurance company satisfactory to the Township. Such policy or policies shall include the Township as an additional insured and a certificate of insurance shall be delivered to the Township and be in full force and effect until such certification by the Township's Engineer. Such certificate of insurance shall be in a form acceptable to the Township's Solicitor and without limiting the generality of the foregoing, such insurance shall provide:

- (a) that the minimum limits shall be not less than \$5,000,000.00 for any single occurrence;
- (b) that it includes a cross-liability and completed operation coverage;
- (c) that it shall not contain an exclusion for blasting, shoring, underpinning raising or demolition of any building or structure, collapse of any structure or subsidence of any structure or land from any cause;
- (d) that the insurance premium has been prepaid for a period of not less than one year;
- (e) that the policy will provide that it is not cancellable unless prior notice by registered mail has been received by the Township from the insurer not less than thirty (30) days prior to the cancellation date;
- (f) in the event of claims made against the Township to which the deductible applies, the Owner shall be solely responsible for paying the deductible; and
- (g) Where a subcontractor is retained for work where Professional Liability coverage is a contract requirement, the Owner must ensure that the Professional Liability insurance is in an amount not less than two million dollars (\$2,000,000) per claim.

17. Right of Entry

The Owner covenants and agrees with the Township to grant and hereby grants to the Township or its authorized representatives the right to enter upon the Lands or any part thereof in order to ascertain whether or not the provisions of this Agreement have been complied with in full.

18. Default

In the event of any default by the Owner pursuant to any of the terms of this Agreement, in addition to any other remedies available to the Township and without any limitation thereof, the Township may:

- a) undertake or compete any obligation of the Owner hereunder;
- b) enter upon the Lands through its servants or agents for any purpose whatsoever;
- c) issue a stop work order with respect to any further development, redevelopment or work upon the Lands; and
- d) recover from the Owner all costs and expenses incurred by the Township whether directly or indirectly, with respect to the default or the remedy thereof and collect such costs and expenses in like manner as municipal taxes.

19. Drainage

The Owner shall not take any action or cause any work to be done that will adversely affect drainage from or onto properties adjoining the Lands, and the Owner shall with the prior approval of the Township, at the Owner's expense, construct such drainage works as may be required. Notwithstanding the aforesaid, the Owner shall indemnify and save harmless the Township with respect to drainage from or onto lands adjoining the Land as a result of the development or redevelopment hereby contemplated and the construction of any works, facilities or structures on the Lands.

20. Occupancy

The Owner covenants and agrees that there shall be no occupancy of buildings until all requirements of this Agreement have been complied with and the Chief Building Official has issued an Occupancy Certificate. The Chief Building Official may, however, issue a conditional Occupancy Certificate provided the Letter of Credit is sufficient to cover any outstanding works.

21. Successors and Assigns

The parties hereto hereby covenant and agree that this Agreement shall be binding upon them, their respective heirs, executors, administrators, successors and assigns. In the event that the Lands are sold, conveyed, assigned, or transferred, or otherwise parted with possession or ownership, the proposed purchaser, successor or assignee ("Successor") shall, prior to closing, execute an assumption agreement acceptable to the Township's Solicitors which provides that all provisions of this Agreement will continue to be binding on the Successor to the Owner as if such Successor had entered into this Agreement in the place of the Owner and in the event of more than one Successor all of the parties collectively shall be deemed to be the Owner pursuant to the terms hereof. Further, the Owner shall be released and discharged from the obligations and provisions of this Agreement upon the execution of an assumption agreement by the Successor.

22. Invalidity

If a Court of competent jurisdiction should declare any section or part of a section of this Agreement to be invalid or unenforceable, such section or part of a section shall not be construed as being an integral part of the Agreement or having persuaded or influenced a party to this Agreement to execute the same, and it is hereby agreed that the remainder of the Agreement shall be valid and in full force and effect.

23. Counterparts

This Agreement may be executed electronically and in one or more counterparts, which together shall be deemed to be an original and such counterparts together shall constitute but one and the same instrument. Such counterparts may be delivered by electronic transmission.

24. Interpretation

In construing this Agreement, words in the singular shall include the plural and vice versa and words importing the masculine shall include the feminine, and the neuter and vice versa, and words importing persons shall include corporations and vice versa. In the event of any conflict or ambiguity in the Site Development Plans or Schedules to this Agreement, the decision of the Township shall be final and binding.

25. Notice

All notices, demands or requests provided for or permitted to be given pursuant to this agreement shall be made in writing as follows:

- a) if made to the Township, shall be addressed to the CAO & Municipal Clerk, The Corporation of the Township of Brock, P.O. Box 10, Cannington, Ontario, L0E 1E0;
- b) if made to the Owner, at his respective address for service shown on the Document General attached to this Agreement in the Registry Office in which this Agreement is registered;

All notices, demands or requests shall be deemed to have been properly delivered personally or by prepaid and registered mail, return receipt guaranteed. If notice is given by mail, the same shall be effective five (5) business days of being deposited with the post

office, or upon proof of delivery by return receipt. However, in the event of a postal interruption, the notice shall be deemed to have been given during such period of interruption, unless such notice has actually been received.

IN WITNESS WHEREOF, the individual parties hereto have hereunto set their hands and seals and the Corporate parties have hereunto affixed their Corporate Seal as attested to by the hands of their proper signing officers in that behalf duly authorized.

SIGNED, SEALED AND DELIVERED
in the presence of

	)	THE CORPORATION OF THE TOWNSHIP
	)	OF BROCK
)	
Authorized to be)	
executed by By-law No.	)	Per: _____
3036-2021 enacted on	)	Mayor – John Grant
The 26th day of April,)	
2021.)	
	)	Per: _____
	)	Deputy Clerk – Deena Hunt
)	
)	
)	
)	
)	
	)	2753883 ONTARIO INC.
)	
)	
	)	Per: _____
_____ Witness	)	Tony Mancini
)	
)	
	)	I have authority to bind the Corporation.
)	
)	
)	
)	
)	
)	
)	

SCHEDULE “A” OF SITE PLAN AGREEMENT

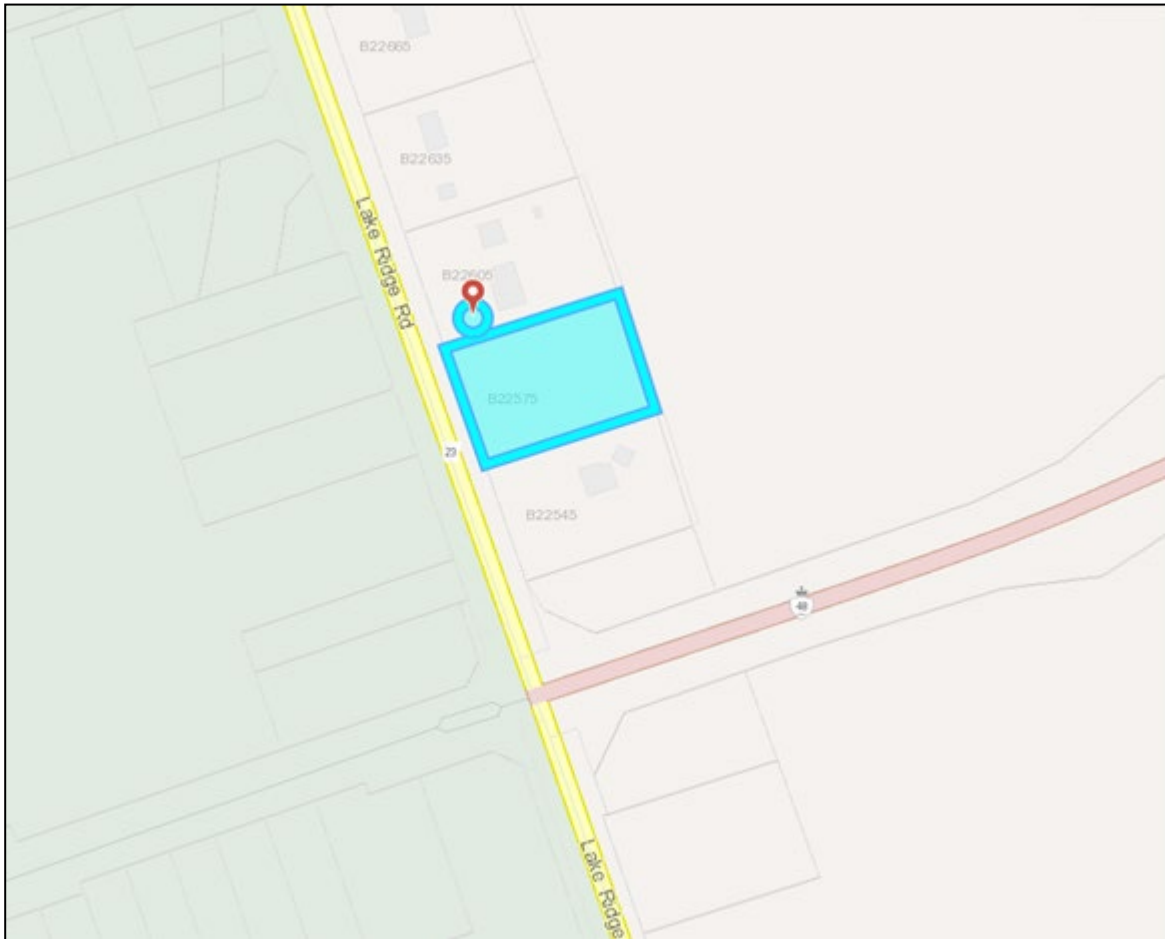
LEGAL DESCRIPTION OF THE LANDS

ALL AND SINGULAR that certain parcel or tract of land and premises situated, lying and being in the Township of Brock, in the Regional Municipality of Durham and being composed of:

DESCRIPTION: Part Lot 1, Concession 13 Brock, as in D217665; Brock.
(Municipally known as B22575 Lakeridge Road, Cannington ON L0E 1E0.)

PIN: 720230016

OWNER: 2753883 Ontario Inc.
18 Lakeshore Road, Pefferlaw, ON L0E 1N0



SCHEDULE “B” OF SITE PLAN AGREEMENT

SITE DEVELOPMENT PLANS

Name of Drawing or Specification	Number of Sheet or Page & Project Number	Date of Plan Drawing or Specification	Prepared By	Date of Acceptance by Township
Plan 40R-31314	1 page	April 2, 2021	E.R. Garden	April 16, 2021
Topographic Sketch	1 page	December 2, 2020	E.R. Garden	April 16, 2021
Plan of Survey	1 page		E.R. Garden Limited	April 16, 2021
General Notes, Site Plan and OBC Matrix	16 pages	July 2020	Paul Marques Architect Inc.	April 16, 2021
Stormwater Management Plan	1 page	March 24, 2021	Lakeland Engineering	April 16, 2021
Culvert Permit	1 page	March 29, 2021	Region of Durham	April 16, 2021

SCHEDULE “C” OF SITE PLAN AGREEMENT

SPECIAL CONDITIONS

1. The Owner shall comply with all of the terms and conditions imposed by the Regional Municipality of Durham Works Department. The Township’s Chief Building Official (the “CBO”) will withhold the issuance of a building permit until such time as all approvals and permits are issued by the Regional Municipality of Durham Works Department. The Owner shall provide copies of all permits received to the Township prior to building permit issuance.
2. The Owner agrees and warrants that all works shall be constructed and maintained in accordance with the Site Development Plans contained within Schedule “B” of this Agreement and in accordance with the Township of Brock Design Criteria and Standard Drawings.
3. The Owner acknowledges and agrees that prior to the occupancy of any buildings or structures provided under the approval, the CBO shall be satisfied with respect to fire safety and emergency services requirements of the Township’s Fire Chief, including the provisions of an adequate water supply for fire-fighting purposes are provided.
4. The Owner agrees that the Fire Access Route is to be designed to meet the requirements of Section 3.2.5.6 of the Ontario Building Code. The Owner also agrees that the placement of Fire Hydrants shall meet the requirements of Section 3.2.5.7 of the Ontario Building Code.
5. The Owner agrees that the earthworks and grading associated with this Agreement are to take place only between the hours of 7:00 a.m. and 7:00 p.m. and shall not take place on Sundays and Statutory Holidays.
6. The Owner shall maintain the Lands in a tidy condition and free from the accumulation of waste products and debris and shall cut all grasses and weeds at any time and from time to time to prevent growth in excess of six (6) inches in height. When all work is substantially performed pursuant to this Agreement, the Owner shall remove surplus products, tools, construction machinery, equipment, waste products and debris from the Lands, including any waste products caused by Third Parties.
7. The Owner acknowledges that fires shall not be set on the Lands. Should an illegal fire be set, the Owner hereby agrees to pay any costs which may be incurred as a result of the illegal fire.

Landscaping

8. The Owner is solely responsible for ensuring that sufficient topsoil is available for the Lands. All areas shall be sodded and/or seeded as soon as possible and by no later than October 31, 2022 as indicated on the Site Development Plans identified on Schedule “B” of this Agreement.
9. The trees, shrubs, and other groundcover required, as noted on Schedule “B” shall be planted no later than October 31, 2022 and the trees, shrubs, and other groundcover shall thereafter continuously be maintained in a healthy living state by the Owner, and shall be replaced if necessary to ensure that at all times healthy living plants. If the Owner fails to complete or maintain the landscaping in accordance with this condition, the Township may undertake to do so, and the Letter of Credit may be drawn on to the extent necessary to complete or maintain the landscaping.

Stormwater Management

10. The Owner shall construct all storm drainage and stormwater management facilities in accordance with the Site Development Plans and with the approval of the Township or the Lake Simcoe Region Conservation Authority (“LSRCA”).

11. The Owner covenants and agrees to keep in a proper state of repair all storm drainage systems, Stormwater management facilities, and to do all maintenance and repairs as the Owner may be directed to do in writing by the Township.
12. The Owner shall inspect all erosion and sedimentation control measures weekly and after each rainfall event and twice per day during prolonged rainfall events. Sediment accumulation of more than one-half the height of the sedimentation control device will require the contractor to remove the sediment or install a second sediment control device.
13. The Owner agrees to maintain all erosion and sedimentation control measures until such time that all disturbed areas have received a healthy growth of vegetation. The Owner acknowledges and agrees that they are solely responsible for repairing off-site sedimentation damage resulting from the failure of the erosion and sedimentation control measures.
14. The Owner agrees to implement all of the recommended inspection and maintenance measures as contained within Schedule "B".

Drainage & Servicing Easements

15. The Owner covenants and agrees that such drainage and servicing easements as may be required for utilities, servicing, and drainage purposes shall be obtained and granted at the sole cost and expense of the Owner to the appropriate authority and shall be in the form as may be required by the appropriate authority or the Township's solicitor.

Lighting

16. The Owner acknowledges and agrees that full cut-off (FCO) lighting fixtures shall be used to ensure that all site lighting shall be directed to the ground so as to ensure that lighting does not trespass onto adjacent lands.
17. The Owner shall be responsible for all financial arrangements and obligations with Veridian Connections or Hydro One for the installation of the below ground electrical distribution system and site lighting and agrees to submit proof of this arrangement to the Township.

Pre-Construction Meeting

18. The Owner shall convene a meeting, prior to commencement of construction to be attended by the Owner's consulting engineer, all contractors to be employed on the site to construct the services, such persons as the Township may direct, and the Township's Director of Public Works, where involved, to review the schedules of construction.

Construction Access

19. The Owner agrees that any damage to public roads and services as a result of the works provided in this Agreement shall be repaired by the Owner at their sole cost and to the satisfaction of the Township. The Owner further agrees it is the sole responsibility of the Owner to control mud-tracking, dust and debris from the Lands, and shall undertake whatever remedies are required by the Township at the sole cost of the Owner, forthwith upon notification by the Township.
20. The Owner shall not be permitted to store any materials and/or equipment on opened and maintained public road allowances.

Architectural

21. The Owner agrees that the exterior finish of the building shall be consistent with the renderings provided as noted within Schedule "B".

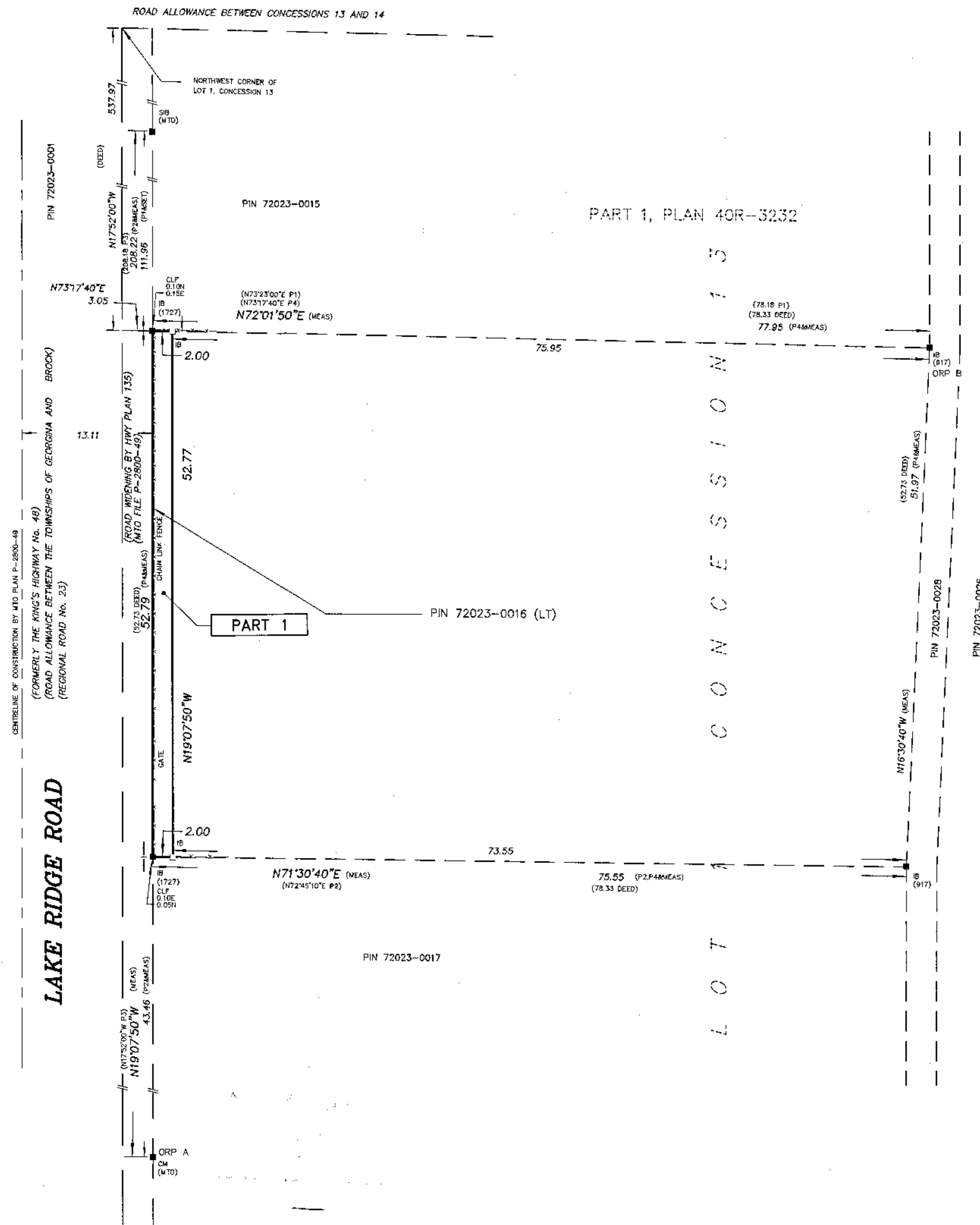
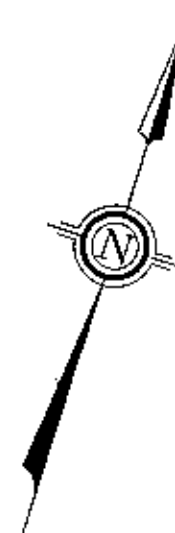
SCHEDULE “D” OF SITE PLAN AGREEMENT

FINANCIAL OBLIGATIONS

1. Development Charges

The Owner hereby agrees to pay a Development Charge for the structure to be constructed, at the time of issuance of a building permit for that structure. The amount of the Development Charge payable shall be the Development Charge in effect at the time of the issuance of a building permit. The Owner acknowledges and agrees that the Development Charge has been set pursuant to The Township’s current Development Charges By-Law. The Owner further acknowledges and agrees that said By-law provides for an indexing of the Development Charge, annually on July 1.

The Owner hereby covenants and agrees that if the payment described above is not paid on the due date, the Township may, in its sole discretion, place the total amount due, plus any administrative charges, on the taxes of the Lands.



I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT

DATE **MARCH 30, 2021**

E.R. GARDEN
ONTARIO LAND SURVEYOR

PLAN 40R-31314
RECEIVED AND DEPOSITED

DATE **April 1/21**

Kabe
REPRESENTATIVE FOR LAND
REGISTRAR FOR THE LAND TITLES
DIVISION OF DURHAM (No 40)

SCHEDULE

PART	PART OF LOT	CONCESSION	PART OF PIN	AREA
1	1	13	72023-0016 (LT)	105.54 SQ.M

PART 1 CONSISTS PART OF PIN 72023-0016 (LT)

PLAN OF SURVEY OF PART OF LOT 1 CONCESSION 13 BEING IN THE TOWNSHIP OF BROCK REGIONAL MUNICIPALITY OF DURHAM

SCALE 1 : 300

0 5 10 20 metres
E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CM DENOTES CONCRETE MONUMENT
- (917) DENOTES R.A. GARDEN, O.L.S.
- (1727) DENOTES E.R. GARDEN, O.L.S.
- (OU) DENOTES ORIGIN UNKNOWN
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- P1 DENOTES PLAN 40R-3232
- P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991
- P3 DENOTES HWY PLAN 135 (MTO FILE P-2800-49)
- P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
- DEED DENOTES INSTRUMENT D217665
- PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0).
COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4910982.473	644375.265
ORP B	4911097.450	644417.856

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

BEARING REFERENCE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY
REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999819.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 26TH DAY OF
MARCH, 2021.

MARCH 30, 2021
DATE **E.R. GARDEN**
ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED
ONTARIO LAND SURVEYOR
1260 JOURNEY'S END CIRCLE, UNIT 1
NEWMARKET ONTARIO L3Y 8Z7
PHONE 905-895-5600 FAX 905-895-7127
TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

FIELDWORK BY: B.F.

DRAFTING BY: R.D.

FILE NUMBER:
21-7776

TOPOGRAPHIC SKETCH

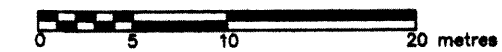
PART OF LOT 1 CONCESSION 13

BEING IN THE

TOWNSHIP OF BROCK

REGIONAL MUNICIPALITY OF DURHAM

SCALE 1 : 400



E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

PIN DENOTES PROPERTY IDENTIFICATION NUMBER

CSP DENOTES CORRUGATED STEEL PIPE

UP DENOTES UTILITY POLE

SBM DENOTES SITE BENCHMARK

INV DENOTES INVERT ELEVATION

-OH- DENOTES OVERHEAD WIRE

○ DENOTES ROUND

★ DENOTES CONIFEROUS TREE, TRUNK SIZE NOTED IN METRES

○ DENOTES DECIDUOUS TREE, TRUNK SIZE NOTED IN METRES

CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE EXPRESSED IN THE TITLE BLOCK BOUNDARY INFORMATION TAKEN FROM OFFICE RECORDS

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CANSEL CAN-NET RTN BASE STATION 20120110050 (UXBG). VALUES ARE RELATED TO CGVD28:1978 (GEIOD MODEL HT2_0)

SITE BENCHMARK - SPIKE IN WEST FACE OF POLE ON SITE NEAR THE SOUTHWEST CORNER OF PROPERTY HAVING AN ELEVATION OF 239.18 METRES

THE FIELD MEASUREMENTS WERE COMPLETED NOVEMBER 30, 2020.

DECEMBER 2, 2020
DATE
E.R. GARDEN 1727
© E.R.GARDEN LTD. ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED

ONTARIO LAND SURVEYOR

1260 JOURNEY'S END CIRCLE, UNIT 1

NEWMARKET ONTARIO L3Y 8Z7

PHONE 905-895-5600

FAX 905-895-7127

TOLL FREE 1-877-895-5600

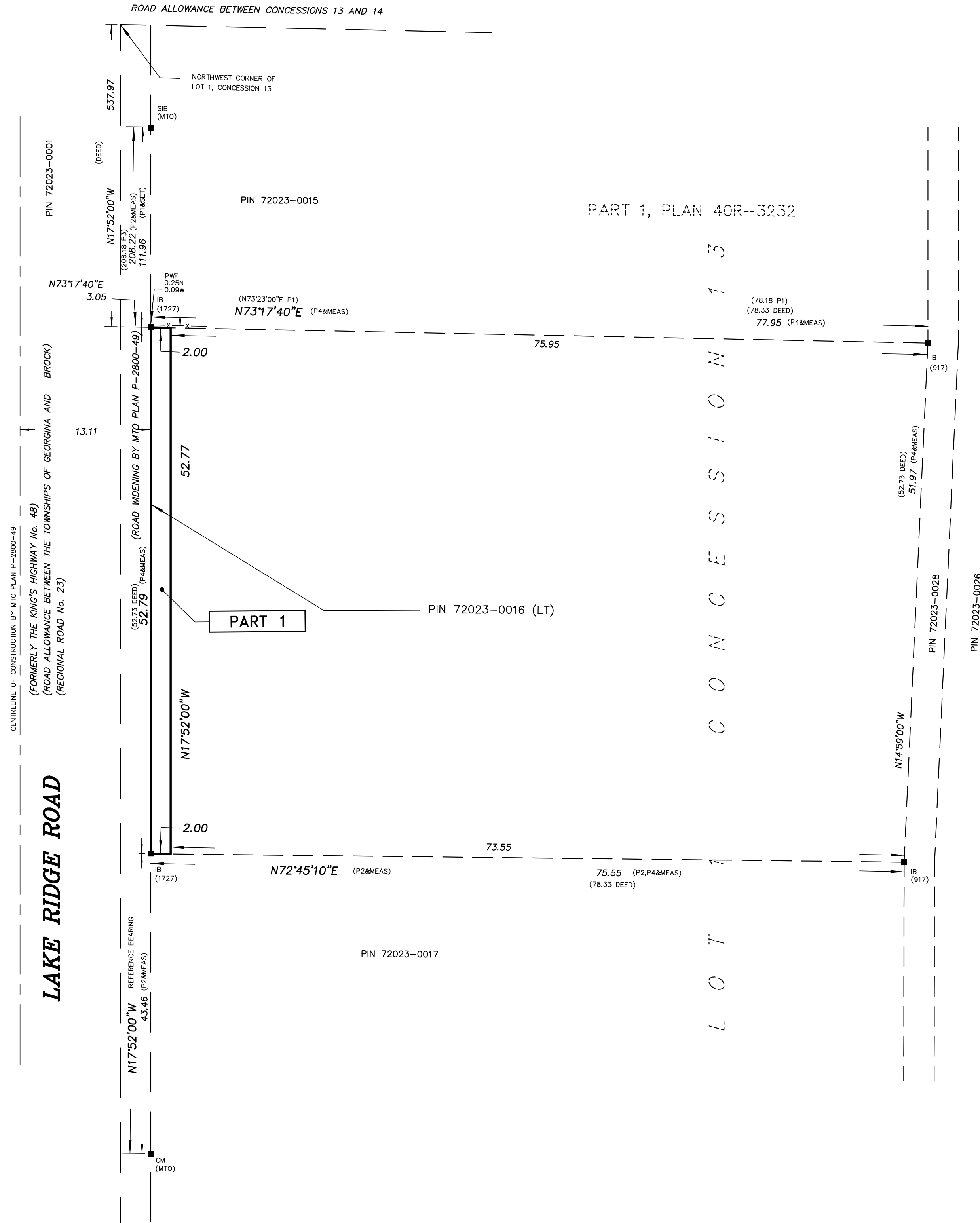
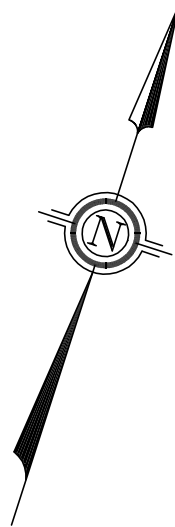
WWW.ERGARDENLIMITED.CA

DRAWN BY: B.F.

FILE No.

20-7722

FILE NO. 20-7722



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER <i>THE LAND TITLES ACT</i>		PLAN 40R- RECEIVED AND DEPOSITED		
DATE		DATE		
E.R. GARDEN ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF DURHAM (No 40)		
SCHEDULE				
PART	PART OF LOT	CONCESSION	PIN	AREA
1	1	13	72023-0016 (LT)	105.54 SQ.M

PLAN OF SURVEY OF
**PART OF LOT 1
CONCESSION 13**
BEING IN THE
TOWNSHIP OF BROCK
REGIONAL MUNICIPALITY OF DURHAM
SCALE 1 : 300

0 5 10 20 metres

E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - (917) DENOTES R.A. GARDEN, O.L.S.
 - (1727) DENOTES E.R. GARDEN, O.L.S.
 - (OU) DENOTES ORIGIN UNKNOWN
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - P1 DENOTES PLAN 40R-3232
 - P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991
 - P3 DENOTES MTO PLAN P-2800-49
 - P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
 - DEED DENOTES INSTRUMENT D217665
 - PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0).
COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4XXXXXX.XXX	6XXXXX.XXX
ORP B	4XXXXXX.XXX	6XXXXX.XXX

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

BEARING REFERENCE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999XXX.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 17TH DAY OF JULY, 2020.

DATE	E.R. GARDEN ONTARIO LAND SURVEYOR
E.R.GARDEN LIMITED ONTARIO LAND SURVEYOR 1260 JOURNEY'S END CIRCLE, UNIT 1 NEWMARKET ONTARIO L3Y 8Z7 PHONE 905-895-5600 FAX 905-895-7127 TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA	

FIELDWORK BY: X.X.
DRAFTING BY: R.D.
FILE NUMBER: 21-7776

GENERAL NOTES

GENERAL REQUIREMENTS (01001)

PART 1 – GENERAL

1.1 GENERAL

1. VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMENCEMENT OF WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT.

PART 2 – PROJECT CO-ORDINATION

2.1 GENERAL

1. CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.

PART 3 – CUTTING AND PATCHING

3.1 APPROVALS

1. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING

1. STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT.
2. INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS.
3. EFFICIENCY, MAINTENANCE, OR SAFETY OF ANY OPERATIONAL ELEMENT.
4. VISUAL QUALITIES OF EXPOSED ELEMENTS, OR
5. WORK OF OWNER OR SEPARATE CONTRACTOR.

3.2 INSPECTION

1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
2. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
3. BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.

3.3 EXECUTION

1. PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK.
2. REMOVE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.
3. PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PRESENT.
4. PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
5. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING.
6. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES.
7. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
8. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.
9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL JOISTS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT.
11. REFRESH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFRESH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFRESH ENTIRE UNIT.

PART 4 – SUBMITTALS

4.1 ADMINISTRATIVE

1. SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.
2. WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
3. REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

4.2 SHOP DRAWINGS AND PRODUCT DATA

1. REFER TO CC 46 – SHOP DRAWINGS
2. THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
3. INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
4. ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE.
5. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
6. SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST.
7. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

4.3 OPERATING MAINTENANCE MANUALS

1. TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.
2. MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
3. BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.

PART 5 – REPORTS

5.1 REPORTS

1. SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.
2. PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.

PART 6 – CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

6.1 INSTALLATION AND REMOVAL

1. PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY.
2. REMOVE FROM SITE ALL SUCH WORK AFTER USE.

6.2 SITE STORAGE AND OVERLOADING PROPERTY

1. REFER TO CC 33 PROTECTION OF WORK AND.
2. CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS.
3. DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDANGER THE WORK.

6.3 SANITARY FACILITIES

1. PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
2. MAINTAIN IN CLEAN CONDITION.

6.4 WATER SUPPLY

1. PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
3. PAY FOR UTILITY CHARGES AT PREVAILING RATES.

6.5 TEMPORARY POWER

1. PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.

6.6 TEMPORARY TELEPHONE

1. PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.

6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE

1. PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.
2. LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.

6.8 PROJECT CLEANLINESS

1. MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
2. REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
3. CLEAN INTERIOR AREAS PRIOR TO START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS.

PART 7 – MATERIAL AND EQUIPMENT

7.1 PRODUCT AND MATERIAL QUALITY

1. REFER TO CC 39 – LABOUR AND PRODUCTS.
2. PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE, AND QUALITY OF PRODUCTS PROVIDED.
3. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
4. SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7.2 STORAGE, HANDLING AND PROTECTION

1. HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOLING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
2. STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
3. STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

7.3 MANUFACTURER'S INSTRUCTIONS

1. UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
2. NOTIFY ARCHITECT IN WRITING OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.
3. IMPROPER INSTALLATION OR DIRECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

7.4 QUALITY OF WORK

1. WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS.
2. DO NOT EMPLOY ANY UNIT PERSON OR ANYONE UNENROLLED IN THEIR REQUIRED DUTIES.
3. DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS FINAL.

7.5 CONCEALMENT

1. IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
2. BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS DIRECTED BY ARCHITECT.

PART 8 – PROJECT CLOSEOUT

8.1 FINAL CLEANING

1. REFER TO CC 42 – CLEAN UP AND FINAL CLEANING OF THE WORK.
2. WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
3. REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.
4. LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.
5. CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL, TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.
6. REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE, FITMENTS AND WALLS.
7. VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVERES AND SCREENS.
8. WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATIONS.
9. BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
10. REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

8.2 SYSTEM DEMONSTRATION

1. PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT.
2. ON POSSESSION DAY, INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.

8.3 DOCUMENTS

1. COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
2. SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.
3. SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
4. PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
5. EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY PERIOD REQUIREMENTS.
6. SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
7. CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.

8.4 INSPECTION/TAKEOVER PROCEDURES

1. PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE. THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY.
2. DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED. CORRECT SAME.
3. WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 39 FOR SPECIFICS TO APPLICATION.
4. MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT. CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

DEMOLITION NOTES

1. DEMOLITION WORK WILL NOT AFFECT ADJACENT AREAS OR SPACES, TENANCIES, SURFACES, STRUCTURES ETC. ANY DAMAGE CAUSED TO THE ABOVE RESULTING FROM DEMOLITION SHALL BE MADE GOOD AT NO EXTRA COST.
2. CONTRACTOR TO PROVIDE ALL REQUIRED HOARDING, BRACING, BARRICADES, SHORING, SIGNAGE ETC. DURING DEMOLITION.
3. ACCESS TO SITE IS TO BE MAINTAINED AT ALL TIMES. PROVIDE PROTECTION TO ALL EXISTING SURFACES TO REMAIN I.E. SIDEWALKS, CURBS, ASPHALT, ETC. MAKE GOOD ANY DAMAGE AT NO EXTRA COST.
4. CONTRACTOR MUST TAKE ALL MEASURED TO PREVENT COLLAPSE, MOVEMENT, SETTLEMENT OF ALL ADJACENT PROPERTY, UTILITIES, STRUCTURES.
5. ALL AUTHORITIES HAVING JURISDICTION TO BE NOTIFIED PRIOR TO CUTTING, CAPPING OR DISCONNECTING UTILITIES & SERVICES.
6. ALL ELECTRICAL TO BE REMOVED BY A LICENSED ELECTRICAL TRADE, MAKE SAFE PRIOR TO REMOVAL.
7. ALL MECHANICAL TO BE REMOVED BY A LICENSED MECHANICAL TRADE.
8. EQUIPMENT & MATERIAL FROM DEMOLITION BECOMES PROPERTY OF THE CONTRACTOR.
9. REMOVE ALL ABANDONED CONDUIT, PIPE, WIRES, DUCTS ETC. CONTRACTOR SHALL NOT AFFECT ALL OPERATING SYSTEMS IN THE PREMISES (AND ADJACENT) AT ANY TIME. UNDERGROUND PIPES TO BE CAPPED.

LIST OF DRAWINGS:

ARCHITECTURAL

paul marques
architect inc

TEL. (647) 352-2121 FAX (647) 352-2122

ARCHITECTURAL

- A0 GENERAL NOTES, SITE PLAN & OBC DATA MATRIX
- A1 SITE PLAN
- A2 CONSTRUCTION PLAN
- A3 ROOF PLAN
- A4 ELEVATIONS
- A5 ELEVATION & SECTIONS

A6.0 GENERAL NOTES

A6.1 GENERAL NOTES

A6.2 GENERAL NOTES

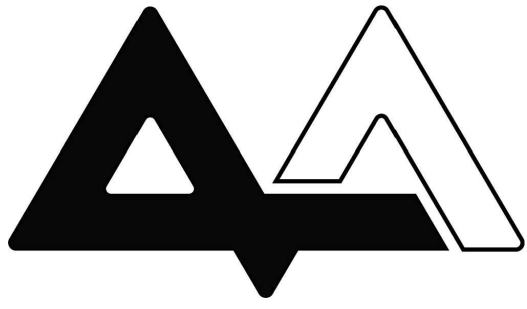
STRUCTURAL

- S0 FOOTING DESIGN
- S1 STRUCTURE FRAMING
- S2 ROOF FRAMING

MECHANICAL

- M1 H.V.A.C.
- M2 NOTES
- M3 NOTES
- P1 PLUMBING

Firm Name: PAUL MARQUES ARCHITECT INC. Certificate of Practice Number: 4002 2610 WESTON ROAD TORONTO, ON TEL (647) 352-2121 Name of Project: LANDLORD'S WORK STORAGE GARAGE Location: 22575 LAKE RIDGE ROAD, PORT BOLSTER, ONTARIO				ETR = EXISTING TO HUMAN	
Ontario Building Code Data Matrix Page 3				Building Code	Reference
3.00 Building Code Version:	0 Reg. 333/72	Last Amendment:	0 Reg. 197/74		
3.01 Project Type:	# New	□ Addition	□ Renovation		[A] 1.1.2.
3.02 Major Occupancy Classification:	□ Change of Use	□ Addition and renovation			
3.03 Superimposed Major Classification:	Occupancy: GROUP F Div. 3	Use: STORAGE GARAGE			3.2.1.1. (1)
3.04 Building Area (m ²):	Description: Existing	New	Total		[A] 1.4.1.2.
3.05 Gross Area (m ²):	Description: Existing	New	Total		[A] 1.4.1.2.
3.06 Mezzanine Area (m ²):	Description: Existing	New	Total		3.2.1.1.
3.07 Building Height:	1 - Storeys above grade	8.55 (m) Above grade			[A] 1.4.1.2. & 3.2.1.1.
3.08 High Building:	# No	□ Yes			3.2.6.
3.09 Number of streets/Privileged access:	1 - Street(s)				3.2.2.10 & 3.2.5.
3.10 Building Classification: (Use and Construction Relative to Occupancy):	GROUP F, DIVISION 3, STOREY				3.2.2.80.
3.11 Sprinkler System:	□ Required	# Not Required	□ Selected compartments		3.2.1.5 & 3.2.2.17.
3.12 Standpipe System:	# Not Required	□ Required	□ Selected floor areas		3.2.8.
3.13 Fire Alarm System:	# Not Required	□ Required	□ Single stage □ Two stage		3.2.4.
3.14 Water Supply/Supply is Adequate:	□ No	# Yes	NEW ORLEANS WELL AS OF JULY 2000 (4271523 MINISTRY OF ENVIRONMENT)		3.2.2.20 - 83.
3.15 Construction Type:	Description: # Combustible permitted	Ch Non-combustible required			
3.16 Importance Category:	Ch Low	# Low human occupancy	Ch Post-disaster shelter		4.1.2.1 (3) & 7.4.1.2 (3)
3.17 Seismic Hazard Index:	Ch Low	# Moderate storage building	Ch Explosive or hazardous substances		4.1.2.1 (3) & 4.1.8.1 (2)
3.18 Occupant Load:	Floor Level/Area	Occupancy Limit	Based On: Occupant Load (Persons)		3.1.7.
3.19 Barrier-free Design:	# Yes	□ No			3.8.
3.20 Hazardous Substances:	□ Yes	□ No			3.3.1.2 & 3.3.1.19.
3.21 Required Fire Resistance Ratings:	Horizontal Assembly	Rating	Supporting Assembly (Y)	Noncombustible in line of rafter?	3.2.2.20 - 83 & 3.2.1.4.
3.22 Spatial Separation:	Floors over basement	N/A	N/A	□ No	Ch Yes Ch/A
3.23 Plumbing Fixture Requirements:	Floors	N/A	N/A	□ No	Ch Yes Ch/A
3.24 Energy Efficiency:	Mezzanine	N/A	N/A	□ No	Ch Yes Ch/A
3.25 Notes:					



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	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021

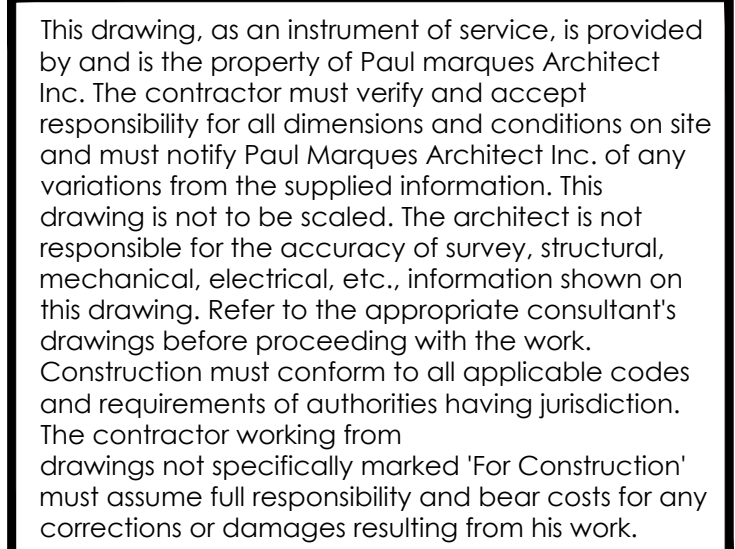
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M9N 2B1
TEL: 647.352.2121

SEAL:
ONTARIO ASSOCIATION
OF
ARCHITECTS
PAUL MARQUES
LICENCE
6469
SEAL MUST BE SIGNED TO BE VALID



1 SITE PLAN
A0 SCALE: NTS

2 NOT USED
A0 SCALE: NTS




REV.	ISSUED FOR:	DATE:
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	CITY COMMENT	03/19/2021
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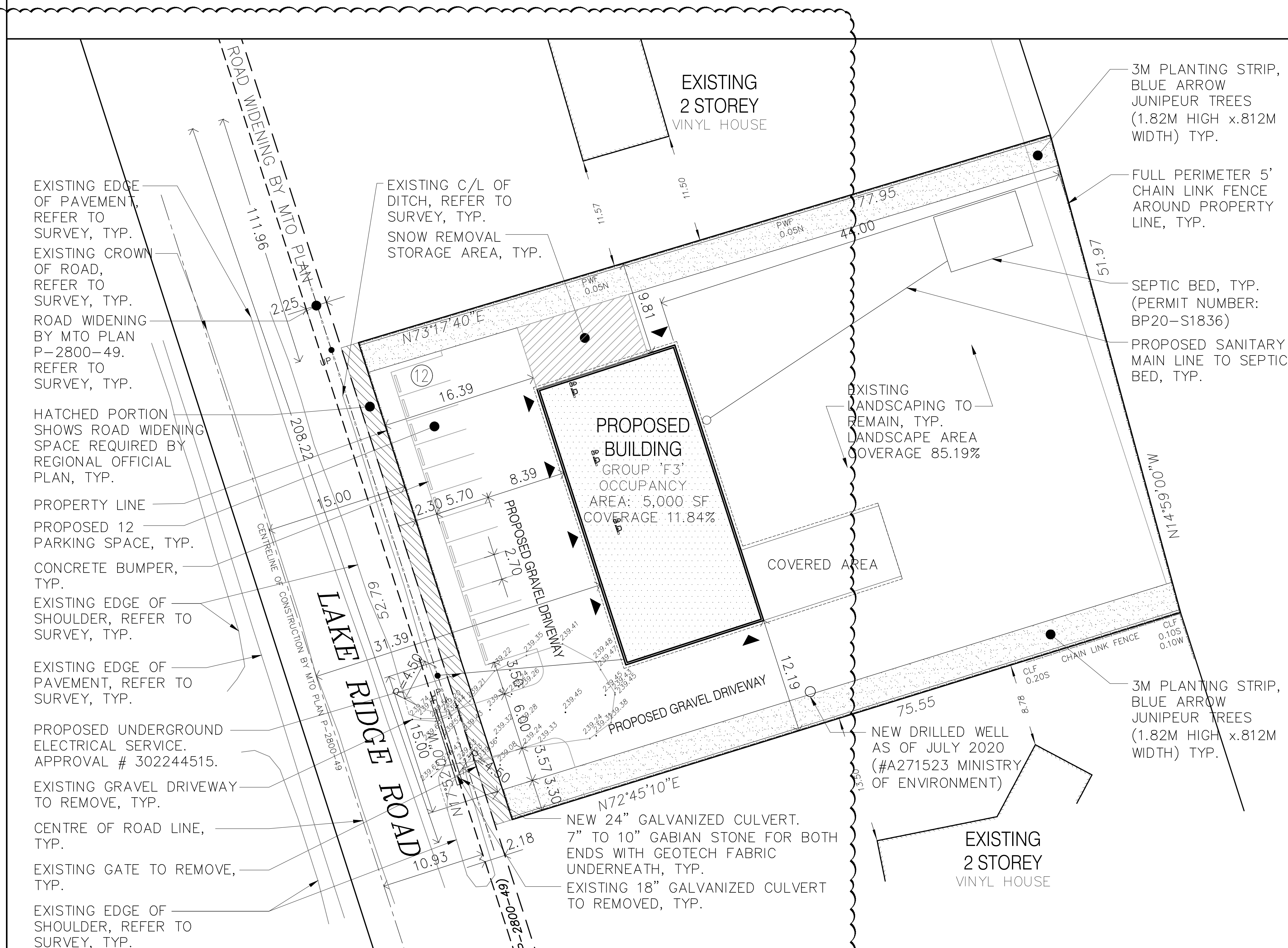
15 JULY 2004

Project :	
<h1>WORKSHOP / CUSTOM GARAGE</h1>	
22575 LAKE RIDGE ROAD,	PORT BOLSTER, ON.
Drawing Name :	
<h2>SITE PLAN</h2>	
Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	
North : 	Drawing No : <div style="font-size: 4em; font-weight: bold; text-align: center;">A1</div>

	LEGAL DESCRIPTION AND PROPERTY LINE (SUBJECT LANDS)		NEW OR RELOCATED FIRE HYDRANT		NEW CONCRETE SIDEWALK MONOLITHIC FOUR (4) SANCUS
	EASEMENTS (NO BUILD, MTO)		EXISTING FIRE HYDRANT		PAINTED PEDESTRIAN CROSSWALK (REFER TO SITE DETAILS)
	FIRE ROUTE		STOP SIGNS		PAINTED TRAFFIC LINES (REFER TO SITE DETAILS)
	PARCEL LINES		'NO LEFT TURN' SIGNS		
	NEW CONCRETE CURBS c/w SAW CYTS AND EXPANSION JOINTS		FIRE ROUTE SIGNS		PROPOSED LOCATION OF LIGHT STANDARD (2 FIXTURES)
	RAISED ISLAND c/w CONCRETE PAVING AND CONCRETE CURBS		SIAMESE CONNECTION		PROPOSED LOCATION OF LIGHT STANDARD (1 FIXTURE)
	RAISED ISLAND c/w CONCRETE CURBS AND LANDSCAPING		EXISTING GRADE ELEVATION		NEW SITE SERVICES (REFER TO SITE SERVICES DRAWINGS)
	PAINTED LINES (REFER TO SITE DETAILS)		PROPOSED GRADE ELEVATION		
	PROPOSED LOCATION OF TRANSFORMER (SEE SITE ELECTRICAL)		PROPOSED LOCATION OF SWITCH GEAR (SEE SITE ELECTRICAL)		PROPOSED LOCATION OF BUILDING ENTRY

TOTAL SITE AREA:	0.96 AGRES (0.39 Ha)
BUILDING AREA:	464.5 SM (5,000 SF)
GROUND FLOOR AREA:	464.5 SM (5,000 SF)
GROSS FLOOR AREA:	464.5 SM (5,000 SF)
LOT COVERAGE	11.84% (464.5 SM)
LANDSCAPE AREA	85.19%
NUMBER OF UNITS:	3
HEIGHT OF BUILDING:	8.36m
PARKING:	12
BARRIER-FREE PARKINGS	—
FRONT YARD SETBACK	16.39m
REAR YARD SETBACK	44.00m
INTERIOR YARD SETBACK	
NORTH PROPERTY LINE	9.81m
SOUTH PROPERTY LINE	12.19m

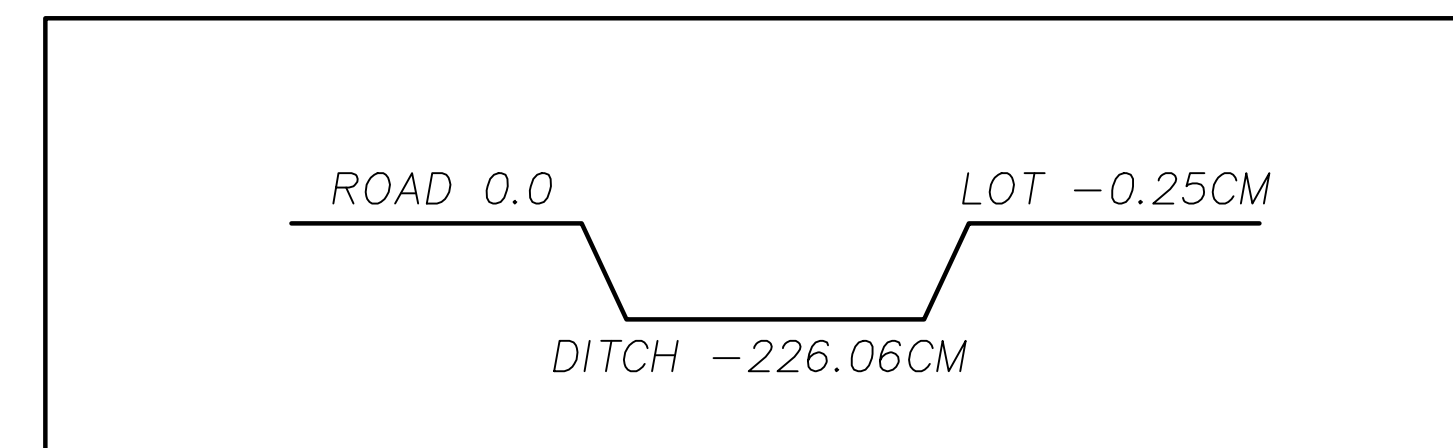
CONTRACTOR TO ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ALL SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITION. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES. ENSURE THAT ALLOWABLE CONSTRUCTION TOLERANCES AND STRUCTURAL TOLERANCES DO NOT PERMIT PONDING OF WATER.



SITE PLAN
SCALE: 1:250



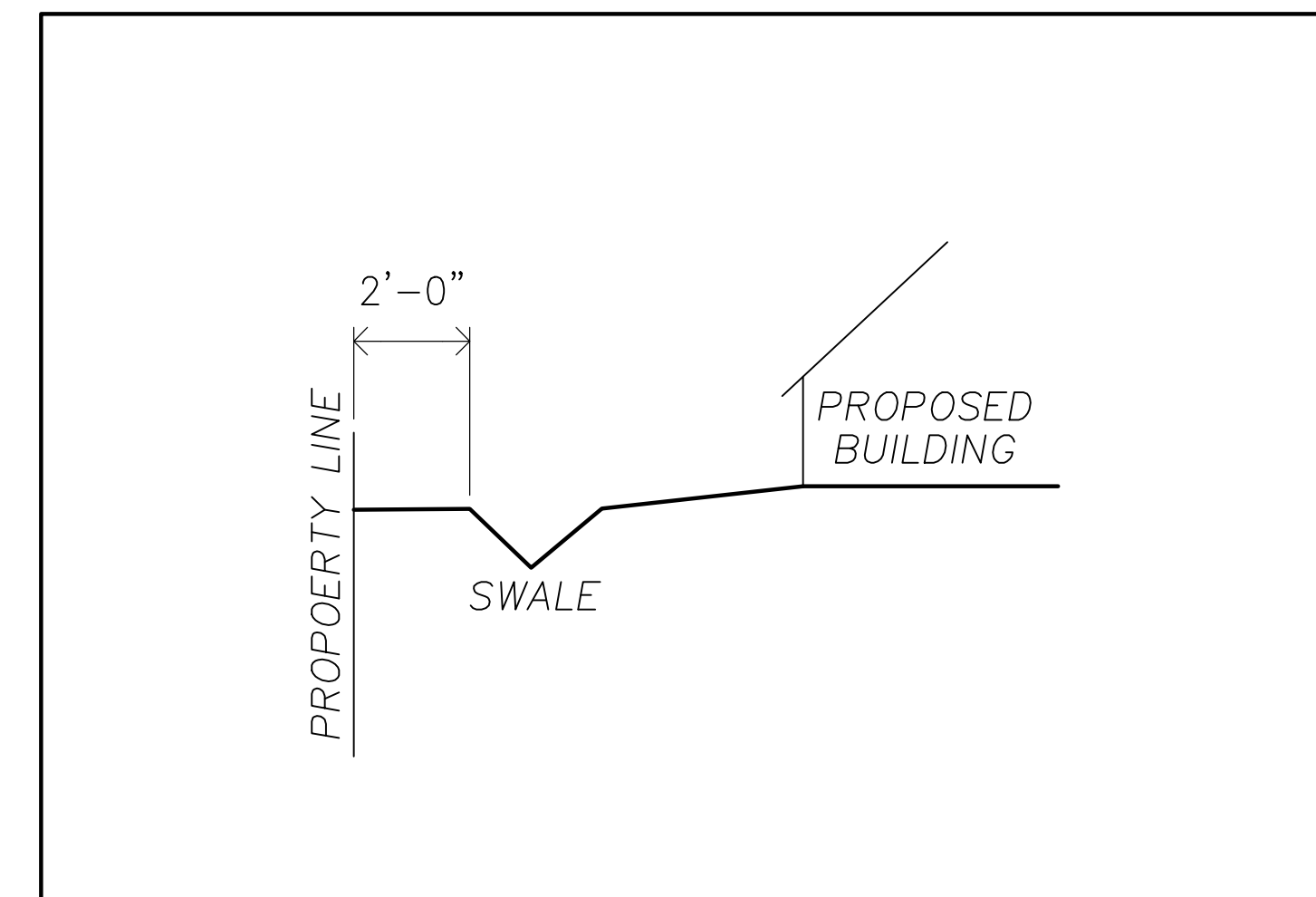
4 NOT USED
A1 SCALE: NTS



3
A1

TYPICAL DITCH SECTION

SCALE: NTS



2
A1

EXISTING SWALES SECTION

SCALE: 1:500

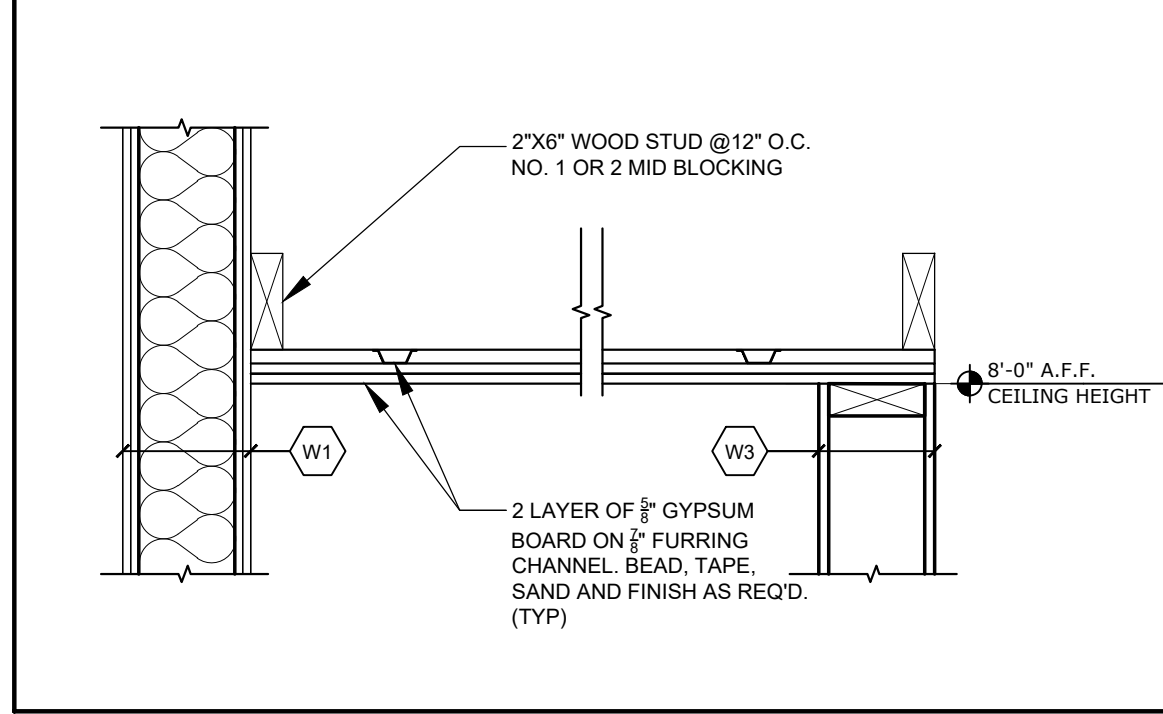
GENERAL CONSTRUCTION NOTES	
1.	ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT, TYP.
2.	PROVIDE SLIDING CONNECTION TO U/S OF BEAMS, DECK OR JOIST FOR ROOF DEFLECTION AS REQUIRED
3.	FIRE SEAL AT ROOF DECK, FLOOR AND ALL WALL PENETRATIONS TO SUIT RATING OF WALL. APPLICATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND TO THE SATISFACTION OF ALL AUTHORITIES HAVING JURISDICTION FOR ALL RATED WALLS.
4.	CUT DRYWALL TO SUIT STRUCTURE, CAULK AND SEAL ROOF DECK, FLOOR AND ALL WALL PENETRATIONS, TYP.
5.	ALL DIMENSIONS TO THE FACE OF GWB UNLESS NOTED OTHERWISE
6.	FOR LOCATIONS OF UNDER FLOOR CONDUITS REFER TO ELECTRICAL DRAWINGS.
7.	FOR LOCATIONS OF UNDER FLOOR PLUMBING REFER TO MECHANICAL DRAWINGS.
8.	FOR DOOR SCHEDULE REFER TO DRAWING A7
9.	PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 09250, TYP.)
10.	PROVIDE 'BACKSTOP NT' AIR BARRIER AT ALL AREAS WHERE PLYWOOD SHEATHING IS INDICATED.

LEGEND	
	NEW SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.
	NEW 3'-2" X 7'-0" 45MIN FIRE RATED HOLLOW METAL DOOR AND FRAME PAINTED MIN. 2 COATS C/W HINGES, LEVER LOCKSET, CLOSER, DOOR STOP, ETC. ALL DETAILS TO SUIT OBC AND TENANT'S REQUIREMENTS, TYP.
	MANUALLY OPERATED 10'-4" W X 14'-0" H EXTERIOR ROLLING SERVICE DOOR 610 BY OVERHEAD DOOR C/W FLAT SLATS SECURITY BARS AND LOCKING HARDWARE. ALL COMPONENTS TO BE FINISHED WITH POWDERGUARD ZINC FINISH. OMIT BOTTOM WEATHERSEAL FOR DRAINAGE.
	FIXED TEMPERED SAFETY GLASS IN ANODIZED ALUMINUM FRAME OPTOS LOW PROFILE BY TEKNION OR APPROVED EQUAL. SIZE AS PER PLAN.

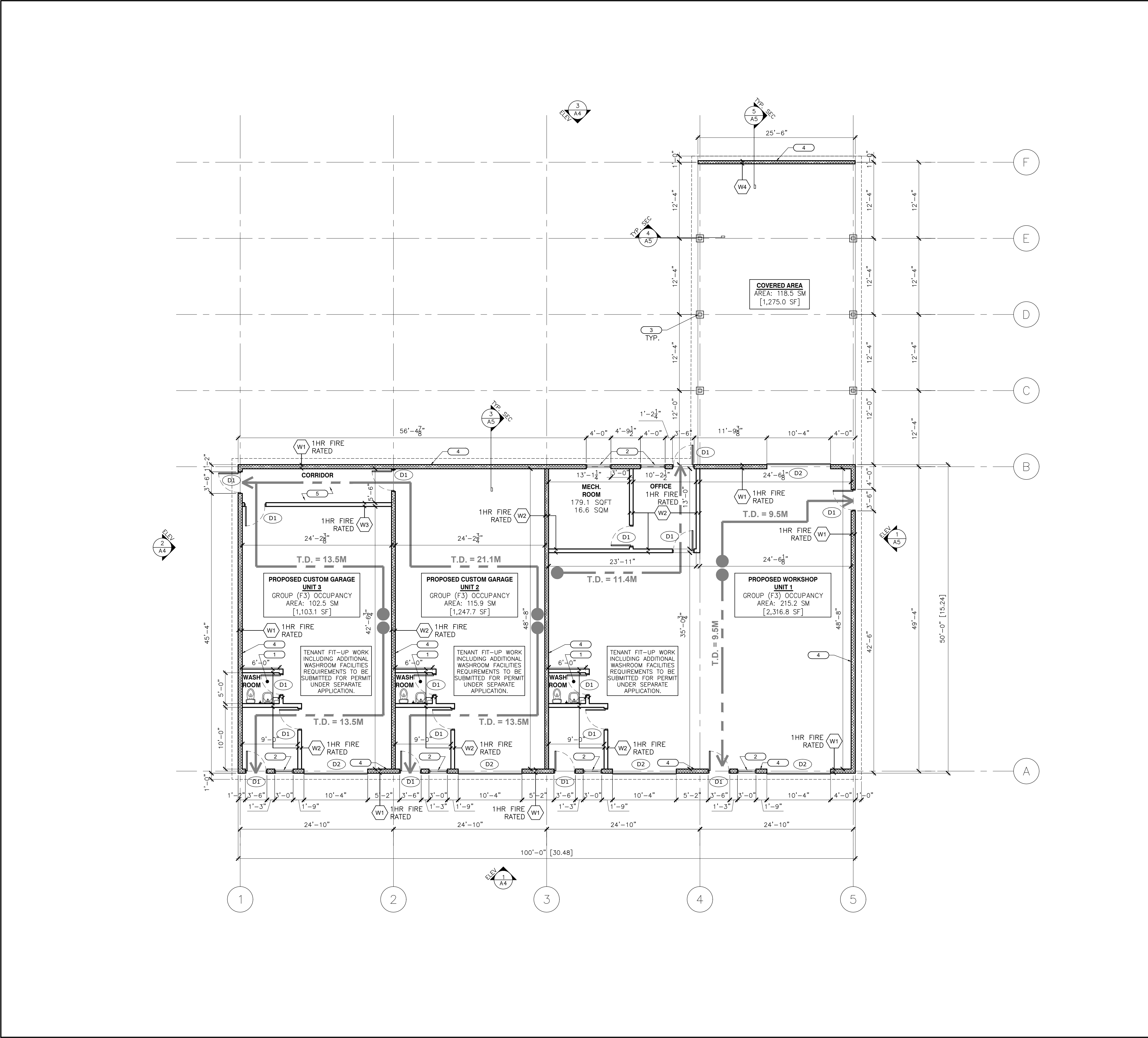
WALL TYPES	
	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -3" Z-BAR AT 24" O.C. VERTICAL OR HORIZONTAL TO SUITE SIDING WITH 3" SEMI-RIGID INSULATION(MIN. R-15) -7/16" WALL SHEATHING -TYVEK AIR BARRIER -R24 SPRAY FOAM CLOSED CELL 2LB -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. WITH 12" PLYWOOD SHEATHING ON BOTH SIDE
	1 HR FIRE RATED PARTITION TO U/S OF DECK. SIMILAR TO ULC W310 -5/8" GYPSUM BOARD TYPE C TAPED AND SANDED, READY FOR TENANT FINISHES ON, -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF STRUCTURE ABOVE, FILLED WITH BATT INSULATION BETWEEN STUDS. PROVIDE SLIDING CONNECTION AT U/S OF ROOF DECK OR JOIST FOR DEFLECTION ON. -5/8" GYPSUM BOARD TYPE C TAPED AND SANDED, READY FOR TENANT FINISHES ON, -FIRE SEAL TO FIRE STOP SYSTEM WH DESIGN No. ADIPV 60-01 AT ROOF DECK AND FLOOR TO SATISFACTION OF AUTHORITIES HAVING JURISDICTION -CUT DRYWALL TO SUIT ROOF DECK FLUTES -PROVIDE FIRE STOP AT ALL WALL PENETRATIONS
	1 HR FIRE RATED PARTITION TO 8'-0" A.F.F.: SIMILAR TO ULC W310 -SAME CONSTRUCTED AS WALL W2
	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. -1 LAYERS OF STEEL SLIDING

CONSTRUCTION NOTES	
	NEW 2 PIECE WASHROOM. REFER TO MECHANICAL DRAWINGS, TYP.
	ALL GLAZING TO BE OF TYPE GL1 UNLESS NOTED OTHERWISE. REFER TO DOOR AND FRAME SCHEDULE, TYP.
	STRUCTURAL WOOD POST COLUMN. REFER TO ELEVATION DRAWING, SECTION AND STRUCTURAL DRAWINGS, TYP.
	SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.
	INSTALL NEW SUSPENDED 1HR FIRE RATED DRYWALL CEILING AT 8'-0" A.F.F. REFER TO 3 / A2 DETAIL DRAWINGS, TYP.

2	NOTES
A2	SCALE: N/A



3	TYPICAL DRYWALL CEILING DETAIL
A2	SCALE: NTS



1	CONSTRUCTION PLAN
A2	SCALE: 1/4" = 1'-0"



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NORTH YORK, ONTARIO
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TEL: 647.852.2121

SEAL :

VITARO ASSOCIATIC
OF
.....
SEAL MUST BE SIGNED TO BE VALID



Project :
WORKSHOP / CUSTOM GARAGE
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :
CONSTRUCTION PLAN

Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	

North : Drawing No : **A2**

- GENERAL CONSTRUCTION NOTES
1.

BASE BUILDING CONTRACTOR TO NOTIFY ROOFING INSPECTOR 7 DAYS PRIOR TO COMMENCEMENT OF ROOF WORK.
2.

BUILDING CONTRACTOR TO COORDINATE ALL RTU UNIT LOCATIONS AND OPENINGS WITH JOIST/STEEL MANUFACTURER AND ROOF TOP UNIT SUPPLIER/MANUFACTURER.
3.

BASE BUILDING CONTRACTOR TO PROVIDE (A MINIMUM OF) FOURTEEN (14) DAYS NOTICE PRIOR TO INSTALLING ANY ROOF PENETRATION FOR ALL UNITS.
4.

CONTRACTOR TO PROVIDE A MINIMUM 5 YEAR ROOF WARRANTY.
5.

PRE-FINISHED METAL FLASHING WITHOUT HOUR TRIP (STARTER STRIP) SHALL BE REJECTED. STARTER STRIP TO BE INSPECTED PRIOR TO FLASHING INSTALLATION.
6.

PROVIDE ROOF CONES AND GOOSE NECK FLASHINGS AS REQUIRED FOR SATELLITE FEEDS, PLUMBING VENTS, ELECTRICAL FEEDS, MECHANICAL EXHAUST FAN CURBS ETC., FOR SIGNAGE COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES AS WELL AS WITH TENANT.
7.

ROOFER TO EXTEND VAPOUR BARRIER PAST EDGE AT MARQUEE LOCATIONS FOR CONNECTION TO BUILDING VAPOUR BARRIER.
8.

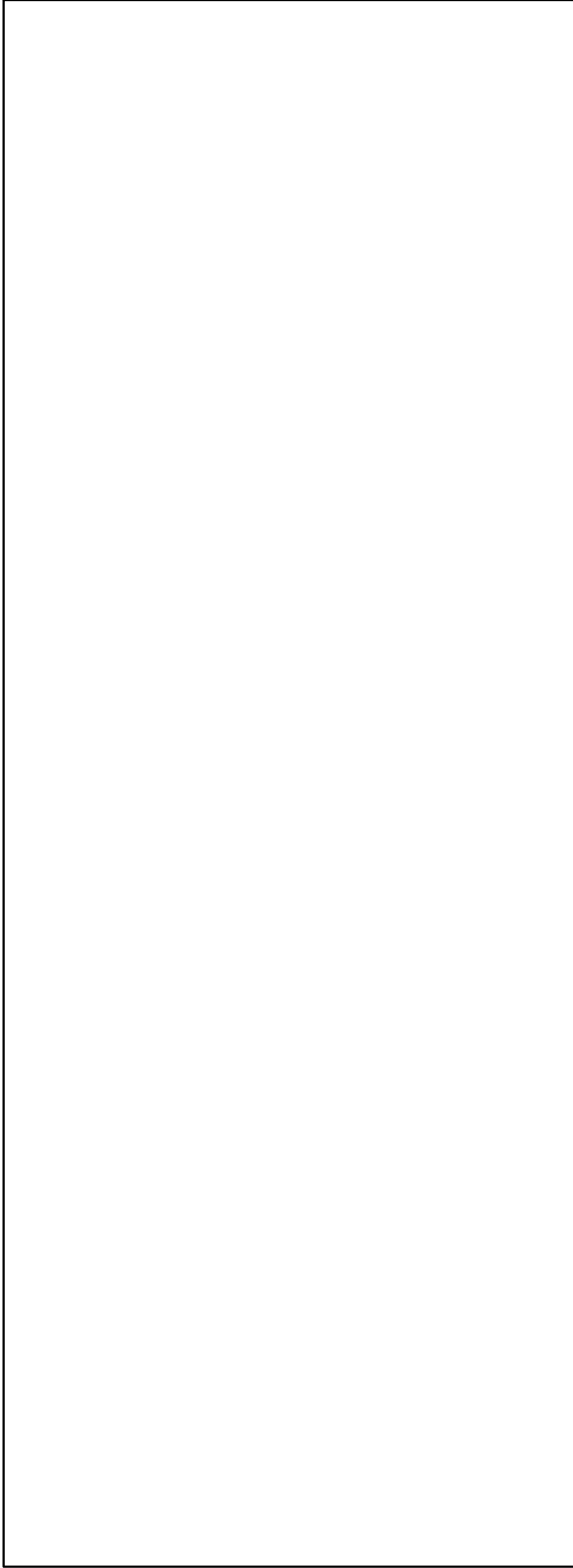
GENERAL CONTRACTOR AND ROOFING SUBTRADE TO DEMONSTRATE THAT THE ROOFING SYSTEM SUSTAINS WIND UPLIFT AS REQUIRED UNDER CSA STANDARD A123.21 PRIOR TO INSTALLATION.

2

NOTES

A3

SCALE: N/A

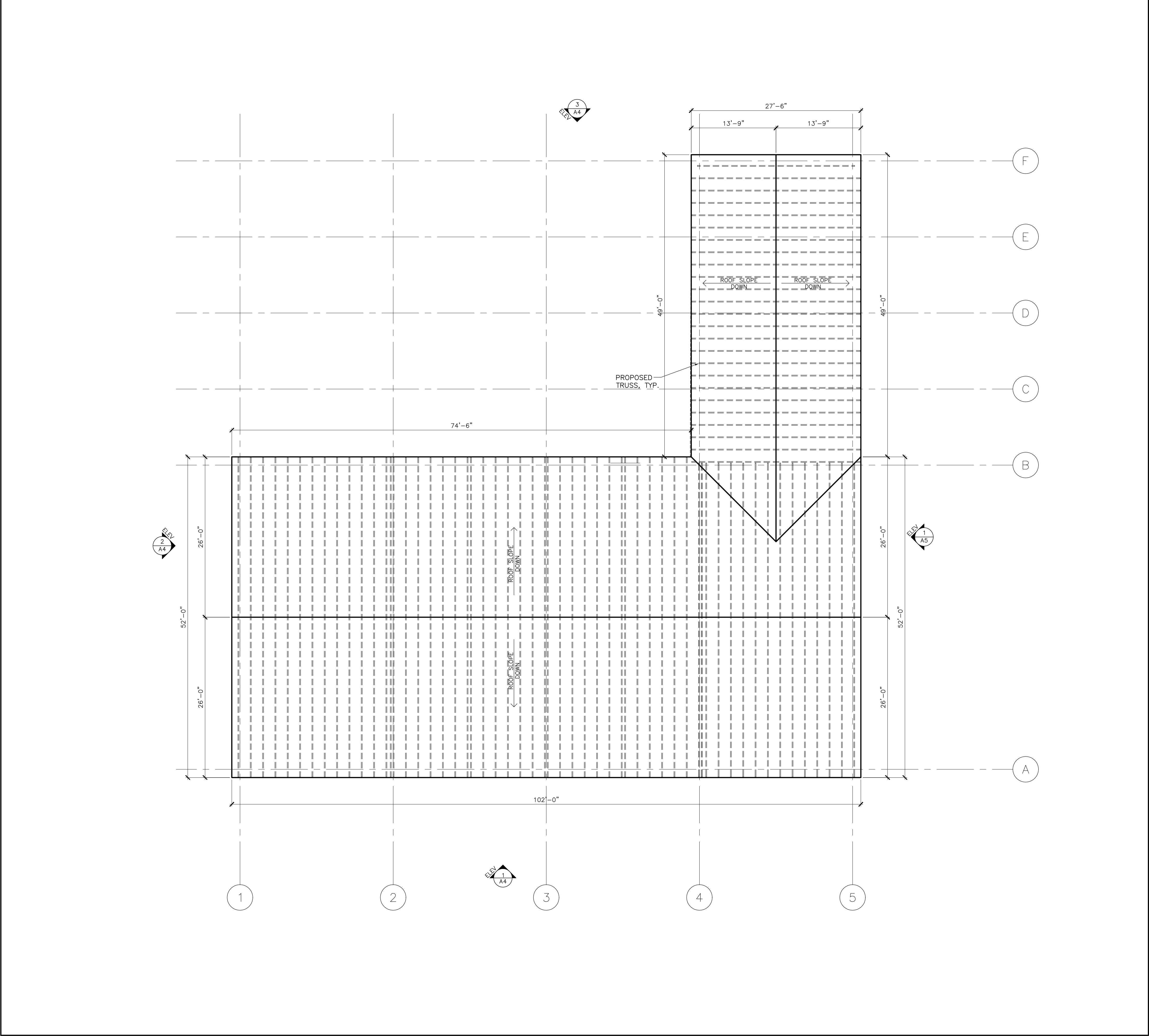


3

NOT USED

A3

SCALE: N/A

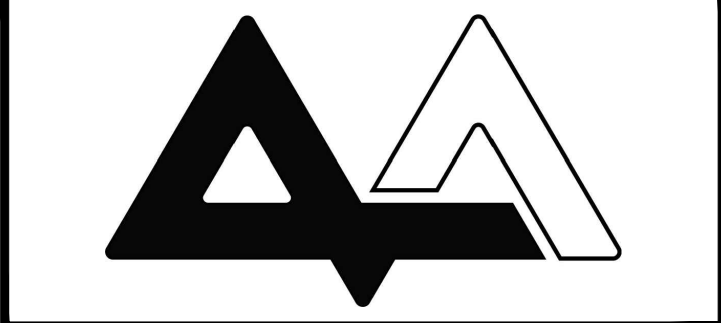


1

ROOF PLAN

A3

SCALE: 1/4" = 1'-0"



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REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021

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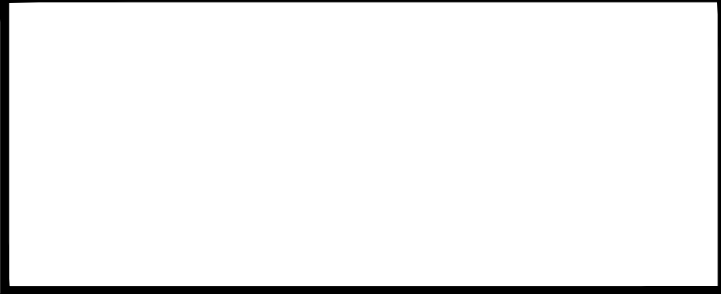
SEAL :

VIAPO ASSOCIATIC

OF

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Project :

WORKSHOP / CUSTOM GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :

ROOF PLAN

Proj no. : 20-914

Date : JULY 2020

Drawn by : JK

Scale : AS NOTED

Checked by : PM

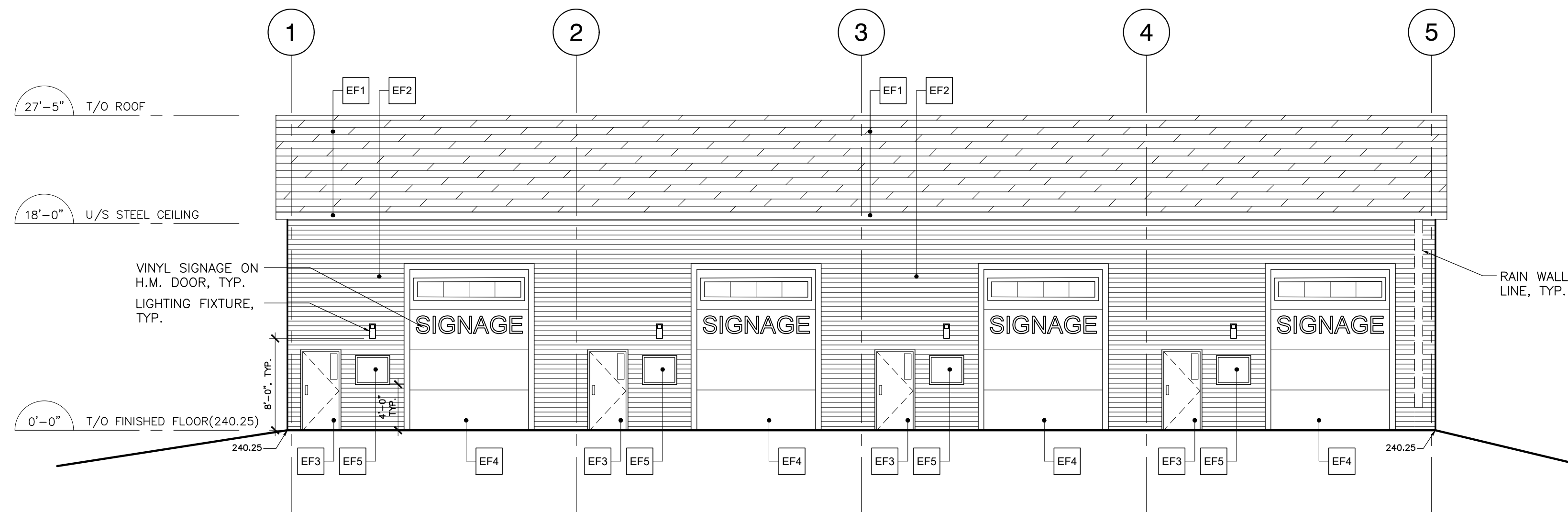
North :

Drawing No :

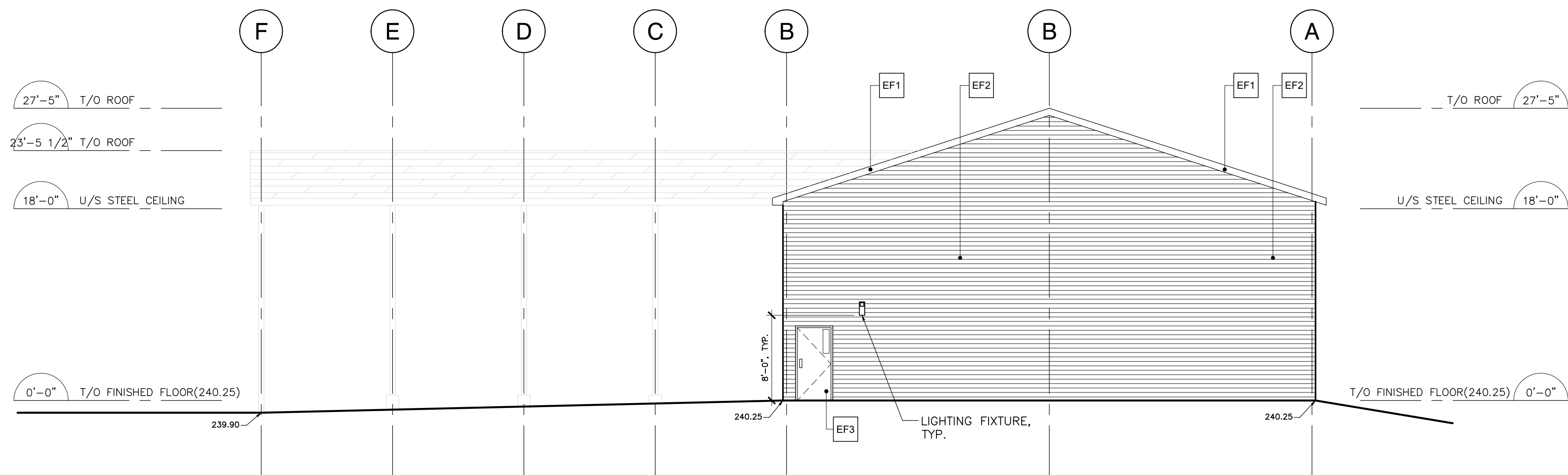
A3

- EXTERIOR FINISHES:
- EF1 STEEL ROOF
REFER TO SECTION DRAWINGS
 - EF2 STEEL SLIDING
PRE-FINISHED HORIZONTAL STEEL SLIDING
COLOUR TO BE DETERMINED
 - EF3 HOLLOW METAL DOORS:
HOLLOW METAL DOOR AND FRAMES. REFER TO
DOOR AND FRAME SCHEDULE FOR
SPECIFICATIONS, TYP.
 - EF4 H.M. DOORS AND FRAMES:
PRE-FINISHED HOLLOW METAL DOORS AND
FRAMES. DOOR COLOUR TO MATCH ADJACENT
WALL COLOUR
 - EF5 GLAZED WINDOWS:
GLAZING IN PRE-FINISHED CLEAR ANODIZED
ALUMINUM FRAMES, TYP.
 - EF6 CURED CONCRETE:
 - EF7 WOOD POST:
4-2"x8" POST. REFER TO STRUCTURAL
DRAWINGS, TYP.

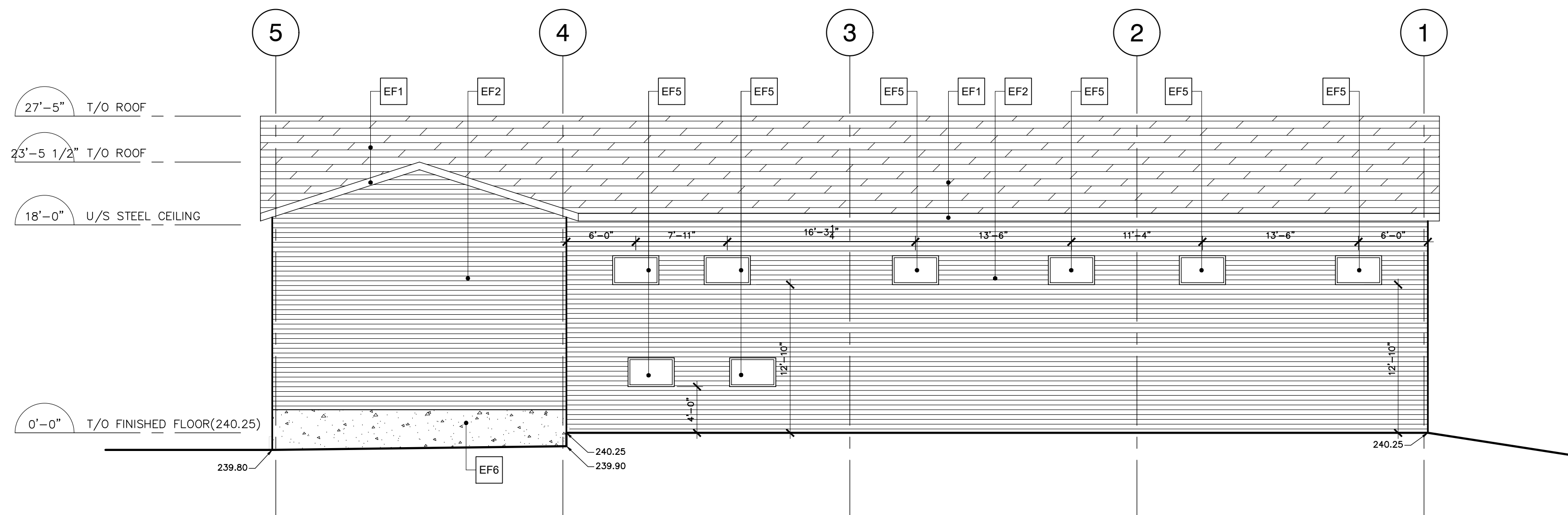
4 EXTERIOR FINISHES NOTE
SCALE: N/A



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

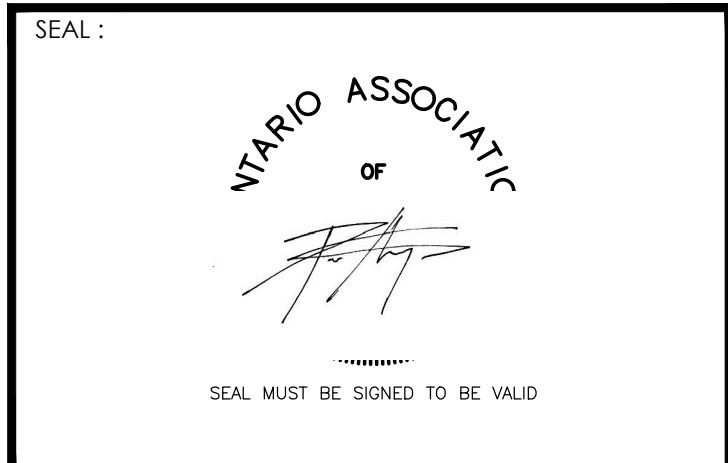
5 NOT USED
SCALE: N/A



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Project : WORKSHOP / CUSTOM GARAGE 22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.	
Drawing Name : ELEVATIONS	
Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	
North :	Drawing No : A4

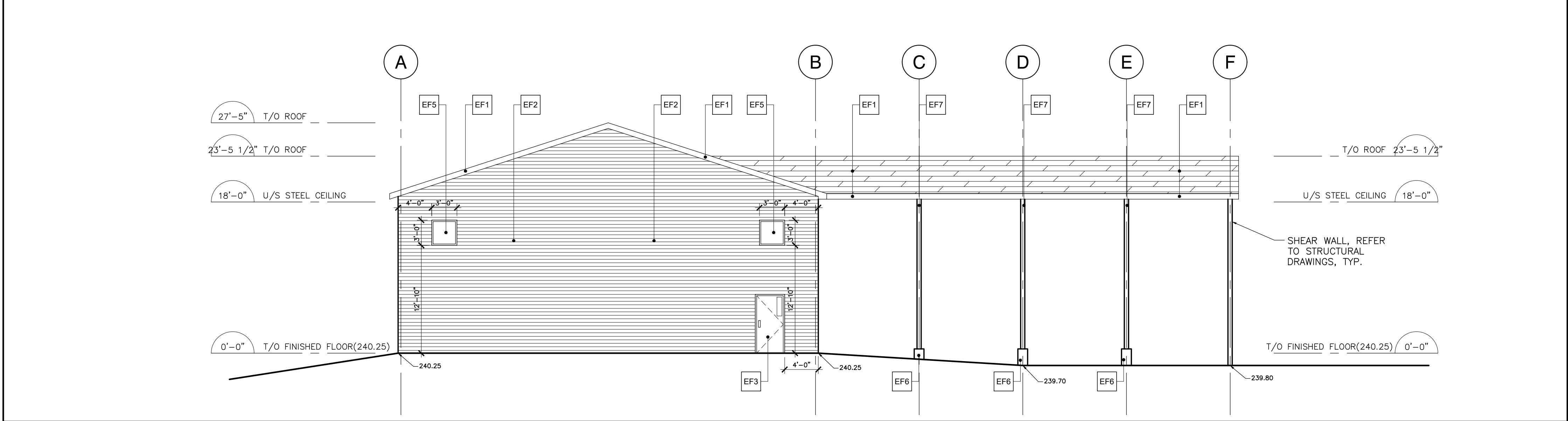
EXTERIOR FINISHES:	
EF1	STEEL ROOF REFER TO SECTION DRAWINGS
EF2	STEEL SLIDING PRE-FINISHED HORIZONTAL STEEL SLIDING COLOUR TO BE DETERMINED
EF3	HOLLOW METAL DOORS: HOLLOW METAL DOOR AND FRAMES, REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATIONS, TYP.
EF4	H.M. DOORS AND FRAMES: PRE-FINISHED HOLLOW METAL DOORS AND FRAMES, DOOR COLOUR TO MATCH ADJACENT WALL COLOUR
EF5	GLAZED WINDOWS: GLAZING IN PRE-FINISHED CLEAR ANODIZED ALUMINUM FRAMES, TYP.
EF6	PURED CONCRETE:
EF7	WOOD POST: 4-2"x8" POST, REFER TO STRUCTURAL DRAWINGS, TYP.

2

A5

EXTERIOR FINISHES NOTE

SCALE: N/A

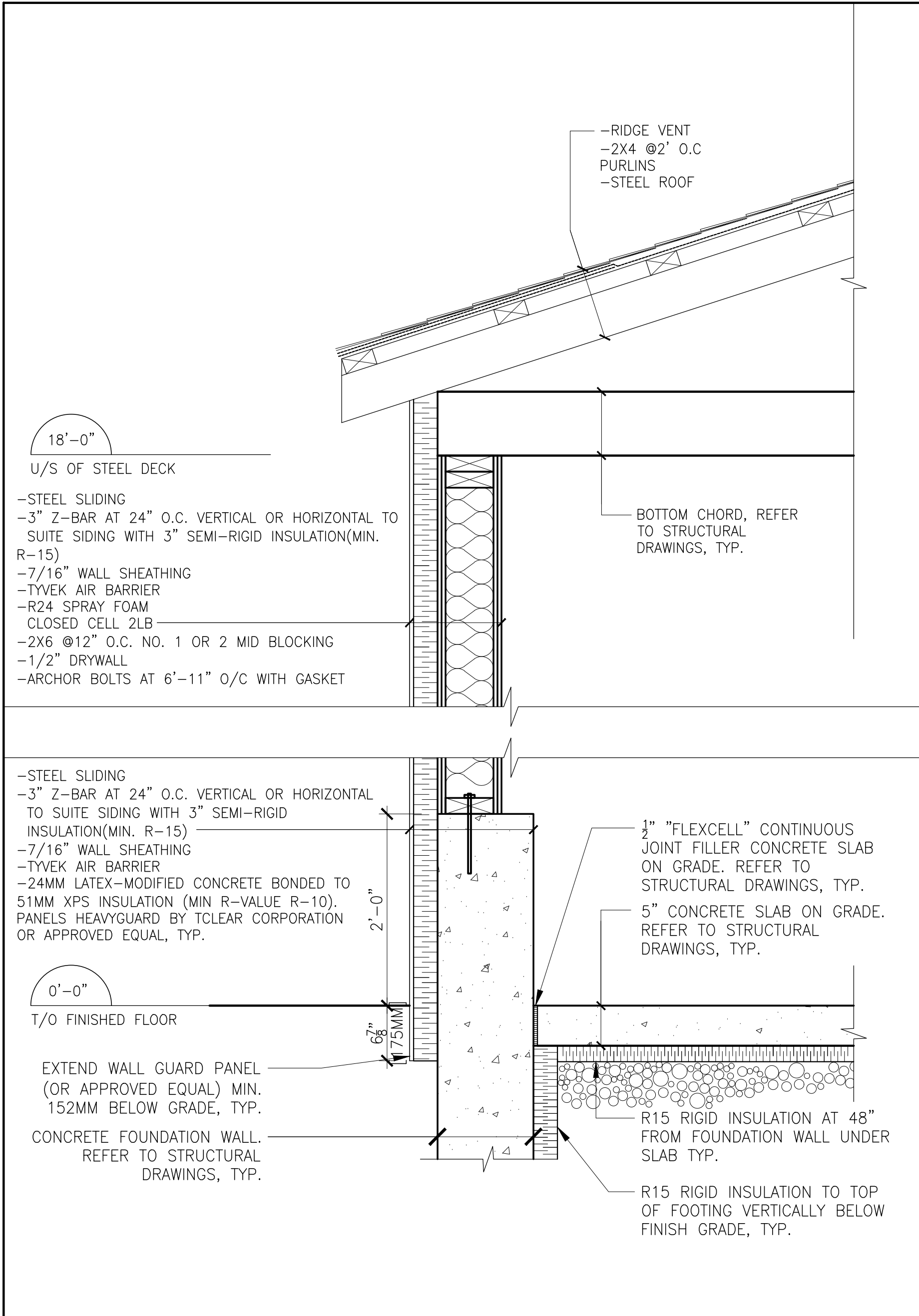


1

A5

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

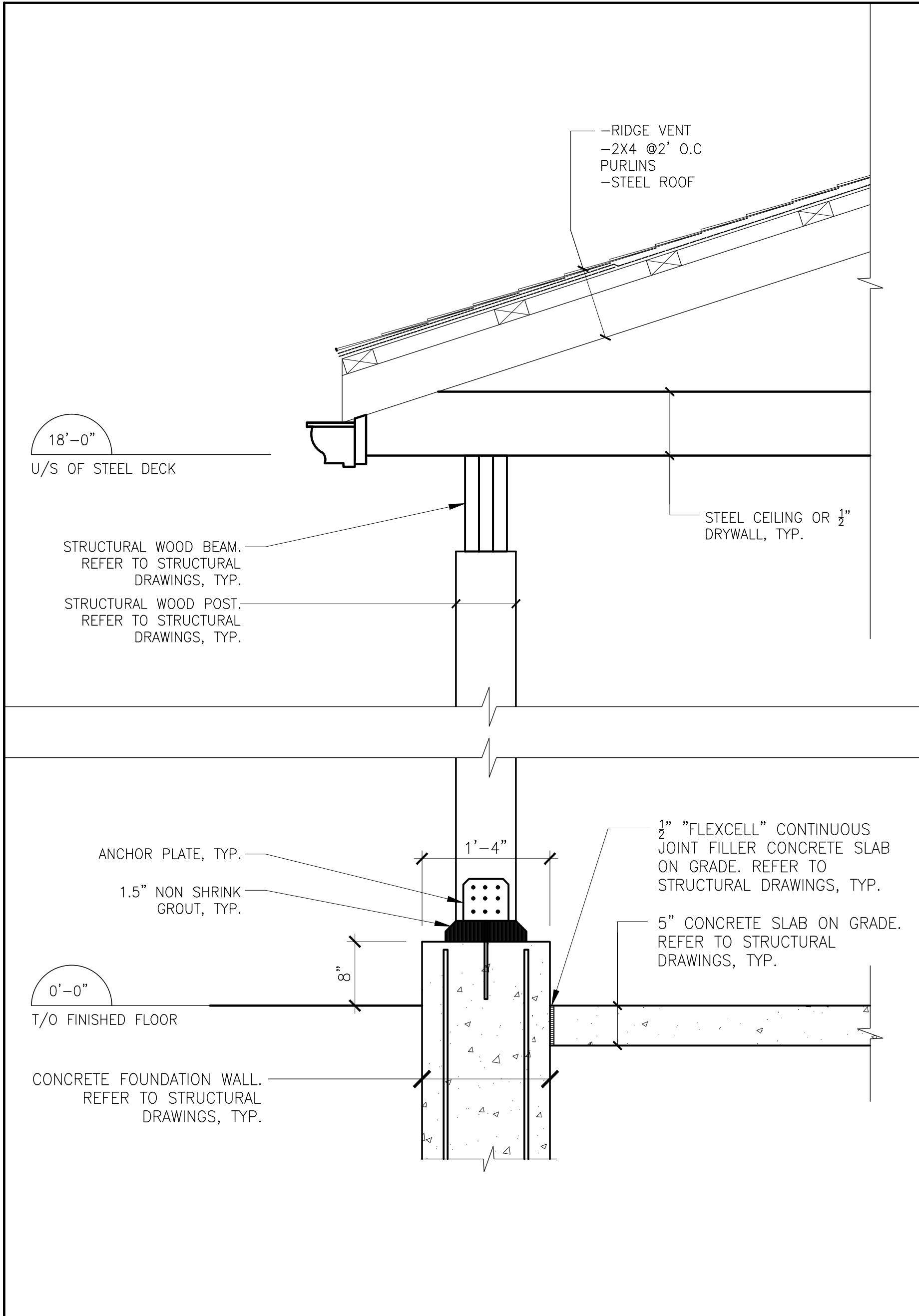


3

A5

SECTION

SCALE: 1" = 1'-0"

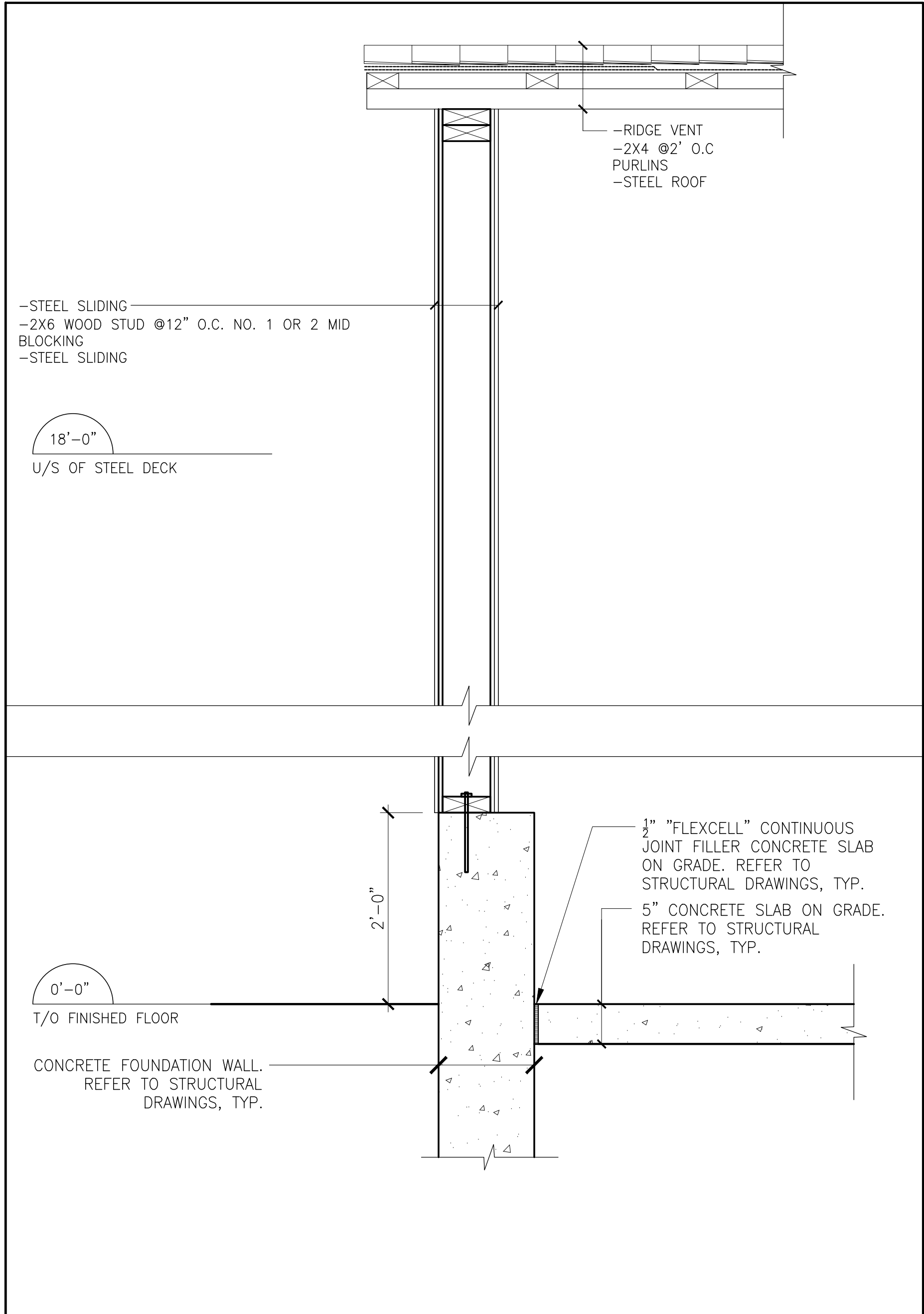


4

A5

SECTION

SCALE: 1" = 1'-0"

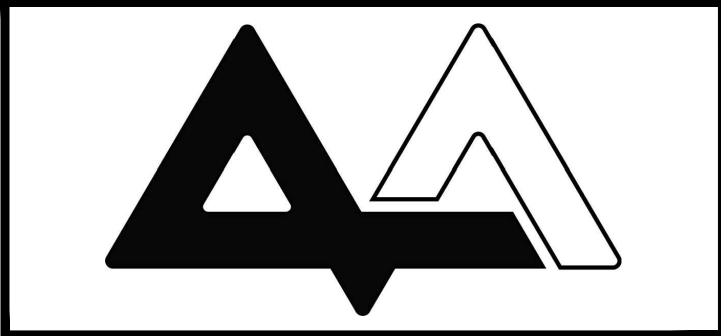


5

A5

SECTION

SCALE: 1" = 1'-0"



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TEL: 647.362.2121

SEAL:

VTARO ASSOCIATC

OF

SEAL MUST BE SIGNED TO BE VALID



Project :	
WORKSHOP / CUSTOM GARAGE	
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.	
Drawing Name :	
ELEVATION & SECTIONS	
Proj no.:	20-914
Date :	JULY 2020
Drawn by :	JK
Scale :	A5 NOTED
Checked by :	PM
North :	Drawing No :
A5	

GENERAL NOTES

GENERAL REQUIREMENTS (01001)

PART 1 – GENERAL

1. GENERAL
 1. VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL OR PROVIDING ANY INFORMATION OR ASSISTANCE WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
 2. THE CONTRACTORS ARE RESPONSIBLE TO OVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY THE OWNER AND PAY ALL FEES IN CONNECTION WITH THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT.

PART 2 – PROJECT CO-ORDINATION

1. GENERAL
 1. CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.

PART 3 – CUTTING AND PATCHING

- 3.1 APPROVALS
 1. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING:
 1. STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT.
 2. INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS.
 3. FIREPROOFING, MAINTAIN WEATHER-RESISTANT ELEMENTS.
 4. VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR
 5. WORK OF OWNER OR SEPARATE CONTRACTOR.

3.2 INSPECTION

1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
2. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
3. BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.

3.3 EXECUTION

1. PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK.
2. REMOVE AND REPLACE DEFECTIVE AND NON-CONFORMING WORK.
3. PROVIDE DRAINAGE IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PRESENT.
4. PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
5. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING.
6. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES.
7. CUT FIBRE MATERIALS USING POWER SAWS OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
8. CUT FIBRE MATERIALS USING POWER SAWS OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT.
11. FINISH SURFACES TO MATCH ADJACENT FINISHES. FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTENTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

PART 4 – SUBMITTALS

4.1 ADMINISTRATIVE

1. SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.
2. WORK AFFECTED BY THE SUBMITTALS SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
3. REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CONFORMS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

4.2 SHOP DRAWINGS AND PRODUCT DATA

1. REFER TO CC 46 – SHOP DRAWINGS
2. THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
3. INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
4. ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE.
5. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
6. SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND ARCHITECT MAY REASONABLY REQUEST MORE COPIES.
7. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND ARCHITECT MAY REASONABLY REQUEST MORE COPIES WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

4.3 OPERATING MAINTENANCE MANUALS

1. TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.
 2. MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, INSTALLATION AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
 3. BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPROPRIATE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.
4. RECORD DRAWINGS
 1. AFTER AWARD OF CONTRACT, G.C. WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.
 2. RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES.
 3. IDENTIFY DRAWINGS AS PROJECT RECORD COPY. MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE FOR INSPECTION ON SITE BY ARCHITECT.
 4. ON COMPLETION OF WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO ARCHITECT.

PART 5 – REPORTS

5.1 REPORTS

1. SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.
2. PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.

PART 6 – CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

6.1 INSTALLATION AND REMOVAL

1. PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY.
2. REMOVE FROM SITE ALL SUCH WORK AFTER USE.

6.2 SITE STORAGE AND OVERLOADING PROPERTIES

1. REFER TO CC 33 PROTECTION OF WORK AND
2. CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNLOAD OR STORE MATERIALS OR EQUIPMENT IN AREAS OF PRODUCTS PRODUCED. DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL CHANGE THE WORK.

6.3 SANITARY FACILITIES

1. PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
2. MAINTAIN IN CLEAN CONDITION.

6.4 WATER SUPPLY

1. PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
2. ARRANGE, MAINTENANCE AND APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR WATER SUPPLY AND PAY FOR UTILITY CHARGES AT PREVAILING RATES.

6.5 TEMPORARY POWER

1. PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.

6.6 TEMPORARY TELEPHONE

1. PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.

6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE

1. PROVIDE AND MAINTAIN IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.
2. LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CAUSE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.

6.8 PROJECT CLEANLINESS

1. MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
2. REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
3. CLEAN INTERIOR SURFACES OF ALL BUILDINGS, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS.

PART 7 – MATERIAL AND EQUIPMENT

7.1 PRODUCT AND MATERIAL QUALITY

1. REFER TO CC 39 – LABOUR AND PRODUCTS.
2. PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PRODUCED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR NEGLIGENCE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
3. SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7.2 STORAGE, HANDLING AND PROTECTION

1. HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOLLING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
2. BUNDLE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
3. STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

7.3 MANUFACTURER'S INSTRUCTIONS

1. UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
2. NOTIFY ARCHITECT IN WRITING OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.
3. IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

GENERAL REQUIREMENTS (01001) CONT.

7.4 QUALITY OF WORK

1. WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCE REQUIRED RESULTS.
2. DO NOT EMPLOY ANY UNIT PERSON OR ANYONE UNEMPLOYED IN THEIR REQUIRED DUTIES.
3. DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT. WHOSE DECISION IS FINAL.

7.5 CONCEALMENT

1. IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
2. BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTION SITUATION. INSTALL AS DIRECTED BY ARCHITECT.

PART 8 – PROJECT CLOSEOUT

8.1 FINAL CLEANING

1. REFER TO CC 42 – CLEAN UP AND FINAL CLEANING OF THE WORK.
2. WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
3. REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.
4. LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.
5. CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.
6. REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.
7. VACUUM CLEAN AND JUST BUILDING INTERIORS, BEHIND GRILLS, LOUVERES AND SCREENS.
8. WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATION.
9. BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
10. REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

8.2 SYSTEM DEMONSTRATION

1. PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT.
2. ON POSSESSION DAY – INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.

8.3 DOCUMENTS

1. COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
2. PREPARE AND SUBMIT TO ARCHITECT APPLICATION FOR PAYMENT.
3. SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
4. PROVIDE WARRANTIES AND BONDS FULLY EXCITED AND NOTARIZED.
5. EXECUTE TRANSFER OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY RECORD REQUIREMENTS.
6. SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
7. CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.

8.4 INSPECTION/TAKEOVER PROCEDURES

1. PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY.
2. DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED.
3. CORRECT SAME.
4. WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS EQUIVOCALLY OF THE CONTRACT HAVE BEEN CORRECTED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.
5. MAKE APPLICATION AND SUBMIT TO ARCHITECT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CONFORMS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

MASONRY PROCEDURES (04050)

PART 1 – GENERAL

1.1 RELATED WORK

1. MORTAR AND GROUT FOR MASONRY – SECTION 04100
2. MASONRY ACCESSORIES – SECTION 04150
3. MASONRY REINFORCING AND CONNECTORS – SECTION 04160
4. BRICK UNIT MASONRY – SECTION 04210
5. SEALANTS – SECTION 07900

1.2 REFERENCE STANDARDS

1. DO MASONRY WORK IN ACCORDANCE WITH CAN3-A371-M84, OR LATEST RELEVANT CODES, EXCEPT WHERE SPECIFIED OTHERWISE.

1.3 PRODUCT DELIVERY, STORAGE & HANDLING

1. DELIVER MATERIALS TO JOB SITE IN DRY CONDITION.
2. KEEP MATERIALS DRY UNTIL USE.
3. STORE UNDER WATERPROOF COVER ON PALETTES OR PLANK PLATFORMS HELD OFF GROUND BY MEANS OF PLANK OR TIMBER SKIDS.

1.4 COLD WEATHER REQUIREMENTS

1. SUPPLEMENT CLAUSE 5.15.2 OF CAN3-A371-M84, OR LATEST RELEVANT CODES, WITH THE FOLLOWING REQUIREMENTS:
 1. MAINTAIN TEMPERATURES OF MORTAR BETWEEN 5° CELSIUS AND 50° CELSIUS UNTIL USED.

1.5 HOT WEATHER REQUIREMENTS

1. PROTECT FRESHLY LAID MASONRY FROM DRYING TOO RAPIDLY, BY MEANS OF WATERPROOF, NON-STAINING COVERINGS.

1.6 PROTECTION

1. KEEP MASONRY DRY USING WATERPROOF, NON-STAINING COVERINGS THAT EXTEND OVER WALLS AND DOWN SIDES SUFFICIENT TO PROTECT WALLS FROM WIND DRIVEN RAIN. MASONRY WORKS IS COMPLETED AND PROTECTED BY FLASHING OR OTHER MEANS WHERE CONJOINT JOINTS ARE INDICATED.
2. PROTECT MASONRY AND OTHER WORK FROM MARKING AND OTHER DAMAGE. PROTECT COMPLETED WORK FROM MORTAR DROPPINGS.
3. PROVIDE TEMPORARY BRACING OF MASONRY WORK DURING AND AFTER ERECTION UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. MASONRY MATERIALS ARE SPECIFIED IN RELATED SECTIONS INDICATED IN 1.1.

2.2 MATERIALS

1. BUILD MASONRY PLUMB, LEVEL, AND TRUE TO LINE, WITH VERTICAL JOINTS IN ALIGNMENT.
2. LAYOUT COURSEING AND BOND TO ACHIEVE CORRECT COURSEING HEIGHTS AND CONTINUITY OF BOND ABOVE AND BELOW OPENINGS, WITH METHOD OF CUTTING.

2.3 TOLERANCES

1. TOLERANCES IN NOTES TO CLAUSE 5.3 OF AN3-A371-M84 APPLY, OR LATEST RELEVANT CODES.

2.3 EXPOSED MASONRY

1. REMOVE CRACKED, CRACKED, AND OTHERWISE DAMAGED UNITS IN EXPOSED MASONRY AND REPLACE WITH UNMAGED UNITS.

2.4 JOINTING

1. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN TOOL WITH ROUND JOINTER TO DESIRED SPACE BETWEEN TOP OF MORTAR JOINTS AND FACE OF UNIT.
2. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN RAKE JOINTS UNIFORM TO GAIN DEPTH AND COMPRESS WITH SOLANS TOOL, TO PROVIDE SMOOTH COMPRESSED, RAKED JOINTS OF UNIFORM DEPTH, WHERE RAKED JOINTS ARE INDICATED.
3. STRIKE FLUSH ALL JOINTS CONCEALED IN WALLS AND JOINTS IN WALLS TO RECEIVE PLASTER, TILE, INSULATION, OR OTHER APPLIED MATERIAL EXCEPT PAINT OR SIMILAR THIN FINISH COATING.

2.5 CUTTING

1. CUT OUT NEATLY FOR ELECTRICAL SWITCHES, OUTLET BOXES, AND OTHER RECESSED, OR BUILT-IN OBJECTS.
2. MAKE CUTS STRAIGHT, CLEAN AND FREE FROM UNWEN EDGES BUILDING-IN:
 1. BUILD IN ITEMS REQUIRED TO BE BUILT INTO MASONRY.
 2. PREVENT DISPLACEMENT OF BUILT-IN ITEMS DURING CONSTRUCTION, CHECK PLUMB, LOCATION AND ALIGNMENT FREQUENTLY, AS WORK PROGRESSES.
 3. BRIDGE CUTS JAMES TO MAINTAIN PLUMB. FILL SPACES BETWEEN JAMBS AND MASONRY WITH MORTAR.

2.6 PARING

1. USE PARING MORTAR SCRAPED IN SECTION 04100 – MORTAR AND GROUT FOR MASONRY.
2. SPRAY PARSING IN UNIFORM COATING NOT LESS THAN 10MM THICK, WHERE INDICATED.

2.7 SUPPORT OF LOADS

1. USE 14 MPA CONCRETE TO SECTION 03300 – CAST IN PLACE CONCRETE, WHERE CONCRETE FILL IS USED IN LIEU OF SOLD UNITS.
2. USE GROUT TO CSA A170-M1976, OR LATEST RELEVANT CODES, WHERE GROUT IS USED IN LIEU OF SOLD UNITS.
3. INSTALL BUILDING PAPER BELOW VOIDS TO BE FILLED WITH CONCRETE OR GROUT, KEEP PAPER 25 MM BACK FROM FACES OF UNITS.

2.8 PROVISION FOR MOVEMENT

1. LEAVE 3 MM SPACE BELOW SHELF ANGLES.
2. PROVIDE EXPANSION JOINTS BETWEEN TOP OF NON-LOAD BEARING WALLS AND PARTITIONS AND STRUCTURAL ELEMENTS. DO NOT USE WEDGES.

2.9 LOOSE STEEL LINTELS

1. INSTALL LOOSE STEEL LINTELS. CENTRE OVER OPENING WIDTH.

2.10 CONTROL JOINTS

1. PROVIDE CONTINUOUS CONTROL JOINTS AS INDICATED OR AS RECOMMENDED BY REFERENCE STANDARDS OR REQUIRED FOR GOOD CONSTRUCTION PRACTICE.

2.11 EXISTING WORK

1. MAKE GOOD EXISTING WORK. USE MATERIAL TO MATCH EXISTING.

2.12 TESTING

1. INSPECTION AND TESTING WILL BE CARRIED OUT BY TESTING LABORATORY DESIGNATED BY CONSULTANT.
2. COST OF TESTING WILL BE PAID BY OWNER.

MASONRY, MORTER & GROUT (04100)

PART 1 – GENERAL

1.1 RELATED WORK

1. MASONRY PROCEDURES – SECTION 04050

1.2 REFERENCE STANDARDS

1. DO MASONRY MORTAR AND GROUT WORK IN ACCORDANCE WITH CSA A179-M84 (R1999), OR LATEST EDITION, EXCEPT WHERE SPECIFIED ELSEWHERE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. MORTAR AND GROUT: CSA A179-M1976, OR LATEST EDITION.
2. USE AGGREGATE PASSING 1.18 MM SIEVE WHERE 5MM THICK JOINTS ARE INDICATED.

2.2 MATERIAL SOURCE

1. USE SAME BRANDS OF MATERIALS AND SOURCE OF AGGREGATE FOR ENTIRE PROJECT.

2.3 MORTAR TYPES

1. MORTAR FOR EXTERIOR MASONRY ABOVE GRADE: CSA 179
 1. LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.
 2. NON-LOAD BEARING: TYPE N BASED ON PROPORTION SPECS.
2. PARAPET WALLS, UNPROTECTED WALLS: TYPE N BASED ON PROPORTION WALLS.
3. MORTAR FOR FOUNDATION WALLS, MANHOLES, SEWERS, PAVEMENTS, WALKS, AND OTHER EXTERIOR MASONRY AT OR BELOW GRADE: TYPE M BASED ON PROPORTION SPECIFICATIONS.
4. MORTAR FOR INTERIOR MASONRY: LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.
5. NON-LOAD BEARING: TYPE O BASED ON PROPORTION SPECS.
6. FOLLOWING APPLIES REGARDLESS OF MORTAR TYPES AND USES: SPECIFIED ABOVE.
7. MORTAR FOR CALCIUM SILICATE BRICK AND CONCRETE BRICK. TYPE O BASED ON PROPORTION SPECIFICATIONS.

2.4 GROUT

1. GROUT: TO CSA A179-M84 (R1999), TABLE 3, OR LATEST EDITION.

PART 3 – EXECUTION

3.1 MIXING

1. MIX GROUT TO SEMI-FLUID CONSISTENCY.
2. PRE-MIXED PORTLAND MORTAR BY MIXING INGREDIENTS DRY, THEN MIX AGAIN ADDING JUST ENOUGH WATER TO PRODUCE PAST UNWORKABLE MIX THAT WILL RETAIN ITS FORM WHEN PRESSED INTO A BALL. ALLOW STANDING FOR NOT LESS THAN ONE (1) HOUR AND NOT MORE THAN TWO (2) HOURS, AND THEN REMIXING WITH SUFFICIENT WATER TO PRODUCE MORTAR OF PROPER CONSISTENCY FOR POINTING.

MASONRY ACCESSORIES (04150)

PART 1 – GENERAL

1.1 RELATED WORK

1. MASONRY PROCEDURES – SECTION 04050
2. MASONRY REINFORCING AND CONNECTORS – SECTION 04160

PART 2 – PRODUCTS

2.1 MATERIALS

1. CONTROL JOINT FILLER: PURPOSE-MADE ELASTOMER TO ASTM D2240-81, OR LATEST EDITION, OF SIZE AND SHAPE INDICATED.
2. NAULING INSERTS: 0.6 MM THICK PURPOSE-MADE GALVANIZED STEEL INSERTS FOR SETTING IN MORTAR JOINTS.
3. JOINTS FLASHING: ONE OF THE FOLLOWING: USE SPECIFIED MATERIAL WHERE INDICATED ON DRAWINGS:
 1. ROTOLYF
 2. GRADE BUTHTHENE 3000 (NCL PRIMER F3100)
 3. LAP ADHESIVE: RECOMMENDED BY MANUFACTURER OF FLASHING MATERIAL.
 4. WEEP HOLE VENTS: PURPOSE MADE PVC OR GALVANIZED STEEL, DESIGNED TO DRAIN CAVITIES TO EXTERIOR.

PART 3 – EXECUTION

3.1 CONTROL JOINTS

1. INSTALL CONTINUOUS CONTROL JOINT FILLERS IN CONTROL JOINTS AT LOCATIONS INDICATED.

3.2 WEEP HOLE VENTS

1. INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY OVER FLASHINGS, IN EXTERIOR WALLS OF CAVITY WALL AND MASONRY VENEER WALL CONSTRUCTION, AT MAXIMUM HORIZONTAL SPACING OF 32" O.C.
2. WHERE SPECIFIED OTHERWISE.

1. INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY BELOW THE TOP RECESS BRICK TO VENT THE CAVITY IN EXTERIOR WALLS OF CAVITY WALLS AT 32" O.C.

3.3 NAULING INSERTS

1. INSTALL NAULING INSERTS IN MORTAR JOINTS AT 400 MM O.C. EACH WAY FOR ATTACHMENT OF ALL STRAPPING, WHERE INDICATED OR REQUIRED.

3.4 MASONRY FLASHING

1. INSTALL FLASHING IN MASONRY IN ACCORDANCE WITH CAN3 A371-M84, OR LATEST EDITION, AS FOLLOWS:
 1. INSTALL FLASHINGS UNDER EXTERIOR MASONRY BEARING ON FOUNDATIONS, WALLS, SLABS, SHELF ANGLES AND STEEL ANGLES OVER OPENINGS. INSTALL FLASHINGS UNDER EXTERIOR MASONRY VENEER WALLS AND AS INDICATED.

2. IN DOUBLE WYTHE WALLS AND VENEERED WALLS, CARRY FLASHING FROM FRONT EDGE OF MASONRY, UNDER OUT WYTHE, TO BACK EDGE OF MASONRY, AND FROM FRONT EDGE OF MASONRY, UNDER OUT WYTHE, TO BACK EDGE OF MASONRY.

1. FOR MASONRY BACKING EMBED FLASHING 2.5 MM IN JOINT.
2. FOR CONCRETE BACKING INSERT FLASHING INTO REINERS.
3. FOR GYPSUM BOARD BACKING, BOND TO WALL USING MANUFACTURER'S RECOMMENDED ADHESIVE.
4. LAP JOINTS 150 MM AND SEAL WITH ADHESIVE.

2. INSTALL BUTHTHENE FLASHING ABOVE EACH COURSE OF RECESSED BRICK AS WELL TO ALLOW WATER TO DRAIN.

3. COVER SHEATING WITH A BREATH-RESISTANT BARRIER, LAP JOINTS 4" SINGLE FASHION, THEN, IN ACCORDANCE WITH LOCAL BUILDING CODE, LAP AND INSTALL TAIL OR MESH UNDER GALVANIZED NAILS OR SCREWS WITH A MINIMUM OF 16 AROUND ALL OUTSIDE AND INSIDE CORNERS.

4. WEATHER-RESISTANT BARRIER:
 1. DEPENDING ON LOCAL BUILDING CODE REQUIREMENTS, BARRIER SHOULD BE EQUAL TO NBC STANDARD FOR PAINT WATER-PROOF PAPER OR ASPHALT SATURATED BAG FELT OR AS

GENERAL NOTES

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT.

PART 1 – GENERAL

1.1 SYSTEM DESCRIPTION:DUAL BARRIER, DRAINING SYSTEM

1. THE DRYVIT OUTSULATION SYSTEM IS CONSIDERED A COMBUSTIBLE WALL CLADDING THAT MAY BE USED IN A NON-COMBUSTIBLE CONSTRUCTION SYSTEM AS IT IS DEFINED IN THE NATIONAL BUILDING CODE OF CANADA, PART 3, SECTION 3.1.5. THE OUTSULATION SYSTEM MAY ALSO BE USED IN COMBUSTIBLE CONSTRUCTION AS PER SECTION 3.1.4.

2. THE DRYVIT OUTSULATION SYSTEM HAS BEEN EVALUATED BY CMC AND IS LISTED TO PERFORM AT A LEVEL EQUAL TO OR GREATER THAN THAT REQUIRED BY PART 5, SECTION 8.2.7, FOR APPLICATION.

NOTE: A SECONDARY MOISTURE BARRIER IS PART OF ALL CMC EIFS EVALUATIONS AND IS REQUIRED (WHERE A CMC LISTING OF SYSTEMS AND MATERIALS IS CODE ENFORCED), ON THIS PROJECT

1.4 DESIGN REQUIREMENTS

1. SUBSTRATE/SUBSTRATE SYSTEMS

- SHALL BE ENGINEERED BY OTHERS
- THE MAXIMUM DEFLECTION UNDER FULL FLEXURAL DESIGN LOADS OF THE SUBSTRATE SHALL NOT EXCEED 1/240 TIMES THE SPAN. THE SUBSTRATE SHALL BE FLAT WITHIN 41/8" IN 4' RADIUS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBSTRATE SUBSTRATE IS OF A TYPE AND CONDITION ACCEPTABLE FOR THE PROPOSED SUBSTRATE IS ACCEPTABLE FOR APPLICATION
- APPLICATION OF THE FOLLOWING FOLLOWING RECOMMENDED SUBSTRATE IS OF A TYPE AND CONDITION ACCEPTABLE FOR THE PROPOSED SUBSTRATE IS ACCEPTABLE FOR APPLICATION
 - PROPRIETARY TREATED CORE, FIRE-FACED GYPSUM SHEATHING MEETING ASTM C177.
 - FOURD CONCRETE, CLEAN OF ALL DUST, FORM AGENTS, AND OTHER DELECTERIOUS MATERIALS
 - UNIT MASONRY AND VENEER (UNGLAZED) MEETING THE INSPECTION REQUIREMENTS OF A DRYVIT REPRESENTATIVE.
 - EXTERIOR CEMENT BO, APPROVED BY DRYVIT.

2. AIR/MOISTURE BARRIERS

AIR MOISTURE BARRIER OR "SECONDARY BARRIER" IS A DESIGN REQUIREMENT. LINE OF AIR TIGHTNESS IS LOCATED WITHIN THE WALL ASSEMBLY. THIS BARRIER ALSO FUNCTIONS AS THE AIR BARRIER SYSTEM. DRYVIT SECONDARY BARRIERS MEET NBC REQUIREMENT FOR AIR BARRIERS HAVING AN AIR LEAKAGE RATE OF <0.5 L/s/m² @ 75 Pa.

1. BARRIER MATERIALS FOR DRYVIT SYSTEMS.

- BACKSTOP, A WATER RESISTANT AIR BAR- RIER MEMBRANE HAVING A WATER VAPOUR PERMEANCE OF >1000 Ng/Pa.s.m.2, FILD MIXED 1:1 WITH CEMENT.

2. DRYVIT GRID TAPE, DRYVIT FLASHING TAPE AND FLASHING TAPE PRIMER SHALL BE USED IN CONJUNCTION WITH THE AIR BARRIER MATERIALS LISTED ABOVE FOR MAINTAINING BARRIER CONTINUITY THROUGH OUT THE WALL SYSTEM WHEN REQUIRED. 3.WHERE POSSIBLE, FIT AND SHIP ASSEMBLY WORK, READY FOR ERECTION.

3. BACKSTOP-FOR DRESSINGS COLD SHEATHING BACKSTOP NT-FOR PLYWOOD SHEATHING

4. INSTALLATION OF AIR BARRIERS TO PROCEED IMMEDIATELY AFTER INSTALLATION OF SHEATHING. SEAL AROUND PROTECTING MASONRY TIES WHERE APPLICABLE.

3. DETAIL TREATMENT

THE INSULATION BOARD EDGE SHALL BE COMPLETELY ENCAPSULATED WITH DRYVIT BASE COAT MATERIAL AND MESH AT ALL SYSTEM TERMINATIONS.

2. THE LENGTH AND SLOPE OF INCLINED SURFACES SHALL FOLLOW THE GUIDELINES LISTED BELOW:

- MINIMUM SLOPE: 6°(102mm) OF RISE IN 12" (305mm) OF HORIZONTAL PROJECTION.
- MAXIMUM LENGTH OF SLOPE: 10'(254mm)
- OUTSULATION SHALL NOT BE USED IN AREAS DEFINED AS ROOFS BY BUILDING CODES.

GROUND FLOORS AND HIGH TRAFFIC AREAS SHALL BE REINFORCED WITH A DOUBLE LAYER OF RE-INFORCING MESH CONSISTING OF PANZER MESH AS A MINIMUM FIRST LAYER AND STANDARD OR STANDARD PLUS MESH AS THE SECOND LAYER. LOCATION OF HIGH IMPACT AREAS SHALL BE INDICATED AND SPECIFIED ON ALL CONTRACT DRAWINGS.

4. CORNERS SHALL BE REINFORCED BY DOUBLE WRAPPING THE REINFORCING MESH OR BY INSTALLING CORNER MESH. REFER TO DRYVIT DETAIL D5107.

5. CORNERS OF OPENINGS SHALL BE REINFORCED USING A 9.5" (241mm) WIDE STRIP OF DETAIL MESH LAID AT 45° ANGLE. REFER TO INSTALL- ATION DRYVIT DETAIL D5107.

6. THE INSULATION BOARDS AT CORNERS OF OPEN- INGS SHALL BE CUT L-SHAPED SO THAT THEIR EDGES DO NOT ALIGN WITH THE CORNER.

7. TERMINATION OF THE SYSTEM AT TOPS OF WALLS SHALL BE COVERED WITH A CONTINUOUS METAL CAPPING. REFER TO INSTALLATION DRYVIT DETAIL D5107.

4. SEALANTS/SEALANT SYSTEMS

1. DRYVIT MATERIALS SHALL BE COMPLETELY DRY PRIOR TO THE INSTALLATION OF SEALANT (24-48 HOURS MINIMUM DRYING TIME). SEALANT PRIMERS ARE RECOMMENDED FOR SURFACE TREATMENT ON ALL SEALANT APPLICATIONS.

2. SEALANTS APPROVED FOR USE WITH THE DRYVIT OUTSULATION SYSTEM ARE LISTED IN D5153, EXPANSION JOINTS AND SEALANTS.

3. SEALANT SYSTEM: INCLUDES THE SEALANT, CLOSED CELL BACKER ROD OR EQUIVALENT, BOND BREAKER TAPE, PRIMER AND ACCESSORIES WHICH ARE MANUFACTURED BY OTHERS.

5. EXPANSION JOINTS

1. PROVIDE A MINIMUM OF 3/4" (19mm) WIDTH FOR ALL EXPANSION JOINTS.

2. CONTINUOUS EXPANSION JOINTS IN OUTSULATION SHALL BE INSTALLED AT, BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:

- WHERE EXPANSION JOINTS OCCUR IN THE SUBSTRATE SYSTEM.
- WHERE BUILDING EXPANSION JOINTS EXIST.
- WHEN OUTSULATION ABUTS DISSIMILAR MATERIALS.
- AT FLOOR LINES WHERE A NESTED STUD ASSEMBLY IS USED.
- AT FLOOR LINES WHERE A NESTED STUD ASSEMBLY IS USED.
- WHERE SUBSTRATE SYSTEM MATERIALS CHANGE.
- AT CHANGES IN ROOF LINES, BUILDING SHAPE, OR STRUCTURAL SYSTEM.

1.5 SUBMITTALS

- SUBMIT COPIES OF MANUFACTURER'S SPECIFICA- TIONS AND INSTALLATION INSTRUCTIONS.
- SUBMIT COPY OF MANUFACTURER'S CURRENT ISO 9001 REGISTRATION AND COMPLIANCE.

3. TRAINED APPLICATION OF THE SYSTEM 20 8"x8" (204x204mm) SAMPLE FOR EACH FINISH, COLOUR AND TEXTURE.

4. IN FABRICATION, THE TRAINED APPLICATOR SHALL SUBMIT COMPLETE SHOP DRAWINGS INCLUDING ERECTION SCHEDULES AND DETAILS.

1.6 QUALITY ASSURANCE

- MANUFACTURER
 - SYSTEM MANUFACTURER SHALL BE DRYVIT SYSTEMS CANADA.
 - BE MEMBER IN GOOD STANDING WITH EIFS COUNCIL OF CANADA AND CIMA.
 - TO HAVE CURRENT CMC LISTING AND LISTING NUMBER ON PRODUCTS SUPPLIED.
 - THE INSULATION BOARD MANUFACTURER SHALL BE RECOGNIZED BY DRYVIT SYSTEMS CANADA.

2. CONTRACTOR

- THE TRAINED APPLICATOR OR PANEL FABRI- CATOR SHALL BE RECOGNIZED BY DRYVIT SYSTEMS CANADA.
- TO HAVE REQUIRED AMOUNT OF EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND SCOPE. NUMBER ON PROJECTS TO BE DETERMINED BY THE PROJECT MANAGER.
- TO EMPLOY NECESSARY AMOUNT OF QUALIFIED PERSONNEL TO COMPLETE PROJECT IN TIMELY MANNER.

1.7 MOCK-UPS

- ONCE ACCEPTED MOCK-UP WILL DEMONSTRATE MINIMUM STANDARD FOR ACCEPTABLE WORK. IT IS RECOMMENDED THAT A MOCK-UP BE CON- TRUCTED FOR PROJECTS WHERE THE FOLLOWING NEEDS TO BE ESTABLISHED:

- SEQUENCE OF AIR BARRIER SYSTEM INSTALL- LATION, AND SHOULD SHOW TYPICAL AIR BARRIER CONNECTIONS WHERE DISSIMILAR AIR BARRIER MATERIALS WILL BE USED (e.g. WINDOWS AND WINDOW PENETRATION).
- SEQUENCE OF WALL SYSTEM COMPONENTS SUCH AS EIFS SYSTEM, FENESTRATIONS, FLASHINGS, SEALANTS, ETC.

1.8 DELIVERY, STORAGE AND HANDLING

- DELIVER ALL MATERIALS IN ORIGINAL, UNOPENED PACKAGES WITH LABELS INTACT.
- PROTECT ALL DRYVIT MATERIALS FROM WEATHER AND DIRECT SUNLIGHT.

3. STORE ALL DRYVIT MATERIALS IN A COOL, DRY LOCATION AT A TEMPERATURE NOT LESS THAN 40° (40°)

1.9 PROJECT CONDITIONS

- EXISTING CONDITIONS: THE CONTRACTOR SHALL HAVE ACCESS TO ELECTRICAL POWER, CLEAN POTABLE WATER, AND A CLEAN WORK AREA IN IMMEDIATE AREA OF SYSTEM INSTALLATION.

2. ENVIRONMENTAL CONDITIONS: THE AMBIENT AIR AND WALL SURFACE TEMPERA- TURE SHALL BE A MINIMUM OF 40° (40°) DURING AND FOLLOWING INSTALLATION OF DRYVIT MATE- RIALS FOR A MINIMUM OF 24 HOURS UNTIL MATERIALS ARE FULLY DRY.

3. PROTECTION

- ADJACENT AREAS AND MATERIALS SHALL BE PROTECTED FROM DAMAGE, DROPS, AND SPLS DURING THE APPLICATION OF THE DRYVIT MATERIALS.
- DRYVIT MATERIALS SHALL BE PROTECTED BY PERMANENT OR TEMPORARY MEANS FROM WEATHER AND OTHER DAMAGE PRIOR TO DURING AND IMMEDIATELY AFTER APPLICATION.

CARE MUST BE TAKEN TO PREVENT CONDEN- SATION AND/OR HEAT BUILT-UP, WHEN USING A HEATED ENCLOSURE IN INCLEMENT WEATHER.

4. SEQUENCING AND SCHEDULING

- INSTALLATION OF OUTSULATION SHALL BE COORDINATED WITH OTHER CONSTRUCTION TRADES.
- SUFFICIENT PERSONNEL AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COOLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC.

1.10 LIMITED MATERIALS AND LABOUR WARRANTY

1. DRYVIT SYSTEMS CANADA SHALL PROVIDE A 5 (FIVE) YEAR LIMITED MATERIALS WARRANTY. RECEIPT OF A PROPERLY EXECUTED WARRANTY REQUEST AND COMPLETED PROJECT FORM IS REQUIRED. NO WARRANTY IS ISSUED UNLESS ALL MATERIALS ARE PAID FOR IN FULL.

1.11 CERTIFICATION

- THE EIFS ASSEMBLY INCLUDING THE AIR BARRIER (MARKED ALSO AS "STUCCO FINISH") DESIGNED AS DUAL BARRIER DRAINING SYSTEM, IT IS THE RESPONSIBILITY OF DRYVIT SYSTEMS CANADA TO CARRY OUT PERIODIC ON- SITE INSPECTIONS TO ENSURE THAT SYSTEM INSTALLATION COMPLETES AND MEETS THE DESIGN CRITERIA, DRYVIT STANDARDS AND THE PERFORMANCE REQUIREMENTS. FINAL CERTIFICATION TO THIS EFFECT TO BE ISSUED BY DRYVIT AT COMPLETION OF CONSTRUCTION.

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT.

PART 2 – PRODUCTS

2.1 GENERAL

- ALL COMPONENTS OF THE OUTSULATION SYSTEM SHALL BE SUPPLIED BY AND/OR OBTAINED FROM DRYVIT SYSTEM CANADA (OR APPROVED EQUIV) OR ITS AUTHORIZED DISTRIBUTORS.

2.2 MATERIALS

1. ADHESIVE MATERIAL

- PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE TO PORT- LAND CEMENT.

2. OUTSULATION INSULATION BOARD

- THE OUTSULATION INSULATION BOARD SHALL BE AGED, EXPANDED POLYSTYRENE WITH AN AVERAGE NOMINAL DENSITY OF 1.0 p.c.f. (16 kg/m³) BUT NOT LESS THAN 0.85 p.c.f. (15 kg/m³) MEETING THE CURRENT PUBLISHED SPECIFICATIONS OF DRYVIT'S PUBLICATION D50131, AND SHOULD APPLY TO EACH AND EVERY BOARD SUPPLIED, NOT AS AN AVERAGE.

2. THE OUTSULATION INSULATION BOARD SHALL MEASURE A MINIMUM OF 24" (610mm) BY 48" (1220 mm), MINIMUM THICKNESS OF 1" (25mm).

3. DRYVIT REINFORCING MESH

- STANDARD MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq/yd (154 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 200 lb/sq (900 N/2.54cm) WET.

2. PANZER 15 MESH: A TREATED GLASS FIBRE MESH THAT MUST WEIGH A MIN. OF 15 oz/sq.yd (509 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 700 lbs/in (1226 N/cm) OF WIDTH.

NOTE: WHEN PANZER 15 MESH IS USED, A LAYER OF STANDARD MESH MUST BE INSTALLED OVER THE PANZER 15.

3. MESH: A TREATED, GLASS FIBRE MESH THAT MUST WEIGH A MINIMUM OF 9.5 oz/sq.yd (320 kg/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 290 lbs/in (508 N/cm) OF WIDTH.

4. DETAIL MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq.yd (152 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 185 lb/sq (325 N/cm) OF WIDTH.

4. BASE COATING MATERIAL

- PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE TO PORT- LAND CEMENT.

5. TEXTURED FINISH

- LOOK ACRYLIC FINISHES WITH QUARTZ AGGREGATE, GATE, & DIRT PICK-UP RESISTANT TECHNOLOGY.

- QUARTZPUTS – CREATES A "RIILED" OR "SCRATCHED" PATTERN IN RANDOM OR REGULAR TEXTURE.
- SANDBLAST – A FINE POSITIVE "SAND" STYLE TEXTURE
- SANDBLEBBE – A DEEPER TEXTURED SAND STYLE FINISH
- SANDBLEBBE FINE – A FINE VERSION OF THE SANDBLEBBE TEXTURE.

NOTE: SOME COLOURS MAY REQUIRE THE USE OF DRYVIT COLOR PRIME.

6. PRIMERS

- COLOR PRIME: A WATER-BASED PIGMENTED ACRYLIC PRIMER.

2.3 EQUIPMENTS

- ALL MIXING SHALL BE DONE WITH A CLEAN CLEANBLAT AFTER MIXER NO. 153117H OR EQUIVALENT, POWERED BY A 1/2" (13mm) DRILL OR EQUIVALENT AT 400-500 RPM.
- A HIGH-SPEED WOOD ROUTER WITH PROPER A HOT KNIFE, OR HOT GROOVER.
- HAND OR POWER TOOLS ASSOCIATED WITH THE EIFS PLASTERING TRADE.

PART 3 – EXECUTION

3.1 INSPECTION

- PRIOR TO APPLICATION OF OUTSULATION, THE SUBSTRATE SHALL BE EXAMINED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND DRYVIT SYSTEMS CANADA SYSTEM SPECIFICATIONS (THIS DOCUMENT). THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE ADVISED OF ALL DISCREPANCIES. WORK SHALL NOT PROCEED UNTIL UNSATIS- FACTORY CONDITIONS ARE CORRECTED.

3.2 SYSTEM INSTALLATION

- REFER TO D5204 (INSTALLATION INSTRUCTIONS)
- INSTALLATION OF INSULATION BOARD

- ADHESIVE SHALL BE APPLIED VERTICALLY TO THE INSULATION BOARD USING A NOTCHED TROWEL FORMING RIBBONS OF NOT LESS THAN 3/8" (9.6mm) HIGH, 3/8" (9.6mm) WIDE, SPACED NO GREATER THAN 15" (376mm), (HORIZONTAL RIBBONS) OR 15" (376mm) VERTICALLY TO ALLOW FOR CONTINUOUS AIR SPACE/ DRAINAGE BETWEEN RIBBONS FROM TOP TO BOTTOM OF EIFS INSULATED AREA. FOL- LOWING ADEQUATE APPLICATION, BOARD SHALL IMMEDIATELY BE INSTALLED. NO ADHESIVE IS TO BE USED BETWEEN BOARD JOINTS AT ANY LOCATION

2. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE STARTING FROM THE BASE OF THE WALL WITH ITS LONG EDGE ORIENTED VERTICALLY, BEGINNING IN THE FIELD OF THE WALL AND WORKING OUTWARD TO OUTSIDE CORNERS. INSULATION BOARD JOINTS SHALL BE OFFSET FROM SHEDDING BOARD JOINTS A MINIMUM OF 8" (203 mm).

3. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE IN A RUNNING BOND PATTERN WITH OFFSET VERTICAL JOINTS.

4. CORNERS REQUIRE THE INSULATION BOARDS TO BE STAGGERED AND INTERLOCKED. REFER TO INSTALLATION DETAILS AND INSTRUCTIONS (D5107 AND D5204 RESPECTIVELY).

5. INSULATION BOARDS SHALL BE PRE-CUT TO FIT OPENINGS, CORNERS OR PROJECTIONS. BOARD JOINTS SHALL NOT COINCIDE WITH CORNERS OF WALL OPENINGS SUCH AS WINDOWS.

3. BASE COAT, REINFORCING MESH

- BASE COAT AND REINFORCING MESH SHALL BE APPLIED TO A MINIMUM DRY FILM THICKNESS OF 2.0 mm.
- JOINTS IN STANDARD MESHES SHALL BE OVER- LAPPED, BUT MUST BE FOLLOWED BY APPLICATION OF STANDARD MESH.

3. MESH COLOUR SHALL BE VISIBLE THROUGH BASE COAT APPLICATION. SLIGHT MESH PATTERN READ THROUGH IS PERMISSIBLE PROVIDED MINIMUM REQUIRED THICKNESS IS MAINTAINED.

4. FINISH COAT APPLICATION

- FINISH SHALL BE APPLIED IN A SEAMLESS AND CONTINUOUS METHOD UNTIL A NATURAL BREAK IN THE WALL IS REACHED.
- APPLICATION IN DIRECT SUNLIGHT IS TO BE AVOIDED.

3. IF COLORPRIME IS REQUIRED IS TO BE APPLIED AND ALLOWED TO FULLY DRY PRIOR TO THE APPLICATION OF REQUIRED FINISH.

4. APPLICATION OF FINISH SHOULD NOT PROCEED UNTIL ALL OTHER REQUIREMENTS OF THE COOL- UP WENT ARE AGREED TO BE SATISFACTORY.

3.3 PROTECTION

- ADJACENT MATERIALS AND THE OUTSULATION SHALL BE PROTECTED FROM THE WEATHER AND OTHER DAMAGE DURING INSTALLATION AND WHILE CURING.

SEALANTS (07900)

PART 1 – GENERAL

1.1 ENVIRONMENTAL CONDITIONS

- SEALANT AND SUBSTRATE MATERIALS TO BE MINIMUM 5° C.
- SHOULD BE BECOME NEARLY DRY. IF CURED, SURFACES BELOW 5° C. – CONSULT SEALANT MANUFACTURER AND FOLLOW THEIR RECOMMENDATIONS.

1.2 WARRANTY

- CONTRACTOR HEREBY WARRANTS THAT CAULKING WORK WILL NOT LEAK, CRACK, CRUMBLE, MELT, SHRINK, RUN, LOSE ADHESION, PASTE FILLER AND SAND UNIFORM FINISH IN ACCORDANCE WITH GENERAL CONDITIONS, BUT FOR THREE YEARS.

1.3 WORK INCLUDED

- WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- CAULKING AT ALL SIDES OF MIRRORS (FITTING ROOMS, COLUMNS & WASHROOMS), BENCHES, MILLWORK (KITCHEN, OFFICE & WASHROOM), COAT HOOK BOARDS, VINYL BASES, DOOR FRAMES, WATER CLOSETS AND WOOD CASINGS IN THE FITTING ROOM AREAS.

PART 2 – PRODUCTS

2.1 MATERIALS

- PRIMERS: NON-STAINING TYPE RECOMMENDED BY SEALANT MANUFACTURER.
- JOINT FILLERS
 - GENERAL: COMPATIBLE WITH PRIMERS AND SEALANTS, OUTSIZED 30 – 50K.
 - POLYETHYLENE, URETHANE, NEOPRENE OR VINYL: EXTRUDED CLOSED CELL FOAM, EXPOSED TO A HARDNESS 20, TENSILE STRENGTH 140 TO 200 KPA.
 - NEOPRENE OR BUTYL RUBBER: ROUND SOLID ROD, SHORE HARDNESS 70.
 - POLYVINYL CHLORIDE OR NEOPRENE: EXTRUDED TUBING WITH 6 MM MINIMUM THICK WALLS.

- BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE, WHICH WILL NOT BOND TO SEALANTS.

SEALANTS (07900) CONT.

2.1 MATERIALS

4. SEALANTS

- SEALANTS ACCEPTABLE FOR USE ON THIS PROJECT MUST BE LISTED ON CQSB QUALIFIED PRODUCTS LIST ISSUED BY CQSB (QUALIFICATION BOARD FOR JOINT SEALANTS). WHERE SEALANTS ARE QUALIFIED WITH PRIMERS USE ONLY THESE PRIMERS.

- SEALANTS FOR VERTICAL AND HORIZONTAL NON-TRAFFIC BEARING JOINTS TO TABLE 1, CAN/CQSB-19.2-GP-23, OR LATEST EDITION.

- NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 10%.
- NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%.
- NORMAL TEMPERATURE, WET CONDITIONS MOVEMENT RANGE TO 25%.

- LOW TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%.
- LOW TEMPERATURE RANGE, WET CONDITIONS, MOVEMENT RANGE TO 25%.

- SEALANTS FOR HORIZONTAL TRAFFIC BEARING JOINTS, TO TABLE 1, CQSB-19.2-GP-23.

- NORMAL TEMPERATURE RANGE, DRY OR WET CONDITIONS, MOVEMENT RANGE TO 25%.

- COLOR OF SEALANTS: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD RANGE. COLOURS TO MATCH AS CLOSE AS POSSIBLE TO ADJACENT MATERIALS: WHITE AT WHITE PAINTED WALLS AND SEALWALL, GRAY AT GRAY VINYL, BASES, CLEAR AT MIRRORS ETC.

- JOINT CLEANER: VINYL, METHYLENE DICHLORIDE OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT MANUFACTURER AND COMPATIBLE WITH JOINT FORMING MATERIALS.

- VENT TUBING: 6 MM INSIDE DIAMETER EXTRUDED POLYVINYL CHLORIDE TUBING.

PART 3 – EXECUTION

3.1 PREPARATION

- REMOVE DUST, PAINT, LOOSE MORTAR AND OTHER FOREIGN MATTER. DRY JOINT SURFACES.
- REMOVE ALL GREASE AND COATINGS FROM FERROUS METALS BY WIRE BRUSH, GRINDING OR SANDBLASTING.

- REMOVE OIL, GREASE AND OTHER COATINGS FROM NON-FERROUS METALS WITH JOINT CLEANER.
- PREPARE CONCRETE, MASONRY, GLAZED AND VITREOUS SURFACES TO ACCEPT SEALANT.

- EXAMINE JOINT SIZES AND CORRECT TO ACHIEVE DEPTH RATIO OF 8:1 JOINT WIDTH WITH MINIMUM WIDTH AND DEPTH OF 6 MM. MAXIMUM WIDTH 25 MM.
- INSTALL JOINT FILLER TO DEPTH OF JOINT.

- WHERE NECESSARY TO PREVENT STAINING, MASK ADJACENT SURFACES PRIOR TO PRIMING AND CAULKING.
- APPLY BOND BREAKER TAPE, WHERE REQUIRED TO MANUFACTURER'S INSTRUCTIONS.

- PRIME SIDES OF JOINTS IN ACCORDANCE WITH SEALANT MANUFACTURER'S INSTRUCTION IMMEDIATELY PRIOR TO CAULKING.

3.2 APPLICATION

- APPLY SEALANTS, PRIMERS, JOINT FILLERS, BOND BREAKERS TO MANUFACTURER'S INSTRUCTIONS. APPLY SEALANT-USING GUN WITH PROPER SIZE NOZZLE. USE SUFFICIENT PRESSURE TO FILL VOIDS AND JOINTS SLOW. SUPERFICIAL POINTING WITH SON BEAD IS NOT ACCEPTABLE.

- FORM SURFACE OF SEALANT WITH FULL BEAD, SMOOTH, FREE FROM RIDGES, WRINKLES, SAGS, AIR POCKETS, EMBEDDED IMPURITIES. NEATLY TOOL SURFACE TO A SLIGHT CONCAVE JOINT.

- APPLY SEALANT TO JOINTS BETWEEN WINDOW OR DOOR FRAMES TO ADJACENT BUILDING COMPONENTS, AROUND PERIMETER OF EVERY EXTERNAL OPENING, TO CONTROL JOINTS IN MASONRY WALLS AND CONCRETE SLABS AND WHERE INDICATED.

- IN MASONRY CAVITY CONSTRUCTION JOINTS CAULKED JOINTS FROM CAVITY TO JOINT BEYOND EXTERNAL JOINT AND MAXIMUM OF 1500 MM C/C VERTICALLY. POSITION TUBE TO DRAIN TO EXTERIOR.

- SEALANT ADJACENT SURFACES IMMEDIATELY AND LEAVE WORK NEAT AND CLEAN. REMOVE EXCESS SEALANT AND DROPPINGS USING RECOMMENDED CLEANERS AS WORK PROGRESSES. REMOVE MASKING AFTER TOOLING OF JOINTS.

STEEL DOORS AND FRAMES (08111)

PART 1 – GENERAL

1.1 QUALITY ASSURANCE

- MANUFACTURER DOOR FRAME COMPONENTS TO MINIMUM REQUIREMENTS OF CANADIAN STEEL DOOR AND FRAME MANUFACTURER'S ASSOCIATION (CSDMA) CANADIAN MANUFACTURING STANDARDS FOR STEEL DOORS AND FRAMES; AND OTHER COMPONENTS TO BE USED WITH THE INSULATING GLASS UNITS, WHERE DEGRADATION OR OTHER DAMAGE WOULD OCCUR TO THE EXPOSED EDGE OF GLASS AS A RESULT OF CONTACT THEREWITH.

- MANUFACTURER FINE RATED ASSEMBLIES TO REQUIREMENTS OF NFPA BULLETIN NO. 80, FIRE DOORS AND WINDOWS, AND LABELING AND SPECIFICATIONS FOR CANADIAN STEEL DOORS AND FRAMES.

- MANUFACTURER FINE RATED ASSEMBLIES TO REQUIREMENTS OF NFPA BULLETIN NO. 80, FIRE DOORS AND WINDOWS, AND LABELING AND SPECIFICATIONS FOR CANADIAN STEEL DOORS AND FRAMES.

- MANUFACTURER FINE RATED ASSEMBLIES TO

GENERAL NOTES

CEILING SUSPENSION SYSTEM (09130)

PART 2 – PRODUCTS

2.1 MATERIALS

1. EXPOSED TEE BAR GRID COMPONENTS: SHOP PAINTED SATIN SHEEN WHITE. COMPONENTS DIE CUT. TEE WITH DUAL END CAP ON EXPOSED FACE. CROSS TEE WITH RECTANGULAR BLUE WEB EXTENDED TO FORM POSITIVE INTERLOCK WITH MAIN TEE WEBS. LOWER FLANGE EXTENDED OFFSET TO PROVIDE FLUSH INTERLOCKING.
2. HANGER WIRE: GALVANIZED SOFT ANNEALED STEEL, WIRE 2.6 MM DIAMETER.
3. HANGER INSERTS: PURPOSE MADE.
4. ACCESSORIES: SPICES, CLIPS, WIRE TIES, RETAINERS AND WALL MOUNTING FLUSH, TO COMPLEMENT SUSPENSION SYSTEM COMPONENTS, AS RECOMMENDED BY SYSTEM MANUFACTURER.

2.2 PRODUCT STANDARD

1. PRELUDE 15/16" SYSTEMS BY ARMSTRONG. COLOUR – WHITE.

2.3 SPECIALTY CEILINGS

1. SUPPLY AND INSTALL SPECIALTY CEILING GRIDS IF INDICATED ON DRAWINGS. INSTALL IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.

PART 3 – EXECUTION

3.1 INSTALLATION

1. INSTALL SUSPENSION SYSTEM TO MANUFACTURER'S INSTRUCTIONS.
2. DO NOT DIRECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN REVIEWED BY CONSULTANT.
3. SECURE HANGERS TO OVERHEAD STRUCTURE USING ATTACHMENT METHODS ACCEPTABLE TO CONSULTANT.
4. INSTALL HANGERS SPACED AT MAXIMUM 1200 MM CENTERS AND WITHIN 150 MM FROM ENDS OF MAIN TEES.
5. UNLESS DIMENSIONS SPECIFIED ON DRAWINGS: LAY OUT CENTRE LINE OF CEILING BOTH WAYS, TO PROVIDE BALANCED BORDERS AT ROOM PERIMETER WITH BORDER UNITS NOT LESS THAN 50% OF STANDARD UNIT WIDTH.
6. ENSURE SUSPENSION SYSTEMS ARE CO-ORDINATED WITH LOCATION OF RELATED COMPONENTS.
7. INSTALL WALL MOUNTED TO PROVIDE CORRECT CEILING HEIGHT.
8. COMPLETE SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, DIFFUSERS GRILLES AND SPEAKERS.
9. SUPPORT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150MM OF EACH CORNER AND AT MAXIMUM 600 MM AROUND PERIMETER OF CEILING.
10. INTERLOCK CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY.
11. FRAME AT OPENINGS FOR LIGHT FIXTURES, AIR DIFFUSERS, SPEAKERS AND AT CHANGES IN CEILING HEIGHTS.
12. FINISHED CEILING SYSTEM TO BE SQUARE WITH ADDJONING WALLS AND LEVEL WITHIN 1:1000.

3.2 – EXPANSION JOINTS

1. ERECT TWO MAIN RUNNERS PARALLEL, 25 MM APART, ON BUILDING EXPANSION JOINT LINE WHERE APPLICABLE. LAY IN STRIP OF ACQUSTIC TILE/BOARD, PAINTED BLACK, 25% NARROWER THAN SPACE BETWEEN 2" T-BARS.

3.3 – CLEANING

1. TOUCH UP SCRATCHES, ABRASIONS, VOIDS AND OTHER DEFECTS IN PAINTED SURFACES.

GYPSUM WALL BOARD (09250)

PART 1 – GENERAL

1.1 REFERENCE STANDARDS

1. DO WORK IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

PART 2 – PRODUCTS

2.1 GYPSUM BOARD

1. PLAIN: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD AND TYPE X 16MM (5/8") THICK AS NOTED, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT, EDGES TAPERED.
2. WATER RESISTANT BOARD: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD 16MM THICK, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH.

2.2 METAL FURRING AND SUSPENSION SYSTEMS

1. METAL FURRING RUNNERS, HANGERS, TIE WIRE INSISTS, ANCHORS: ASTM C1396/1396M-02, OR LATEST EDITION.
2. DRYWALL FURRING CHANNELS: 015 MM CORE THICKNESS GALVANIZED STEEL CHANNELS FOR SCREW ATTACHMENT OF GYPSUM BOARD.

2.3 FASTENINGS AND ADHESIVES

1. NAILS, SCREWS AND STAPLES: TO ASTM C1396/1396M-02 OR LATEST EDITION.
2. STUD ADHESIVE: TO CGSB 71-07-28M, OR LATEST EDITION.
3. LAMINATING COMPOUND: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE.

2.5 ACCESSORIES

1. CASING BEADS, CORNER BEADS FILL TYPE: 0.5 MM BEAD THICKNESS COMMERCIAL GRADE SHEET STEEL WITH 2275 ZINC ENWISH TO ASTM A653/A653M-00 OR LATEST EDITION, PERFORATED FLANGES, ONE PIECE LENGTH PER LOCATION.
2. ACQUSTIC SEALANT: TO STORAGE 15-21M OR LATEST EDITION.
3. POLYETHYLENE: TO CAN/CGSB-54-34-M90, OR LATEST EDITION, TYPE 2.
4. INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT, 3 MM THICK CLOSED CELL NEOPRENE STRIP, 12 MM WIDE, WITH SELF STICKING PERMANENT ADHESIVE ON ONE FACE, LENGTHS AS REQUIRED.
5. JOINT COMPOUNDS: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE.

PART 3 – EXECUTION

3.1 SUSPENDED AND FURRED CEILINGS

1. ERECT HANGERS AND RUNNER CHANNELS FOR SUSPENDED GYPSUM BOARD CEILINGS IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.
2. SUPPORT LIGHT FIXTURES BY PROVIDING ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150 MM OF EACH CORNER AND AT A MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE.
3. INSTALL WORK LEVEL TO TOLERANCE OF ±1:100.
4. FRAME WITH FURRING CHANNELS, PERIMETER OF OPENINGS FOR ACCESS PANELS, LIGHT FIXTURES, DIFFUSERS, AND GRILLES.
5. INSTALL 1X 65 MM FURRING CHANNELS PARALLEL TO, AND AT EXACT LOCATIONS OF STEEL STUD PARTITION HEADER TRACK.

3.2 CEILING BULKHEADS

1. FURR FOR GYPSUM BOARD FACED VERTICAL BULKHEADS WITHIN AND AT TERMINATION CEILINGS.
2. FURR ABOVE SUSPENDED CEILINGS FOR GYPSUM BOARD FIRE AND SOUND STOPS AND TO FORM PLenum AREAS AS INDICATED.

3.3 WALL FURRING

1. INSTALL WALL FURRING FOR GYPSUM BOARD WALL FINISHES IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.
2. FURR OPENINGS AND AROUND BUILT-IN EQUIPMENT, CABINETS, ACCESS PANELS, ETC., ON FOUR SIDES. EXTEND FURRING TO REVEALS. CHECK CLEANLINESS WITH EQUIPMENT SUPPLIER.
3. FURR DUCT SHAFTS, BEAMS, COLUMNS, PIPES AND EXPOSED SERVICES WHERE INDICATED.

3.4 GYPSUM BOARD APPLICATION

1. DO NOT APPLY GYPSUM BOARD UNTIL BUCKS, ANCHORS, BLOODING, ELECTRICAL AND MECHANICAL WORK IS APPROVED.
2. APPLY SINGLE LAYER GYPSUM BOARD TO METAL FURRING OR FRAMING USING SCREW FASTENERS.
3. APPLY WATER RESISTANT GYPSUM BOARD WHERE WALL TILES ARE TO BE APPLIED AND ADJACENT TO SLOP SINKS AND WATERS-CLOSETS. APPLY WATER-RESISTANT SEALANT TO EDGES, ENDS, CUTOUTS THAT EXPOSE GYPSUM CORE TO FASTENER HEADS. DO NOT APPLY JOINT TREATMENT ON AREAS TO RECEIVE THE FINISH.
4. APPLY 12 MM DIAMETER BEAD OF ACQUSTIC SEALANT CONTINUOUSLY AROUND PERIPHERY OF EACH FACE OF PARTITIONING TO SEAL GYPSUM BOARD/STRUCTURE JUNCTION WHERE PARTITIONS ADJUT FIXED BUILDING COMPONENTS. SEAL FULL PERIMETER OF CUTOUTS AROUND ELECTRICAL BOXES, DUCTS, IN PARTITIONS WHERE PERIMETER SEALED WITH ACQUSTIC SEALANT.

3.5 FIRE RATED ASSEMBLIES

1. CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE.
2. ASSEMBLIES SHALL COMPLY WITH PUBLISHED ULC APPROVED ASSEMBLIES.

3.6 ACCESSORIES

1. ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL-LENGTH PIECES WHERE PRACTICAL. MAKE JOINTS TIGHT, ACCURATELY ALIGNED AND RIGIDLY SECURED. WIRE AND FIT CORNERS ACCURATELY, FREE FROM ROUGH EDGES. SECURE AT 150 MM OC. USING CONTACT ADHESIVE FOR FULL LENGTH. USE 200 X 10MM AND 10 MM WHERE APPROPRIATE.
2. INSTALL CASING BEADS AROUND PERIMETER OF SUSPENDED CEILINGS.
3. INSTALL CASING BEADS WHERE GYPSUM BOARD BUTTS AGAINST SURFACES HAVING NO TRIM-CONCEALING JUNCTION AND WHERE INDICATED. SEAL JOINTS WITH SEALANT.
4. INSTALL INSULATING STRIPS CONTINUOUSLY AT EDGES OF GYPSUM BOARD AND CASING BEADS ADJUTING METAL WINDOW AND EXTERIOR DOORFRAMES, TO PROVIDE THERMAL BREAK.

3.7 CONTROL JOINTS

1. CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE.
2. PROVIDE CONTINUOUS POLYETHYLENE DUST BARRIER BEHIND AND ACROSS CONTROL JOINTS.
3. ISOLATE CONTROL JOINTS FROM EXTERIOR CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING A MINIMUM AT APPROXIMATE 10 M SPACING ON LONG CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING IN PARTITIONS. LOCATION OF JOINTS TO BE APPROVED BY CONSULTANT.
4. INSTALL CONTROL JOINTS STRAIGHT AND TRUE.

3.8 EXPANSION JOINTS

1. CONSTRUCT EXPANSION JOINTS AS DETAILED AT BUILDING EXPANSION AND CONSTRUCTION JOINTS. PROVIDE CONTINUOUS DUST BARRIER.

3.9 ACCESS DOORS

1. INSTALL ACCESS DOORS TO ELECTRICAL AND MECHANICAL FIXTURES SPECIFIED IN RESPECTIVE SECTIONS.
2. RIGIDLY SECURE FRAMES TO FURRING OR FRAMING SYSTEMS.

3.10 TAPING AND FILLING

1. FINISH FACE PLUMB, JOINTS AND INTERNAL ANGLES WITH JOINT SYSTEM CONSISTING OF JOINTS COMPOUND, JOINT TAPE AND TAPING COMPOUND. INSTALLATION TO MANUFACTURER'S DIRECTIONS AND FEATHERED OUT ONTO PANEL FACES.
2. FILL CORNER BEADS, CONTRAINTS AND TRIM AS REQUIRED WITH TWO COATS OF JOINT COMPOUND AND ONE COAT OF TAPING COMPOUND, FEATHERED OUT ONTO PANEL FACES.
3. FILL JOINTS WITH JOINT COMPOUND AND TAPING COMPOUND TO BRING FLUSH WITH ADJACENT SURFACE OF GYPSUM BOARD SO AS TO BE INVISIBLE AFTER SURFACE FINISH IS COMPLETE.
4. SAND LIGHTLY TO REMOVE BURRED EDGES AND OTHER IMPERFECTIONS. AVOID SANDING ADJACENT SURFACE OF BOARD.
5. COMPLETED INSTALLATIONS TO BE SMOOTH, LEVEL OR PLUMB, FREE FROM WAVES AND OTHER DEFECTS AND READY FOR SURFACE FINISH.

ACOUSTIC TILE CEILINGS (09511)

PART 1 – GENERAL

1.1 ENVIRONMENTAL CONDITIONS

1. PERMIT WORK TO DRY BEFORE COMMENCEMENT OF INSTALLATION.
2. MAINTAIN UNIFORM MINIMUM TEMPERATURE OF 15°C AND HUMIDITY OF 20-40% BEFORE AND DURING INSTALLATION.
3. STORE MATERIALS IN WORK AREAS 48 HOURS PRIOR TO INSTALLATION.

1.2 MAINTENANCE MATERIALS

1. PROVIDE ACQUSTICAL UNITS AMOUNTING TO 3% OF GROSS CEILING AREA TO NEAREST FULL CARTON FOR EACH PATTERN AND TYPE REQUIRED FOR PROJECT.

PART 2 – PRODUCTS

2.1 MATERIALS

1. GENERALLY: ACQUSTIC UNITS FOR SUSPENDED CEILING SYSTEM: TO CAN2-92-1.M, OR LATEST EDITION, STANDARD OF ACCEPTANCE.
2. ARMSTRONG FINE FISURED CEILING TILES #729 (24" X 48") WITH HUMIGUARD PLUS AND BIO-BLOCK PERFORMANCE. ULC CERT. NO. 555.

PART 2 – EXECUTION

3.1 INSTALLATION

1. DO NOT INSTALL ACQUSTICAL PANELS AND TILES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.
2. COORDINATE CEILING WORK TO ACCOMMODATE COMPONENTS OF OTHER SECTIONS, SUCH AS LIGHT FIXTURES, DIFFUSERS, SPEAKERS AND SPRINKLER HEADS THAT ARE TO BE BUILT INTO ACQUSTICAL CEILING COMPONENTS.

3.2 SUSPENSION SYSTEM

1. INSTALL ACQUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
2. INSTALL ACQUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH WITH DIRECTIONAL PATTERN FINISHING IN SAME DIRECTION UNLESS OTHERWISE NOTED.
3. COORDINATE ACQUSTIC UNITS TO FIT ADJACENT WORK. BUT JOINTS TIGHT, TERMINATE EDGES WITH MOUNTING.
4. PROVIDE CLIP DOWN FASTENERS WITHIN FIRST 10' OF CEILING ADJACENT TO EXTERIOR VESTIBULES AND TO A 15' DISTANCE AWAY FROM EXTERIOR DOORS WITHOUT VESTIBULES. THIS IS TO ELIMINATE WIND LIFTING.

PAINTING (09900)

PART 1 – GENERAL

1.1 DESCRIPTION

1. SECTION INCLUDES: ALL LABOUR, MATERIALS, TOOLS AND OTHER EQUIPMENT, SERVICES AND SUPERVISION REQUIRED TO COMPLETE ALL EXTERIOR AND INTERIOR PAINTING AND DECORATING WORK AS INDICATED ON FINISH SCHEDULES AND TO THE FULL EXTENT OF THE DRAWINGS AND SPECIFICATIONS.
2. WORK UNDER THIS CONTRACT SHALL ALSO INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:
 - A. SURFACE PREPARATION OF SUBSTRATES AS REQUIRED FOR ACCEPTANCE OF PAINTING, INCLUDING CLEANING, SHALL, CRACK REPAIR, FATTING, CAULKING AND MAKING GOOD SURFACES AND AREAS TO THE LIMITED DEFINED UPPER MP PREPARATION REQUIREMENTS.
 - B. SURFACE PREPARATION AND PRIME PAINTING SURFACES TO BE PAINTED PRIOR TO INSTALLATION IN ACCORDANCE WITH MP1 AND WALL COVERING MANUFACTURER'S REQUIREMENTS.
 - C. PRIMING (EXCEPT WHERE PRE-PRIMED WITH AN APPROVED PRIMER UNDER OTHER SECTIONS OF WORK) AND PAINTING OF STRUCTURAL STEEL, MISCELLANEOUS METAL, AND ORNAMENTAL METAL AND PRIME STEEL EQUIPMENT.
 - D. PAINTING OF EXPOSED TO VIEW MECHANICAL (HEATING, VENTILATING AND PLUMBING) SERVICES AND EQUIPMENT, E.G. DUCTS, SPRINKLER PIPING ETC., AND ELECTRICAL WORK TO EXTENT NOTED ON FINISH SCHEDULE UNLESS PRE-FINISHED.
 - E. PROVISION OF SAFE AND ADEQUATE VENTILATION AS REQUIRED UNDER AND ABOVE TEMPORARY VENTILATION SUPPLIED BY OTHERS, WHERE TOXIC AND/OR VOLATILE/FLAMMABLE MATERIALS ARE BEING USED.

1.2 REFERENCES

1. THE LATEST EDITION OF THE FOLLOWING REFERENCE STANDARDS SHALL GOVERN ALL PAINTING WORK:
 - A. ARCHITECTURAL PAINTING SPECIFICATIONS MANUAL (MP1) INCLUDING IDENTIFIERS, EVALUATION, SYSTEMS, PREPARATION AND APPROVED LIT.
 - B. TEST METHOD FOR MEASURING TOTAL VOLATILE ORGANIC COMPOUND CONTENT OF CONSUMER PRODUCTS, METHOD 24 (FOR SURFACE COATINGS) ON THE ENVIRONMENTAL PROTECTION AGENCY (EPA).
 - C. NATIONAL FIRE CODE OF CANADA.

1.3 REGULATORY REQUIREMENTS

1. CONFORM TO THE LATEST EDITION OF INDUSTRIAL HEALTH AND SAFETY REGULATIONS ISSUED BY APPLICABLE AUTHORITIES HAVING JURISDICTION IN REGARD TO SITE SAFETY (LADDERS, SCAFFOLDING, VENTILATION ETC.)
2. CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION IN REGARD TO THE STORAGE, MIXING, APPLICATION AND DISPOSAL OF ALL PAINT AND RELATED WASTE MATERIALS. REFER TO WASTE MANAGEMENT AND DISPOSAL.

1.4 PRODUCT DELIVERY, STORAGE AND HANDLING

1. DELIVER ALL PAINTING MATERIALS IN SEALED, ORIGINAL LABELED CONTAINERS BEARING MANUFACTURER'S NAME, BRAND NAME, TYPE OF PAINTING OR COATING AND COLOUR DESIGNATION.
2. MAINTAIN COMPLIANCE MATERIALS CONTACT AS WELL AS MIXING AND/OR REDUCTION AND APPLICATION REQUIREMENTS.
3. STORE ALL PAINT MATERIALS IN ORIGINAL LABELED CONTAINERS IN A SECURE, DRY, HEATED AND WELL VENTILATED SIGNED DESIGNATED AREA MEETING THE MINIMUM REQUIREMENTS OF THE PAINT MANUFACTURING AND (MP1) AND AT A MINIMUM AMBIENT TEMPERATURE OF 45° (7° C).
4. ONLY MATERIAL USED ON THIS PROJECT TO BE STORED ON SITE.
5. TAKE ALL NECESSARY PRECAUTIONARY AND SAFETY MEASURES TO PREVENT FIRE HAZARD AND SPONTANEOUS COMBUSTION AND TO PROTECT THE ENVIRONMENT FROM HAZARDOUS SITES.

1.5 PROJECT/SITE REQUIREMENTS

1. PERFORM NO PAINTING OR DECORATING WORK WHEN THE AMBIENT AIR AND SUBSTRATE TEMPERATURES ARE BELOW 50° (10° C) BOTH INTERIOR AND EXTERIOR WORK.
2. WHERE REQUIRED, SUITABLE WEATHERPROOF COVERING AND SUFFICIENT HEATING FACILITIES SHALL BE IN PLACE TO MAINTAIN MINIMUM AMBIENT AIR AND SUBSTRATE TEMPERATURES FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION.
3. PERFORM NO INTERIOR PAINTING OR DECORATING WORK UNLESS ADEQUATE CONTINUOUS VENTILATION AND SUFFICIENT HEATING FACILITIES ARE IN PLACE TO MAINTAIN AMBIENT AIR AND SUBSTRATE TEMPERATURES ABOVE MINIMUM REQUIREMENTS FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION. PROVIDE PROPER VENTILATION AND HEATING TO METAL, AMBIENT METAL AND HEATING FROM EXISTING SYSTEM IS INADEQUATE TO MEET MINIMUM REQUIREMENTS.
4. PERFORM NO PAINTING OR DECORATING WORK WHEN THE MAXIMUM MOISTURE CONTENT OF THE SUBSTRATE EXCEEDS:
 - A. 15% FOR CONCRETE AND MASONRY (CLAY AND CONCRETE BRICK/BLOCK)
 - B. 15% FOR WOOD
 - C. 2% FOR PLASTER AND GYPSUM BOARD
5. PERFORM NO PAINTING OR DECORATING WORK THE RELATIVE HUMIDITY IS ABOVE 85% OR WHEN THE DEW POINT IS LESS THAN 2° (3°C) VARIANCE BETWEEN THE AIR/SURFACE TEMPERATURES.
6. CONDUCT ALL MOISTURE TESTS USING A PROPERLY CALIBRATED ELECTRONIC MOISTURE METER, EXCEPT TEST CONCRETE FLOORS FOR MOISTURE USING A SURFACE COVER PATCH TEST.
7. TEST CONCRETE, MASONRY AND PLASTER SURFACES FOR ALKALINITY AS REQUIRED.
8. DO NOT APPLY PAINT ON ANY FLOORS THAT HAVE RECEIVED ADEQUATE SELF-LEVELLING PRODUCT.

- NOTE: CONCRETE AND MASONRY SURFACES MUST BE INSTALLED AT LEAST 28 DAYS PRIOR TO PAINTING AND DECORATING WORK AND MUST BE VISUALLY DRY ON BOTH SIDES.

8. APPLY PAINT ONLY TO DRY, CLEAN, PROPERLY CURED AND ADEQUATELY PREPARED SURFACES IN AREAS WHERE DUST IS NO LONGER GENERATED BY CONSTRUCTION ACTIVITIES SUCH THAT AIRBORNE PARTICLES WILL NOT AFFECT THE QUALITY OF FINISHED SURFACES.
9. PERFORM NO PAINTING OR DECORATING WORK UNLESS A MINIMUM LIGHTING LEVEL OF (30 FOOT CANDLES) IS PROVIDED TO SURFACE TO BE PAINTED OR DECORATED. ADEQUATE LIGHTING FACILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

1.6 MAINTENANCE MATERIALS

1. AT PROJECT COMPLETION PROVIDE 4 LITRES (1 GALLON) OF EACH TYPE AND COLOUR OF PAINT FROM SAME PRODUCTION RUN (BATCH NO) USED IN OPENED CANS. FULL UNOPENED CANS OF SURPLUS PAINT, PROPERLY LABELED AND IDENTIFIED FOR TENANT'S LATER USE IN MAINTENANCE.

1.7 WASTE MANAGEMENT AND DISPOSAL

1. PAINT, STAIN AND WOOD PRESERVATIVE FINISHES AND RELATED MATERIALS, (THINNERS, SOLVENTS, ETC.) ARE REGARDED AS HAZARDOUS PRODUCTS AND ARE SUBJECT TO REGULATIONS FOR DISPOSAL. OBTAIN INFORMATION OF THESE CONTROLS FROM APPLICABLE LOCAL GOVERNMENT DEPT. HAVING JURISDICTION.
2. ALL WASTE MATERIALS SHALL BE SEPARATED AND RECYCLED. WHERE PAINT RECYCLING IS AVAILABLE, COLLECT WASTE PAINT BY TYPE AND PROVIDE FOR DELIVERY TO RECYCLING OR COLLECTION FACILITY.

1.8 GUARANTEE

1. FURNISH TWO (2) YEAR GUARANTEE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. QUALIFIED PAINTING PRODUCTS: PAINT PRODUCTS TENANT – NO ALTERNATES UNLESS APPROVED OR SPECIFIED BY TENANT.
2. OTHER MATERIALS SUCH AS UNSEED OIL, SHELLAC, THINNERS, SOLVENTS ETC. SHALL BE THE HIGH QUALITY PRODUCT AND SHALL BE COMPATIBLE WITH PAINT MATERIALS BEING USED.
3. PAINT MATERIALS: TO (MP1) STANDARDS.
4. PAINT MATERIALS FOR EACH COATING FORMULATE TO BE PRODUCTS OF A SINGLE MANUFACTURER.

2.2 EQUIPMENT:

1. PAINTING AND DECORATING EQUIPMENT: TO BEST TRADE STANDARDS FOR TYPE OF PRODUCT AND APPLICATION.
- 2.1 MIXING AND TINTING:
 - 1. UNLESS OTHERWISE SPECIFIED HEREIN OR PRE-APPROVED, ALL PAINT SHALL BE READY-MIXED AND PRE-MIXED. RE-MIX ALL PAINT IN CONTAINERS PRIOR TO AND DURING APPLICATION TO ENSURE BREAK UP OF LUMPS, COMPLETE DISPERSION OF SETTLED PIGMENT, AND COLOUR AND GLOSS UNIFORMITY.
 - 2. WHERE THINNER IS USED, ADDITION SHALL NOT EXCEED PAINT MANUFACTURER'S RECOMMENDATIONS. DO NOT USE KEROSENE OR ANY SUCH ORGANIC SOLVENTS TO THIN WATER-BASED PAINTS.
 - 3. IF REQUIRED, THIN PAINT FOR SPRAYING ACCORDING TO STRICT ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. IF DIRECTIONS ARE NOT ON CONTAINER, OBTAIN INSTRUCTION IN WRITING FROM MANUFACTURER.
- 2.4 FINISH AND COLOURS:
 - 1. REFER TO FINISH SCHEDULE FOR IDENTIFICATION AND LOCATION OF COLOURS.

PART 3 – EXECUTION

3.1 PREPARATION OF SURFACES

1. PREPARE ALL SURFACES IN ACCORDANCE WITH (MP1) REQUIREMENTS. REFER TO MP1 PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - A. WOOD SURFACES:
 - 1. USE CGSB 1-6P-128M (OR LATEST EDITION) VINYL SEALER OVER KNOTS AND RESINOUS AREAS.
 - 2. SPLIT WOOD FILLER TO FILL HOLES AND CRACKS.
 - 3. TINT FILLER TO MATCH STAINS FOR STAINED WOODWORK.
 - 4. TOUCH UP PAINT PRIMER ON.
 - B. MASONRY, STUCCO AND CONCRETE SURFACES:
 - 1. GALVANIZED STEEL AND ZINC AND CONCRETE SURFACES.
 - 2. CONCRETE FLOORS.
 - 3. PLASTER AND WALLBOARD SURFACES. FILL MINOR CRACKS WITH PLASTER PATCHING COMPOUND.
 - 4. COPPER PIPING AND ACCESSORIES.
 - C. SAND, CLEAN, DRY, ETC. NEUTRALIZE AND/OR TEST ALL SURFACES UNDER ADEQUATE ILLUMINATION, VENTILATION AND TEMPERATURE REQUIREMENTS.

PAINTING (09900) CONT.

3.1 PREPARATION OF SURFACES

1. REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENERS (E.G. ELECTRICAL PLATES, MECHANICAL LOUVERS, DOOR AND WINDOW HARDWARE (E.G. HINGES, KNOBS, LOCKS, TRIM, FRAME STOPS), REMOVABLE RATING/HAZARD/INSTRUCTION LABELS, WASHROOM ACCESSORIES, LIGHT FIXTURE TRIM, ETC. FROM WALLS AND CEILING SURFACES, DOORS AND FRAMES, PRIOR TO PAINTING. CAREFULLY CLEAN REPLACE ALL SUCH ITEMS UPON COMPLETION OF PAINTING WORK IN EACH AREA. DO NOT USE SOLVENTS OR REACTIVE CLEANING AGENTS ON ITEMS THAT WILL WAX OR REMOVE FINISHES.
2. PROTECT ALL ADJACENT INTERIOR SURFACES AND AREAS, INCLUDING RATING AND INSTRUCTION LABELS ON DOORS, FRAMES, EQUIPMENT, PIPING ETC. FROM PAINTING OPERATIONS AND DAMAGE BY DROP CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY DAMAGE CAUSED BY FAILURE TO PROTECT.
3. SUBSTRATE DEFECTS SHALL BE MADE GOOD AND SANDED BY OTHERS READING FOR PAINTING. PARTICULARLY AFTER EACH COAT OF PAINT. START OF FINISHING PAINTING OF DEFECTIVE SURFACES (E.G. GYPSUM BOARD) SHALL INDICATE ACCEPTANCE OF SUBSTRATE AND ANY COSTS OF MAKING GOOD DEFECTS SHALL BE BORNE BY THE PAINTER INCLUDING RE-PAINING OF ENTIRE DEFECTIVE SURFACE (NO TOUCH-UP PAINTING).

3.2 APPLICATION

1. DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER TRADE WORK) ARE ACCEPTABLE FOR APPLICATION OF PRODUCTS.
2. APPLY PAINT OR STAIN IN ACCORDANCE WITH (MP1) FINISH REQUIREMENTS.
3. APPLY PAINT AND DECORATING IN A WORKMANLIKE MANNER USING SHIELDED AND TRADE QUALIFIED APPLICATORS AS NOTED UNDER QUALITY ASSURANCE.
4. UNLESS OTHERWISE APPROVED BY TENANT, APPLY A MINIMUM OF THREE (3) COATS OF PAINT WHERE DRY OR BRIGHT COLOURS ARE USED TO ACHIEVE SATISFACTORY RESULTS.
5. SAND AND DUST BETWEEN EACH COAT TO PROVIDE AN ANCHOR FOR THE NEXT COAT TO REMOVE DEFECTS VISIBLE FROM A DISTANCE UP TO 1000M (33').
6. DO NOT APPLY FINISHES ON SURFACES THAT ARE NOT SUFFICIENTLY DRY. UNLESS MANUFACTURER'S DIRECTIONS STATE OTHERWISE, EACH COAT SHALL BE SUFFICIENTLY DRY AND HARD BEFORE A FOLLOWING COAT IS APPLIED.
7. PAINT FINISH SHALL CONTINUE THROUGH BEHIND ALL WALL-MOUNTED ITEMS (CORDBOARDS, SLATWALL IN OFFICES AND WAREHOUSES ETC.)

3.3 MECHANICAL AND ELECTRICAL EQUIPMENT

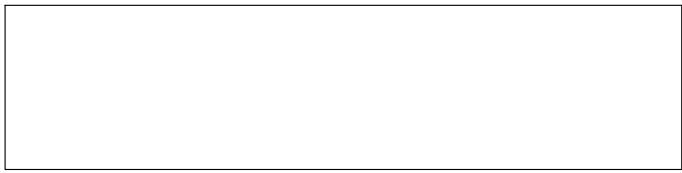
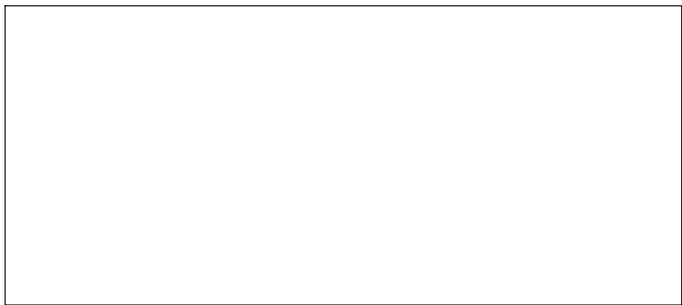
- NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MP1) REQUIREMENTS. REFER TO MP1 PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - 1. PAINT EXPOSED CONDUITS, PIPES, HANGERS AND OTHER MECHANICAL AND ELECTRICAL EQUIPMENT OCCURRING IN FINISHED AREAS AS WELL AS INSIDE GYPSOBOARDS AND CABINETWORK. COLOUR AND TEXTURE TO MATCH ADJACENT SURFACES, UNLESS AS NOTED OTHERWISE.
 - 2. PAINT PIPING, CONDUITS, DUCTWORK AND OTHER UNFINISHED EQUIPMENT IN BOILER ROOM, MECHANICAL ROOMS AND ELECTRICAL ROOMS. IN OTHER UNFINISHED AREAS LEAVE EQUIPMENT, CONDUITS, HANGERS ETC., IN ORIGINAL FINISH AND TOUCH UP SCRATCHES AND MARKS.
 - 3. KEEP SPRINKLER HEADS FREE OF PAINT.
 - 4. PAINT INSIDE OF DUCTWORK WHERE VISIBLE WITH PRIMER AND ONE COAT OF MATT BLACK PAINT. PAINT DISCONNECT SWITCHES FOR FIRE ALARM SYSTEM AND EXIT LIGHT SYSTEMS IN RED ENAMEL.
 - 5. PAINT BOTH SIDES AND EDGES OF PLYWOOD BACKBOARDS FOR EQUIPMENT BEFORE INSTALLATION. LEAVE EQUIPMENT IN ORIGINAL FINISH EXCEPT FOR TOUCH-UPS AS REQUIRED, AND PAINT CONDUITS, MOUNTING ACCESSORIES AND OTHER UNFINISHED ITEMS.
 - 7. PRIME FERROUS METAL SURFACES APPLY:
 - a) ONE COAT SPOT PRIMING.
 - b) ONE COAT ENAMEL UNDERCOAT.
 - c) TWO COATS SEMI-GLOSS ENAMEL.
 - d) GALVANIZED AND ZINC COATED METAL.
 - e) ONE COAT VINYL WASH PRIMER.
 - f) ONE COAT ENAMEL UNDERCOAT.
 - g) TWO COATS SEMI-GLOSS ENAMEL.
 - h) ZINC COATED METAL DECKING APPLY:
 - a) ONE COAT VINYL WASH PRIMER.
 - b) ONE COAT ENAMEL UNDERCOAT.
 - c) ONE COAT FLAT PAINT.
 - i) INSULATION COVERING APPLY:
 - a) ONE COAT TINTED ENAMEL UNDERCOAT.
 - b) ONE COAT GLOSS ENAMEL UNDERCOAT.
 - c) ONE COAT SEMI-GLOSS ENAMEL.
 - d) COPPER PIPING AND FITTINGS APPLY:
 - a) ONE COAT VINYL WASH PRIMER.
 - b) ONE COAT ENAMEL UNDERCOAT.
 - c) ONE COAT SEMI-GLOSS ENAMEL.

3.4 EXTERIOR FINISHES

- NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MP1) REQUIREMENTS. REFER TO MP1 PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - 1. WOOD TO RECEIVE PAINT FINISH APPLY:
 - a) ONE COAT EXTERIOR PRIMER.
 - b) TWO COATS EXTERIOR HOUSE PAINT.
 - c) PRIME FERROUS METAL SURFACES APPLY:
 - a) ONE COAT SPOT PRIMING.
 - b) ONE COAT EXTERIOR ENAMEL.
 - c) GALVANIZED AND ZINC COATED METAL APPLY:
 - a) ONE COAT VINYL WASH PRIMER.
 - b) ONE COAT STEEL PRIMER.
 - c) TWO COATS EXTERIOR ENAMEL.
 - d) TWO COATS EXTERIOR MASONRY COATING.
 - e) FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - f) FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - g) FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE WEST CC-790 FINISH, BENJAMIN MOORE PAINT TO BE CUSTOM COLOUR MATCHED TO THAT SURFACE.

- NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MP1) REQUIREMENTS. REFER TO MP1 PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - 1. METAL DOORS AND FRAMES:
 - a) ONE COAT OF ALKID PRIMER
 - b) TWO COATS HIGH GLOSS ALKID – IMPERVO C133 (ALLOW 1ST COAT TO DRY OVERNIGHT).
 - 2. DRYWALL PARTITIONS:
 - a) ONE COAT LATEX PRIMER/SEALER
 - b) TWO COATS INTERIOR ACRYLIC LATEX SEMI-GLOSS ENAMEL
 - 3. DRYWALL CEILINGS:
 - a) ONE COAT LATEX PRIMER/SEALER
 - b) TWO COATS LATEX LUSTRE LATEX.
 - 4. MASONRY WALLS:
 - a) ONE COAT BLOCK FILLER MOOREKRAFT SUPER DRY LATEX BLOCK FILLER #285
 - b) ONE COAT LATEX PRIME SEAL
 - c) TWO COATS LATEX SEMI-GLOSS
 - 5. METAL HANDRAILS/STIRRERS/RISSERS, ETC.
 - a) ONE COAT IRONCLAD LOW LUSTER ENAMEL
 - b) TWO COATS IMPERVO HIGH GLOSS – BENJAMIN MOORE AS PER FINISH SCHEDULE.
 - 6. FOR NEW CONCRETE FLOORS AND ALL NEW EXPOSED CONCRETE AREAS WITHIN CONFINES OF THE BUILDING WALLS:
 - a) TWO COATS CLEAR SEAL – CORONADO INDUSTRIAL COATINGS.
 - b) TWO COATS GREY EPOXY FLOOR PAINT – BENJAMIN MOORE OR APPROVED ALTERNATE. ALL EXISTING LATEX ADHESIVES ETC., TO BE COMPLETELY REMOVED FROM FLOORS PRIOR TO ANY FINISHING. NOTE: ANY CRACKED OR DAMAGED FLOORS TO BE REPAIRED BEFORE PAINTING – CONCRETE REPAIR FOR LARGER DAMAGE, EPOXY INJECTION FOR CRACKS ETC.
 - c) PAINT YELLOW EMT LINES ON FLOOR PRIOR TO INSTALLATION OF CLEAR SEAL.
 - NOTE: DO NOT PAINT FLOOR TREATED WITH ARDEX.

3.5 FIELD QUALITY CONTROL/ STANDARD OF ACCEPTANCE:



STEEL & WOOD LINTELS — S&B

Wood Lintel above window and wall openings:
W1 = 2-2x10 SPF = SS
W2 = 2-2x10 SPF = SS
W3 = 2-2x10 SPF = SS
W4 = 2-2x10 SPF = SS

BRICK SUPPORT — S&B

Steel Beam (Unreinforced Masonry):
WB1 = 1-1 Fx11 F LVL 2.1 E
WB2 = 2-1 Fx11 F LVL 2.1 E
WB3 = 3-1 Fx11 F LVL 2.1 E
WB4 = 4-1 Fx11 F LVL 2.1 E

NOTE: WBA SHALL BE BOLTED WITH 2" LAG BOLTS @ 16" O.C.

Steel Lintel above window openings:
SL1 = 2 Fx3 Fx8 Steel Angle
SL2 = 4" x 4" x 3 Fx8 Steel Angle
SL3 = 6" x 6" x 3 Fx8 Steel Angle
SL4 = 8" x 8" x 3 Fx8 Steel Angle

R.B.F.M. = BEAM BY FLOOR MANUFACTURER
F.B.F.M. = FLOOR JOISTS BY FLOOR MANUFACTURER

FOOTINGS:

— ALL FOUNDATION WALLS TO BE TIED TO THE 24"x8" CONCRETE (20Mpa + 6% AIR) STRIP FOOTING WITH 2-15M REBAR CONTINUE

CONNECT THE FOOTINGS TO FOUNDATION WALLS BY 15M DOWELS SPACED @ 30" O.C.

ASSUMED MINIMUM SOIL BEARING CAPACITY OF 75 KPa. THIS SHALL BE VERIFIED ON SITE BY THE ENGINEER.

— USE DRAINAGE LAYER WITH FILTER PAPER ON 2 COATS OF BITUMINOUS DAMP PROOFING APPLY ON THE FOUNDATION WALL

NOTE:

FOR FOUNDATION WALLS EXPOSED ABOVE GRADE, PROVIDE BRICKY STONE VENEER BRICKS SAID TO 4" CONCRETE BLOCK BACK WALL, PROVIDE 2" BLOCK-LOCK @ 16" O.C. VERTICAL & 48" O.C. HORIZONTAL, TIE BACK TO THE BACK WALL, ALLOW FOR THE FULL CONTACT WITH STONE.

— ALL FOOTINGS ON UNDISTURBED SOIL, ANY ORGANIC OR FILL MATERIAL SHALL BE REMOVED AND COMPACTED HIGH LEVEL WATER TABLE SHALL BE REPORTED TO THE ENGINEER FOR THE REVISION DESIGN OF THE FOOTING.

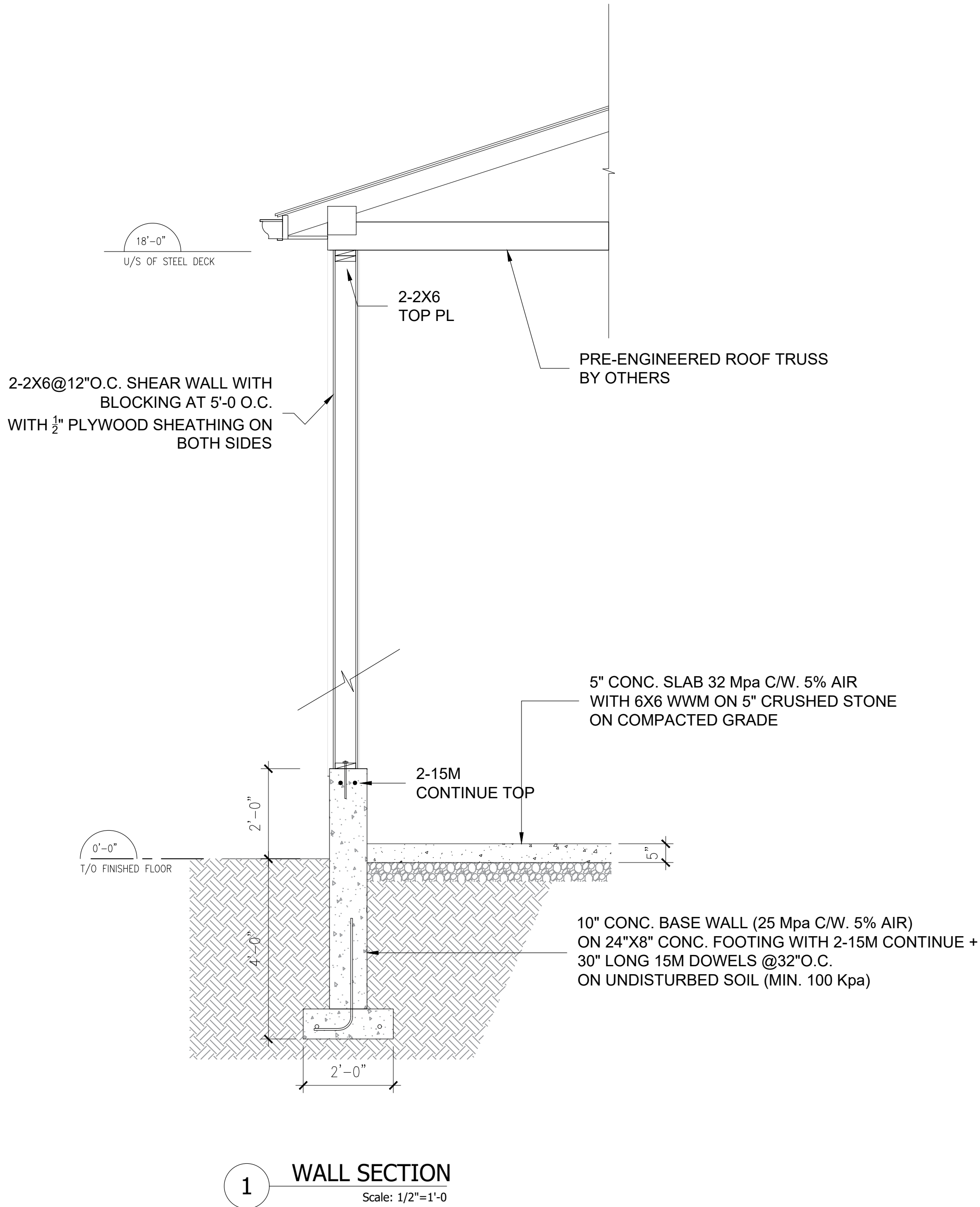
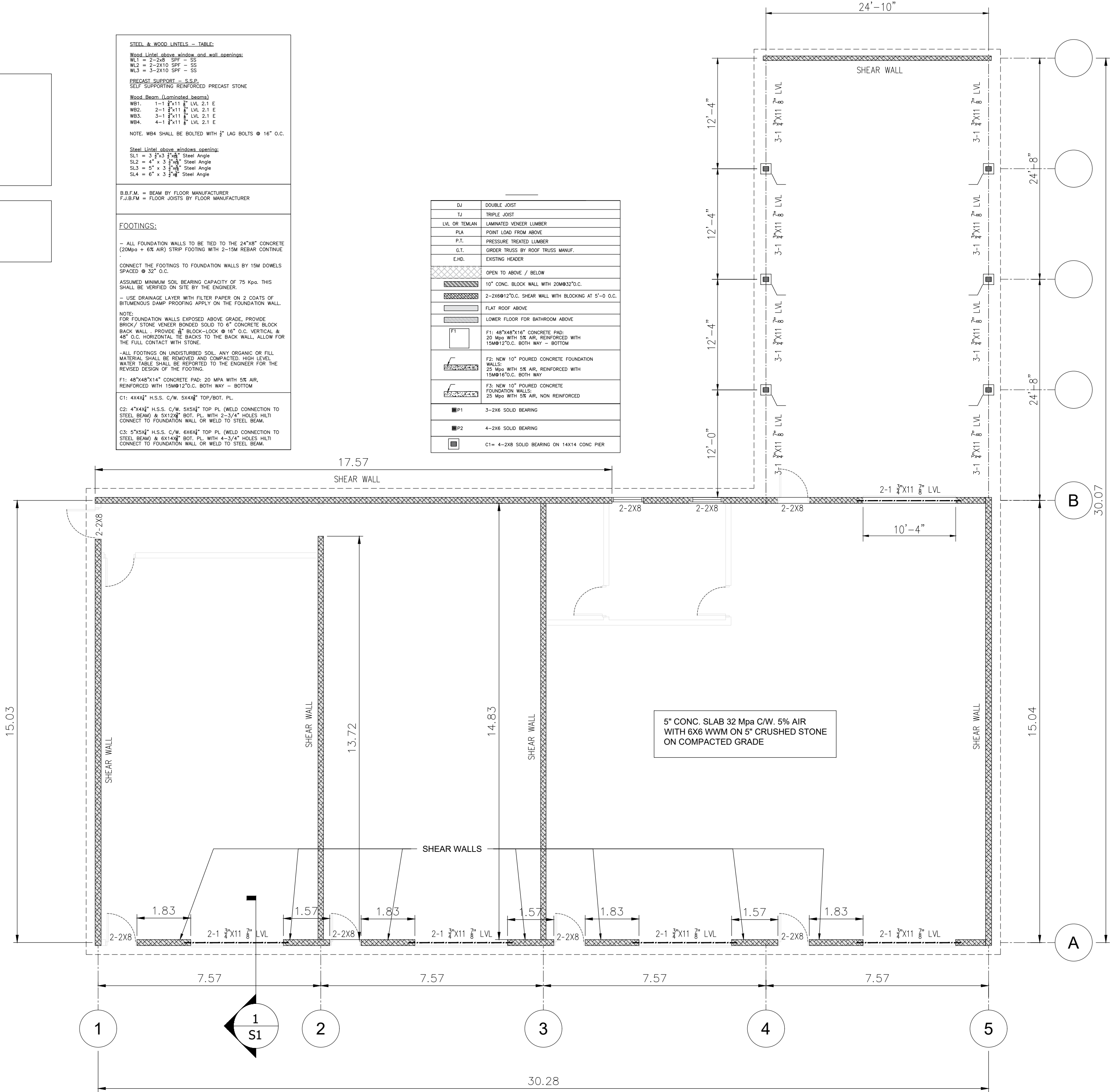
F1: 48"x48"x14" CONCRETE PAD 30 MPA WITH 5% AIR, REINFORCED WITH 15M@12" O.C. BOTH WAY — BOTTOM

C1: 4-15M H.S.S. C/W 30M@12" TOP PL.

C2: 4-15M H.S.S. C/W 30M@12" TOP PL (WELD CONNECTION TO STEEL BEAM) & 5-15M@12" BOT. PL WITH 2-3/4" HOLES MULTI CONNECT TO FOUNDATION WALL OR WELD TO STEEL BEAM.

C3: 5-15M@12" H.S.S. C/W 30M@12" TOP PL (WELD CONNECTION TO STEEL BEAM) & 5-15M@12" BOT. PL WITH 2-3/4" HOLES MULTI CONNECT TO FOUNDATION WALL OR WELD TO STEEL BEAM.

D1	DOUBLE JOIST
T1	TRIPLE JOIST
LVL OR TIMBER	LAMINATED VENEER LUMBER
P.A.	POINT LAMP FROM ABOVE
P.T.	PRESSURE TREATED LUMBER
C.T.	CORNER TRUSS BY ROOF TRUSS MANUF.
E.V.S.	EXISTING VENT
	OPEN TO ABOVE / BELOW
	10" CONC. BLOCK WALL WITH 20M@12" O.C.
	2-24x8@12" O.C. SHEAR WALL WITH BLOCKING AT 5'-0" O.C.
	FLAT ROOF ABOVE
	LOWER FLOOR FOR BATHROOM ABOVE
F1	F1: 48"x48"x14" CONCRETE PAD 30 MPA WITH 5% AIR, REINFORCED WITH 15M@12" O.C. BOTH WAY — BOTTOM
	F2: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F3: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F4: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F5: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F6: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F7: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F8: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F9: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F10: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F11: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F12: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F13: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F14: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F24: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F25: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F26: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F27: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F28: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F29: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F30: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F31: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F32: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F35: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F47: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F48: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F49: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F50: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F51: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F52: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F55: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F56: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F57: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F58: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F59: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F61: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F62: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F63: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F64: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F65: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F66: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F67: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F68: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F69: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F70: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F71: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F72: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
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	F74: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F75: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F76: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F77: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F78: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F79: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F80: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F81: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F82: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F83: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F84: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F85: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F86: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F87: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F88: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F89: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F90: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F91: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F92: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F93: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F94: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F95: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F96: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F97: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F98: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F99: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY
	F100: NEW 10" POURED CONCRETE FOUNDATION WALL, WITH 15M@12" O.C. BOTH WAY



Scale

1" = 1'-0"

Drawing No.

S1

Client/Project

PAUL MARQUES ARCHITECT

22575 LAKE RIDGE rd

Title

STRUCTURE
FRAMING



FOR PERMIT
Issued

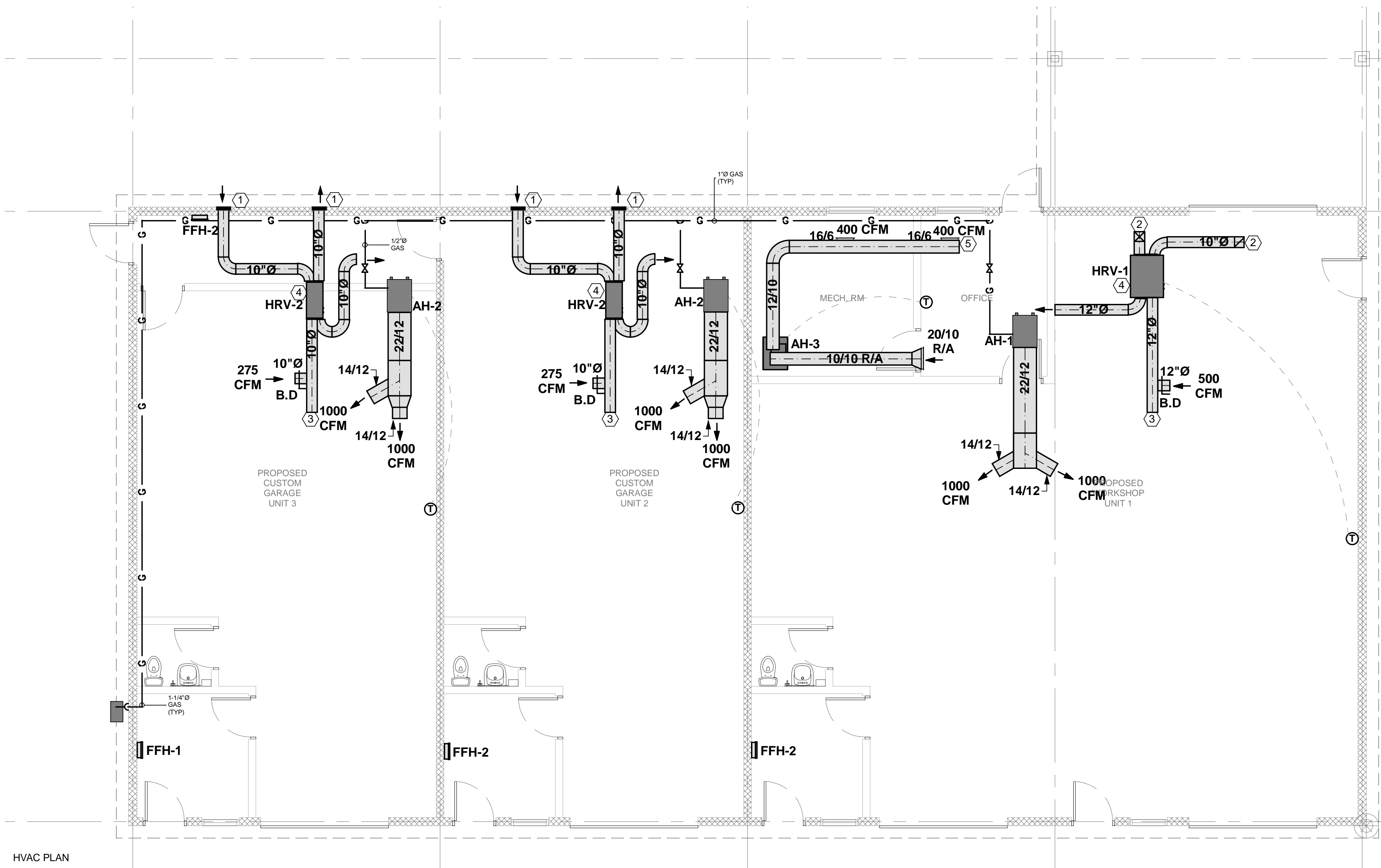
AH
By

08 - 04 - 20
MM-DD-YY

Amir Hejazi, P.Eng.

AH-Design Inc.
Consulting Engineer
16 DOON RD, Toronto Ontario
M2L 1L9 416-400-0331
www.ahdesigninc.com





HVAC PLAN
SCALE: 3/16" = 1'-0"

HVAC EQUIPMENT SCHEDULE

ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (SHOP)- 4 persons(10)+2407sqft(0.18)=474cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (OFFICE) - 1 persons(5)+133sqft(0.06)=13cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 2 - 3 persons(10)+1248sqft(0.18)=256cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 3 - 3 persons(10)+1087sqft(0.18)=226cfm

UNIT DESIGNATION	DESCRIPTION	MAKE & MODEL No.	CFM	STATIC PRESS. in. wg	HEATING CAPACITY, MBH		COOLING CAP. (TONS)	OUTSIDE AIR C.F.M	kW	VOLTAGE	OPERATING WEIGHT (LBS)	REMARKS
					IN	OUT						
AH-1	GAS FIRED FURNACE	LUXAIRE TM9E120D20MP12	2000	0.5	120	114	5	HRV		120/1/60	156	c/w THERMOSTAT
AH-2	GAS FIRED FURNACE	LUXAIRE TM9E080C20MP12	2000	0.5	80	76	5	HRV		120/1/60	139	c/w THERMOSTAT
AH-3	GAS FIRED FURNACE	LUXAIRE TM9E026A08MP12	800	0.5	26	25	2	HRV		120/1/60	113	c/w THERMOSTAT
HRV-1	HEAT RECOVERY VENTILATOR	ALDES H-650	500	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
HRV-2	HEAT RECOVERY VENTILATOR	ALDES H-280SRG	275	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
FFH-1	ELECTRIC WALL HEATER	OUELLET OAC02008-T				2KW				208/1/60		
FFH-2	ELECTRIC WALL HEATER	OUELLET OAC01502-T				1.5KW				120/1/60		

HVAC KEYED NOTES

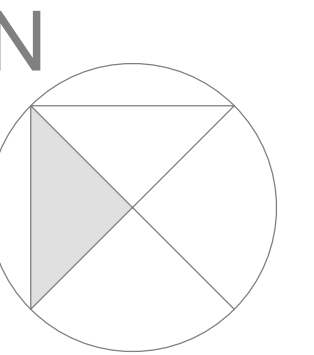
- 1 TERMINATE DUCT HIGH ON WALL AT WALL BOX. REVERSOMATIC OR EQUAL
- 2 FRESH AIR INTAKE & E/A DUCT DOWN THROUGH ROOF TO CEILING SPACE C/W CURB, GOOSENECKED & BIRDSCREEN. DUCTWORK TO BE INSULATED
- 3 CAP DUCTWORK FOR FUTURE WASHROOM EXHAUST
- 4 HRV TO BE INSTALLED AS PER MANUFACTURERES SPECIFICATIONS.
- 5 16/6 LOUVERED FACE S/A GRILLE PRICE 500 SERIES OR EQUAL (TYP FOR 2)
- 6 20/10 LOUVERED FACE R/A GRILLE PRICE 500 SERIES OR EQUAL ABOVE DOOR BELOW FINISHED CEILING.

UNIT 1				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 7395			46190
	Glass: 884			-
	Doors: 30023			-
	Partitions: 0			-
	Floors: 3104			-
	Ceilings: 4783			-
15. INFILTRATION:	Outside air cfm: 533			49171
16. SUBTOTAL:	Space load			95361
	Envelope			95361
	Less external			-
	Less transfer			-
	Redistribution			-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm: 0			0
19. HUMIDIFICATION				10533
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				105894

UNIT 2				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 2943			22355
	Glass: 442			-
	Doors: 14927			-
	Partitions: 0			-
	Floors: 1262			-
	Ceilings: 2780			-
15. INFILTRATION:	Outside air cfm: 308			28443
16. SUBTOTAL:	Space load			50797
	Envelope			50797
	Less external			-
	Less transfer			-
	Redistribution			-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm: 0			0
19. HUMIDIFICATION				6093
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				56890

UNIT 3 - SHOP AREA				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 4523			25286
	Glass: 442			-
	Doors: 15096			-
	Partitions: 0			-
	Floors: 2456			-
	Ceilings: 2730			-
15. INFILTRATION:	Outside air cfm: 161			14825
16. SUBTOTAL:	Space load			40111
	Envelope			40111
	Less external			-
	Less transfer			-
	Redistribution			-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm: 198			18261
19. HUMIDIFICATION				7067
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				65460

UNIT 3 - MECH RM/OFFICE				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 419			2770
	Glass: 884			-
	Doors: 168			-
	Partitions: 0			-
	Floors: 608			-
	Ceilings: 690			-
15. INFILTRATION:	Outside air cfm: 21			1927
16. SUBTOTAL:	Space load			4697
	Envelope			4697
	Less external			-
	Less transfer			-
	Redistribution			-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm: 9			849
19. HUMIDIFICATION				595
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				6140



Read this drawing in conjunction with all
Architectural, Structural and Mechanical Drawings



REVISIONS

DATE	DESCRIPTION
2.22.2021	ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6
P:(905) 332-8888
www.lakelandengineering.ca

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PROJECT:

WORKSHOP/CUSTOM GARAGE

22575 LAKE RIDGE RD.
PORT BOLSTER, ON

SHEET TITLE:

H.V.A.C

DRAWN BY: WK

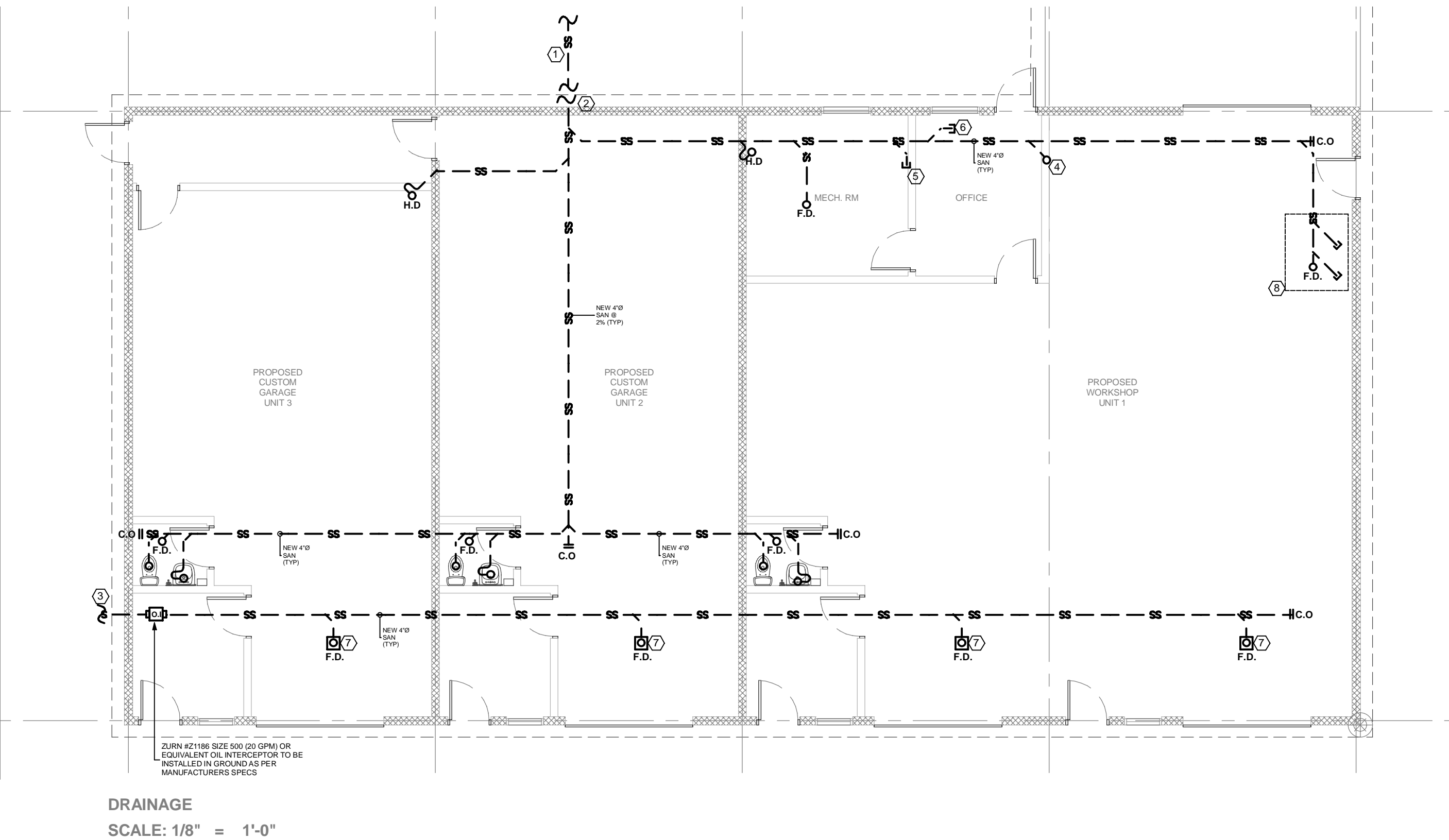
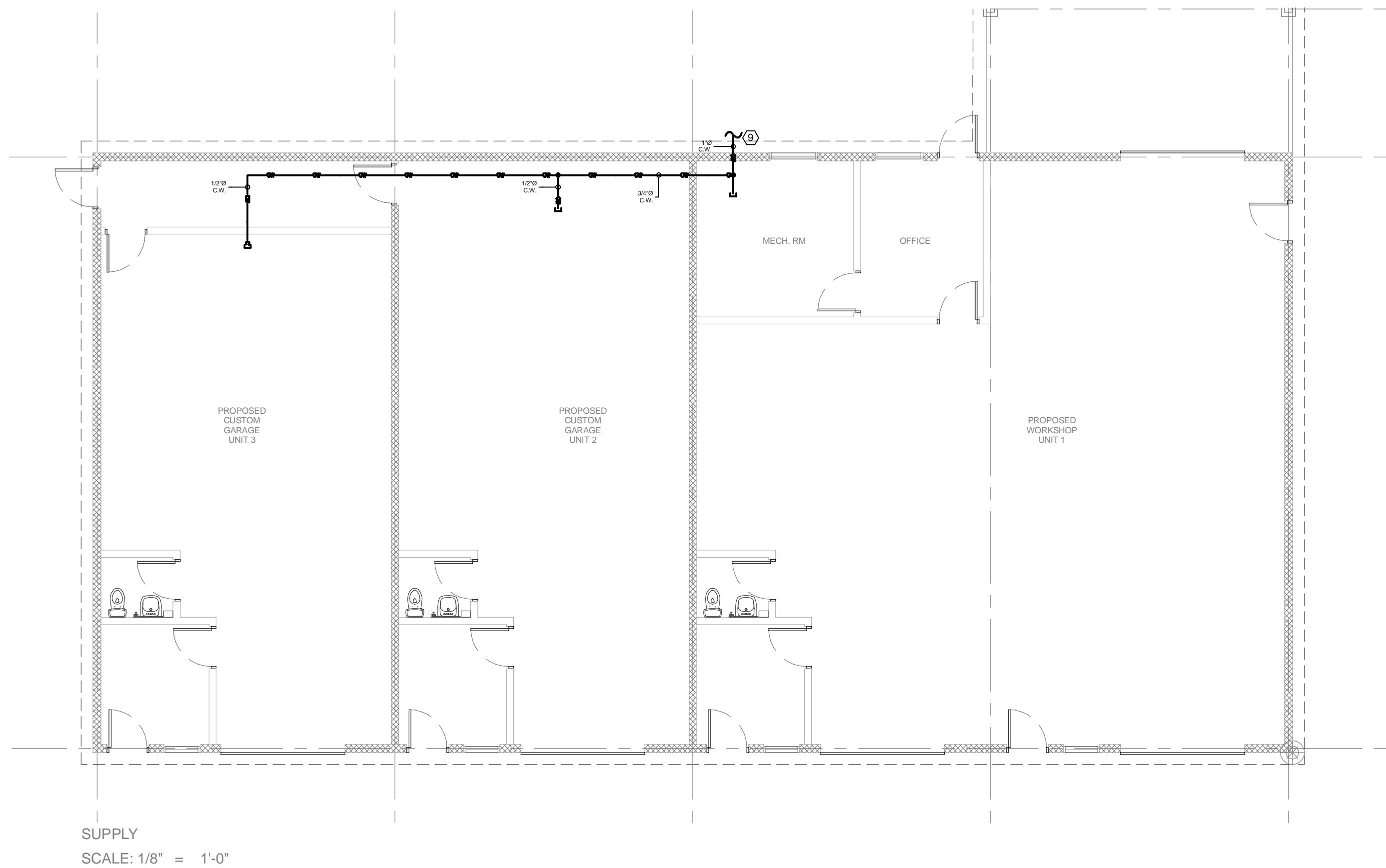
DATE: 2021-02-22

JOB #: 21-004

SHEET 1
OF 4

M1

Page 85 of 151



PLUMBING KEY NOTES

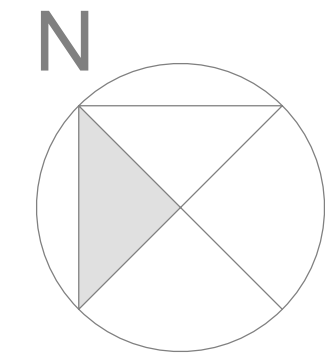
- 1 SAN TO SEPTIC TANK. SEPTIC TANK BY OTHERS.
- 2 CONNECT NEW 4" TO SEPTIC TANK SANITARY. CONTRACTOR TO CONFIRM SIZE & LOCATION ON SITE.
- 3 NEW 4" SAN OUT TO FRENCH DRAIN. FRENCH DRAIN BY OTHERS.
- 4 4" SAN STACK TO ABOVE, CAPPED FOR FUTURE USE.
- 5 2" SAN CAPPED FOR FUTURE USE.
- 6 1-1/2" SAN CAPPED FOR FUTURE USE.
- 7 12/12 SQUARE FLOOR DRAIN.
- 8 SAN ROUGH-IN FOR FUTURE WASHROOM.
- 9 INCOMING 1" D.C.W FROM WELL. WELL BY OTHERS.

PLUMBING LEGEND

	D.C.W. LINE
	D.H.W. LINE
	SANITARY SEWER LINE
	CLEAN OUT
	HUB DRAIN

- PLUMBING FIXTURE CONNECTIONS -

FIXTURES	WASTE	VENT	COLD WATER	HOT WATER
WATER CLOSET (Tank Type)	3"	1-1/2"	1/2"	-
LAVATORY	1-1/2"	1-1/4"	1/2"	1/2"
SINK	1-1/2"	1-1/4"	1/2"	1/2"
SLOP SINK	2"	1-1/2"	1/2"	1/2"
SHOWER STALL	3"	1-1/2"	1/2"	1/2"
DISHWASHER	2"	1-1/2"	-	1/2"
URINAL	2"	1-1/2"	3/4"	-
GREASE INTERCEPTOR	2"	1-1/2"	-	-
FLOOR DRAIN	3"	1-1/2"	-	-
HUB DRAIN	3"	1-1/2"	-	-
FUNNEL FLOOR DRAIN	3"	1-1/2"	-	-
DRINKING FOUNTAIN	1-1/2"	1-1/4"	1/2"	-



Read this drawing in conjunction with all
Architectural, Structural and Mechanical Drawings



REVISIONS

DATE	DESCRIPTION
2.22.2021	ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6
P: (905) 332-8888
www.lakelandengineering.ca

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PROJECT:

WORKSHOP/CUSTOM
GARAGE

22575 LAKE RIDGE RD.
PORT BOLSTER, ON

SHEET TITLE:

PLUMBING

DRAWN BY: WK

DATE: 2021-02-22

JOB #: 21-004

SHEET 4
OF 4

P1

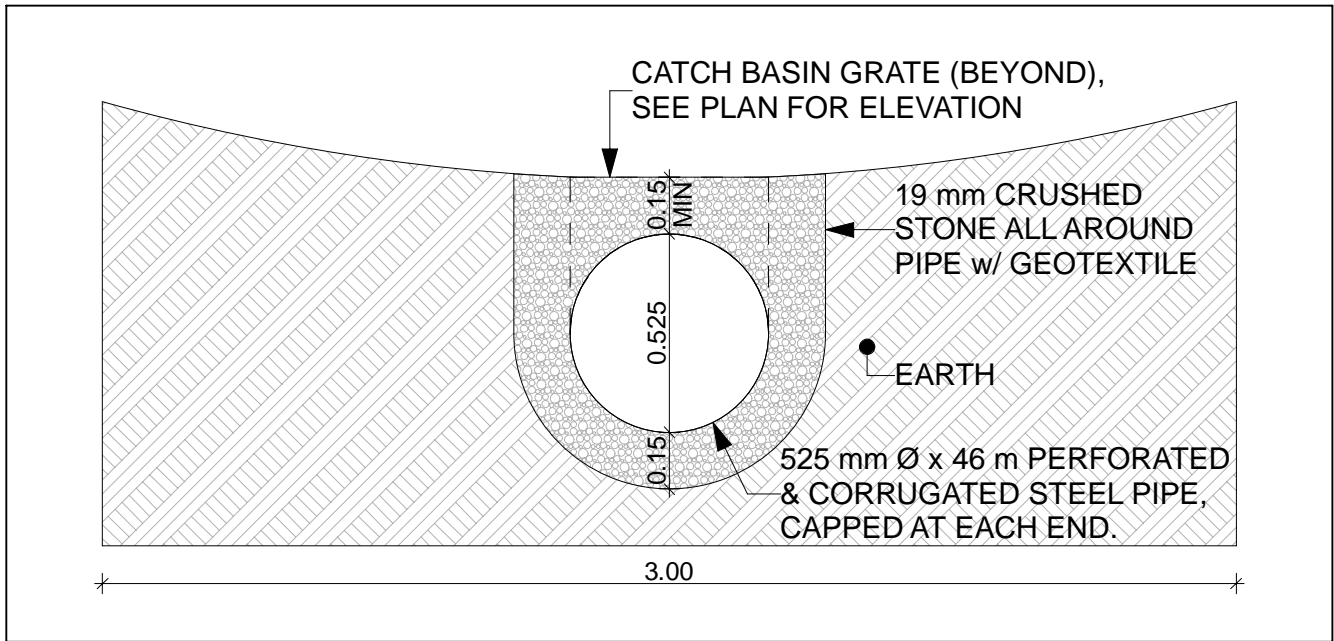
SCOPE OF WORK

INSTALL TWO 525 mm Ø PERFORATED & CORRUGATED PIPES TO RETAIN WATER FOR A 100 YEAR STORM.

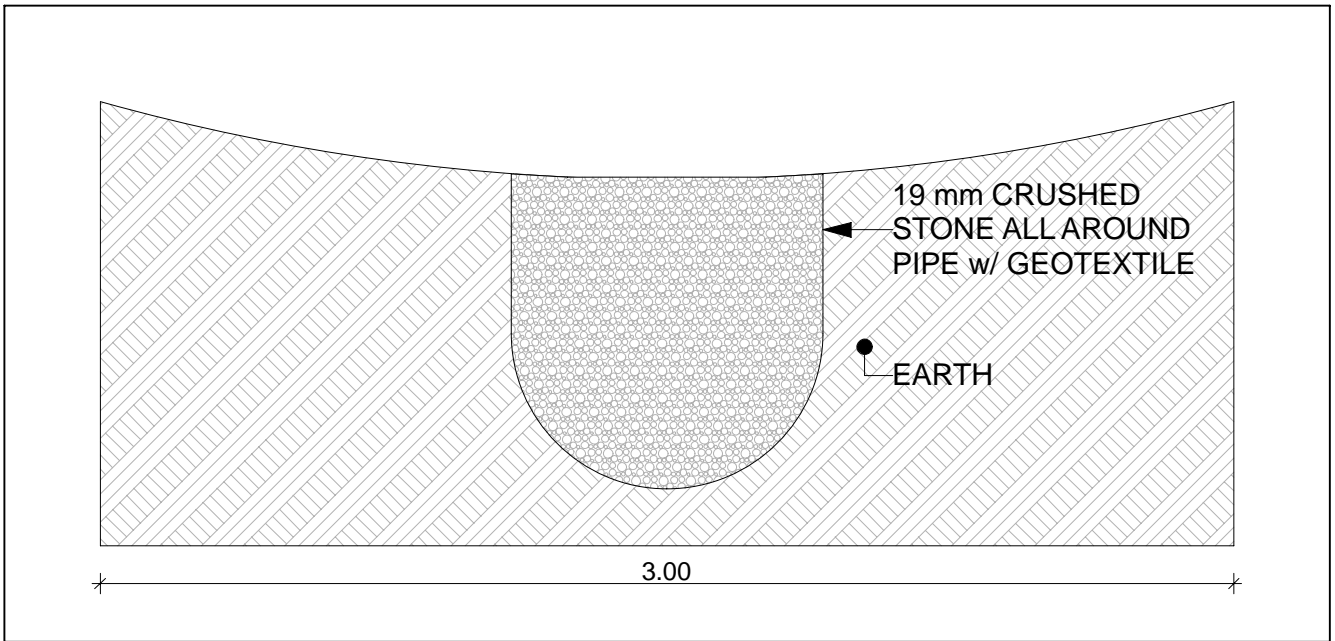
PART OF LOT 1
CONCESSION 13
TOWNSHIP OF BROCK
REGIONAL MUNICIPALITY OF DURHAM

GENERAL NOTES

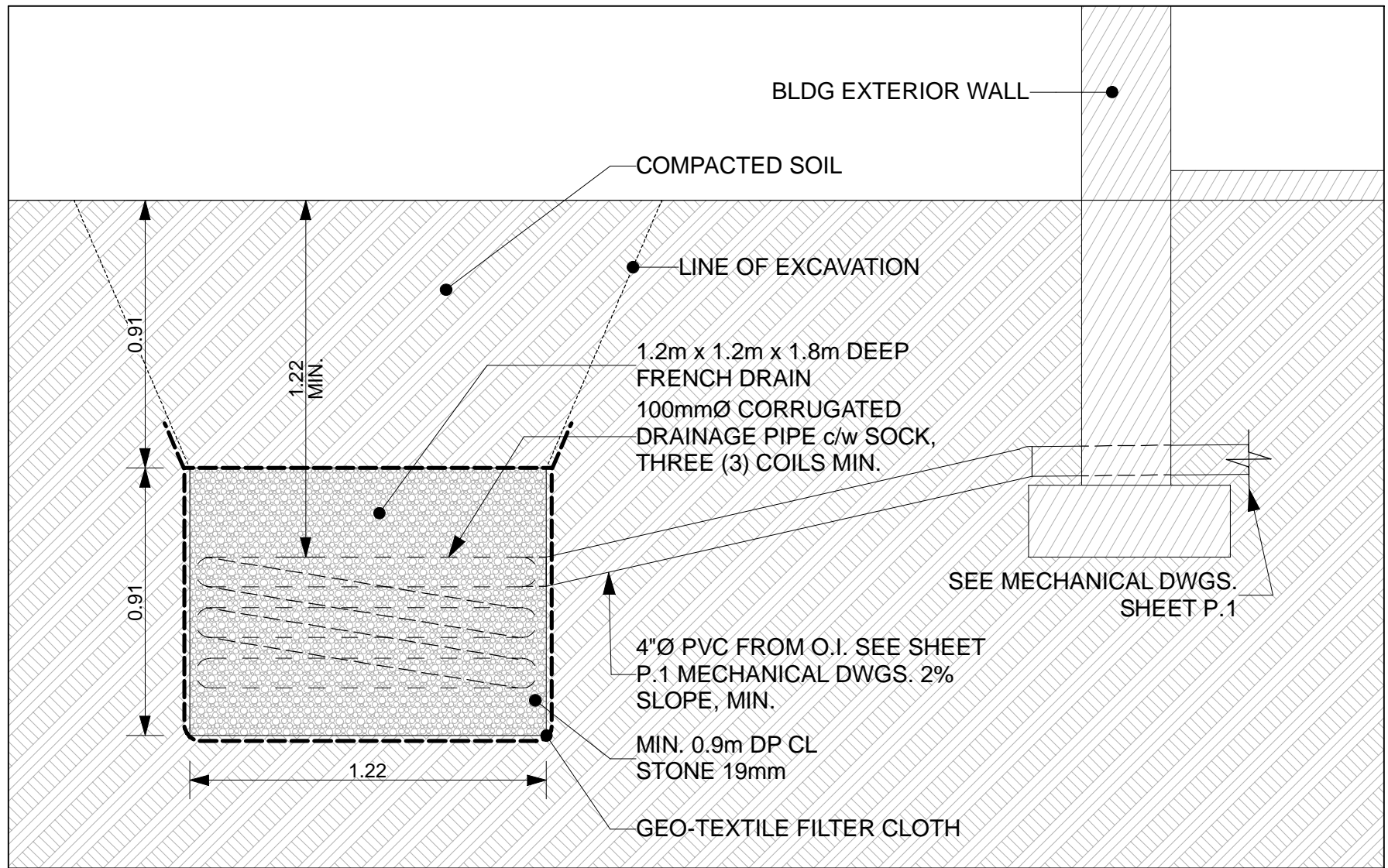
EXISTING ELEVATIONS AND SITE SURVEY ARE FROM E.R. GARDEN LIMITED DRAWING DATED DECEMBER 2, 2020.



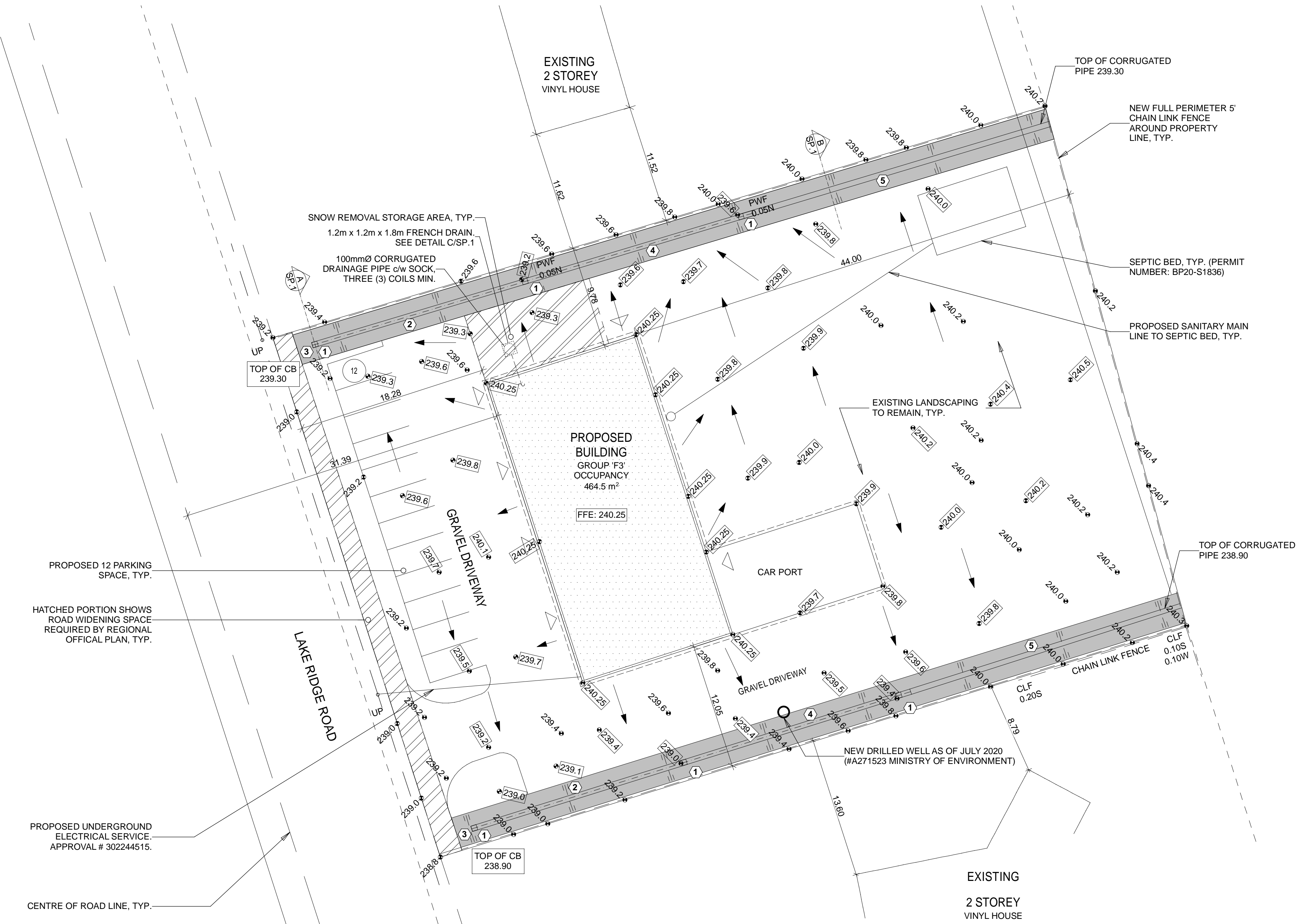
A PLANTING STRIP DETAIL
SCALE: 1:20



B PLANT STRIP DETAIL
SCALE: 1:20



C FRENCH DRAIN SECTION
SCALE: 1:20

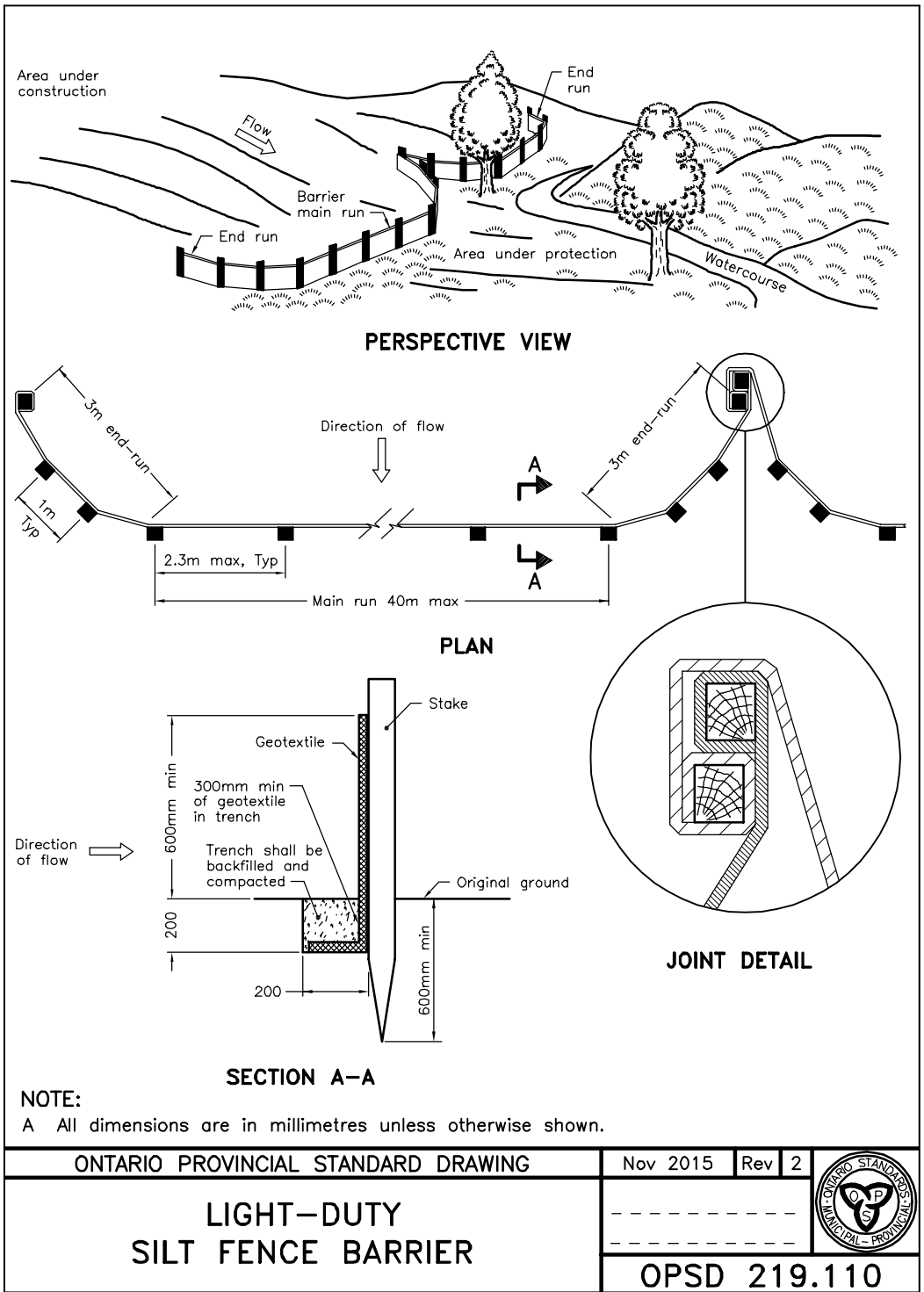


KEY NOTES

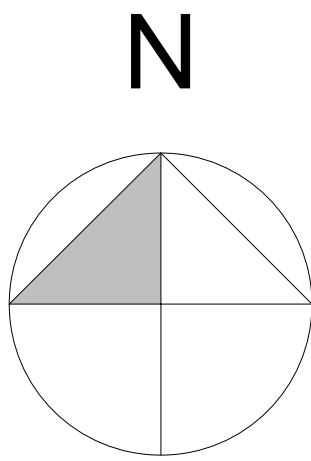
1. INSTALL A 525 mm Ø TEE c/w METAL CATCH BASIN CAP, TYP FOR 6.
2. INSTALL A 525 mm Ø PERFORATED & CORRUGATED PLASTIC PIPE CAPPED AT EACH END, ONTARIO AGRA CSP CULVERT OR SIMILAR.
3. CATCH BASIN TO BE USED AS AN OVERFLOW DEVICE FOR THE RETENTION PIPE.
4. INSTALL PLANTING STRIP AS PER DETAIL A/SP.1.
5. INSTALL PLANTING STRIP AS PER DETAIL B/SP.1.

SITE GRADING LEGEND

PLAN	DESCRIPTION
	EXISTING GRADES
	PROPOSED GRADES
	DIRECTION OF OVERLAND FLOW (2% TYPICAL)



STORMWATER MANAGEMENT
SCALE: 1:250



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



REVISIONS

DATE	DESCRIPTION
2021.03.23	ISSUED FOR PERMIT



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PROJECT:

PROPOSED STORMWATER MANAGEMENT PLAN

22575 LAKE RIDGE ROAD,
PORT BOLSTER, ONTARIO

SHEET TITLE:

STORMWATER MANAGEMENT PLAN

DRAWN BY: RM

DATE: 2021-03-24

SCALE: AS SHOWN

PROJECT: 21-018

SP.1

From: [Deena Hunt](#)
To: [Brock Clerks](#)
Subject: FW: World Elder Abuse Awareness Day - June 15
Date: March 22, 2021 1:55:15 PM
Attachments: [EAPO WEAAD PROCLAMATION 2021 watermark.doc](#)
[Tammy Rankin Legacy Award.pdf](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)

Date:	23/03/2021
Refer to:	Not Applicable
Meeting Date:	April 26
Action:	null
Notes:	Corresp.
Copies to:	

I don't know if you've seen this?
 Proclamation request

[Deena Hunt](#)
 Deputy Clerk
 The Corporation of the Township of Brock
 1 Cameron Street East, P.O. Box 10
 Cannington, Ontario, L0E 1E0
 Tel: 705-432-2355, Ext. 237 | Toll Free: 1-866-223-7668 | Fax: 705-432-3487
Deena.Hunt@brock.ca | townshipofbrock.ca | choosebrock.ca

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From: Patricia Nokes <Patricia.Nokes@durham.ca> **On Behalf Of** John Henry
Sent: March 18, 2021 4:08 PM
To: Deena Hunt <Deena.Hunt@brock.ca>; Bobbie Drew <bdrew@scugog.ca>; Dan Carter <dcarter@oshawa.ca>; Dave Barton <dbarton@uxbridge.ca>; Don Mitchell <mayor@whitby.ca>; Dave Ryan <dryan@pickering.ca>; Keyzers, Heather <hkeyzers@clarington.net>; Shaun Collier <shaun.collier@ajax.ca>
Cc: jjosephson <jjosephson@brockchc.ca>; chair <chair@durham.ca>
Subject: World Elder Abuse Awareness Day - June 15

Dear Durham Region Mayors,

Please join me to support the work of Durham Elder Abuse Network (DEAN) by Proclaiming June 15th as World Elder Abuse Awareness Day in your community.

For the approximately 10 years, Oshawa Senior Community Centres (OSCC 55+) has hosted a World Elder Abuse Awareness Day (W.E.A.A.D.) event which included various speakers and dedicated elder abuse professionals in Durham Region. Durham Region's Former Senior Safety Advisor, the late Tammy Rankin used this venue as an opportunity to speak about the current climate of Elder Abuse in the region.

Last year the Durham Elder Abuse Network (DEAN) became more formally involved and added the "Tammy Rankin Legacy Award" in the event. DEAN has been an active network in Durham Region since the early 90's and was spearheaded by Ms. Rankin. The Network includes individuals and organization from across the Region including social services, justice, for profit, non-profit, home care services, long term care, retirement, shelter workers, mental health and hospitals. Although DEAN is not a direct response to elder abuse issues it has been instrumental in leading advocacy and education events throughout the Region and provides direct support to dedicated staff.

These types of awareness raising events are highlighted throughout the world; our partners at Elder Abuse Prevention Ontario will help us share what we are doing with others all across the country. How wonderful will it be show how Durham Region has come together to address this issue.

This year DEAN is challenging all Durham Region Mayors to proclaim June 15 as "WEAAD Day" and to share your support during the virtual World Elder Abuse Awareness Day. By doing so, you will demonstrate your recognition of the important role of our older adults, the paths they have paved for the rest of us, and that Elder Abuse will not be tolerated in your community. Older adults deserve Dignity, Respect, and nothing less.

Please join me in proclaiming June 15th as World Elder Abuse Awareness Day and reading your proclamation at the:

**Virtual World Elder Abuse Awareness Day (W.E.A.A.D.) Event
on June 15th at 2:00 p.m.**

Rsvp by June 1 to:

Jennifer Josephson, Chairperson – Durham Elder Abuse Network

jjosephson@brockchc.ca

705 308 2673

If you are unable to attend the World Elder Abuse Awareness Day (W.E.A.A.D.) event, please feel free to send a short video message by June 1st to: jjosephson@brockchc.ca.

I have attached a sample of a proclamation for your use and a nomination form for the Tammy Rankin Award should you have any individuals you would like to nominate.

Please direct any nominations or questions to Jennifer: jjosephson@brockchc.ca

Thank you for supporting this important initiative.

Sincerely,

John Henry



John Henry | Regional Chair and CEO

Regional Municipality of Durham | Office of the Regional Chair & Chief Administrative Officer
605 Rossland Road East, Whitby, Ontario L1N 6A3

905.668.7711 ext 2001 or 1.800.372.1102 ext 2001

Corporate Values: • Ethical Leadership • Accountability • Service Excellence • Continuous Learning and Improvement • Inclusion

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twitter.com/RegionofDurham

[youtube.com/RegionofDurham](https://www.youtube.com/RegionofDurham)

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**MUNICIPAL PROCLAMATION
WORLD ELDER ABUSE AWARENESS DAY
June 15, 2021**

- WHEREAS: Older Ontarians deserve to be treated with respect and dignity to enable them to serve as leaders, mentors, volunteers and important, active members of society; and
- WHEREAS: In 2006, the International Network for the Prevention of Elder Abuse, in support of the United Nations International Plan of Action, proclaimed June 15th the day to recognize the significance of elder abuse as a both a public health and Human Rights issue; and
- WHEREAS: 2021 marks the 16th Anniversary of World Elder Abuse Awareness Day - its annual recognition will promote a better understanding of abuse and neglect of older adults; and
- WHEREAS: Durham Elder Abuse Network recognizes the importance of taking action to create social change in our communities by raising awareness through the education of neighbours, friends, family members and all global citizens, about the rights of older adults;
- WHEREAS: Locally, seniors are at risk of being abused each year; and
- WHEREAS: Social isolation and Ageism are major risk factors of elder abuse in Ontario; and
- WHEREAS: Preventing abuse of older adults will not only help improve their quality of life, and allow older adults to continue to live as independently as possible but continue to contribute to the life and vibrancy of Ontario; and
- WHEREAS: Where there is respect there can be no abuse; therefore, residents of Durham Region are urged to join this global movement to Stop Abuse and Restore Respect.

THEREFORE; I, _____ of _____, Ontario do hereby proclaim June 15, 2021 as World Elder Abuse Awareness Day in _____, Ontario and encourage all of our residents to recognize and celebrate seniors and their ongoing contributions to the success and vitality of Ontario.

Dated on this day of _____, 2021. _____ Signature



Tammy Rankin Legacy Award

Tammy Rankin was the Senior Safety Advisor for the Municipality of Durham, a founding member of the Durham Elder Abuse Network (D.E.A.N.) and developed a partnership with the Durham Regional Police Senior Support Coordinator position. Tammy worked tirelessly to advocate for and support the senior population in our community. She was known for going above and beyond the scope of her position and putting “her seniors first”. The Durham Elder Abuse Network is committed to the advocacy and education within our community to keep seniors safe.

D.E.A.N. is proud to support the “Tammy Rankin Legacy Award” with an opportunity to showcase an inspiring individual or organization with a powerful story about going above and beyond to make a meaningful impact in the lives of seniors and their families.

Eligibility Criteria:

- Must work or volunteer in the Durham Region
- Be willing to provide a short bio be photographed with regards to award

Considerations:

- Submissions must not contain confidential information or restricted intellectual property that should not be circulated in the public domain
- The information contained in the submission may be used by D.E.A.N. for promotional purposes. This may include social media and imagery contained in the application.
- Applicants are expected to grant D.E.A.N. consent to publish any material contained in the application
- Submissions must be submitted to deancoord@gmail.com no later than March 31, 2020



Tammy Rankin Legacy Award

Nomination form

Name of Nominee: _____

Nominee Organization: _____

Nominee's email: _____

Nominee's daytime phone number: _____

Name of Nominator: _____

Nominator Organization: _____

Nominator's email: _____

Nominator's day time phone number: _____

***Attach separate sheets for more space and mark, "see attached"**

1. Summary of nominee – please provide a short description of the nominee.
2. How did this individual or organization go above and beyond to support a seniors?
3. How did this care make a meaningful impact the lives of a senior(s) and their caregiver(s)?

☐ ☒ if you are including attachments such as letters of support (optional)

_____ Number of attachments

Date:	25/03/2021
Refer to:	Council
Meeting Date:	April 29, 2021
Action:	null
Notes:	Corresp.
Copies to:	

From: [Becky Jamieson](#)
To: [Maralee Drake](#)
Subject: FW: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement request - gala date October 21st 2021
Date: March 25, 2021 8:20:47 AM
Attachments: [1 2020DRMG Guidebook virtual v.pdf](#)
[image001.png](#)

FYI



[Becky Jamieson](#)

Clerk

The Corporation of the Township of Brock

1 Cameron Street East, P.O. Box 10

Cannington, Ontario, L0E 1E0

Tel: 705-432-2355, Ext. 240 | Toll-Free: 1-866-223-7668 | Fax: 705-432-3487

bjamieson@townshipofbrock.ca | townshipofbrock.ca | choosebrock.ca

This electronic message and all contents contain information from which may be privileged, confidential or otherwise protected from disclosure. If you are not the intended recipient or the person responsible for delivering the email to the intended recipient, any disclosure, copy, distribution or use of the contents of this message is prohibited. If you have received this email in error, please notify the sender immediately by return email and destroy the original message and all copies.

From: Laura <laura@ontariophil.ca>
Sent: March 24, 2021 3:13 PM
To: John Grant <john.grant@brock.ca>; mayor@brock.ca
Cc: Becky Jamieson <Becky.Jamieson@brock.ca>
Subject: Fwd: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement request - gala date October 21st 2021

Hello Mayor Grant;

The email address I had in my files was wrong. I am trying to get this to you again. Cheers,
 Laura

Laura Vaillancourt | Executive Director
 Ontario Philharmonic | www.ontariophil.ca
 18 Simcoe Street South | Oshawa | ON L1H 4G2
 905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca

From: "Laura" <laura@ontariophil.ca>
Sent: 3/24/21 1:03 PM
To: "jgrant@townshipofbrock.ca" <jgrant@townshipofbrock.ca>
Cc: "Becky Jamieson" <becky.jamieson@brock.ca>
Subject: Fwd: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement

request - gala date October 21st 2021

Dear Mayor Grant;

I would like to begin with offering sincere condolences to you, your council colleagues, Township of Brock staff and residents for the loss of Mayor Debbie Bath-Hadden. She was such a vibrant spirit.

The purpose of my email is to request the endorsement of Township of Brock for the 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic.

Your endorsement includes the use of the corporate logo on our gala material. A sample is attached - our 2020 Sponsor Guidebook. There is no monetary requirement.

The gala is a virtual format again this year due to Covid circumstances. There is more information in the original email sent on February 22, 2021.

If you have any questions, I am pleased to receive them via email or phone. At your convenience. I routinely work weekends also.

Walking with you in sympathy now and in friendship always,

Laura

Laura Vaillancourt | Executive Director
Ontario Philharmonic | www.ontariophil.ca
18 Simcoe Street South | Oshawa | ON L1H 4G2
905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca

From: "Laura" <laura@ontariophil.ca>
Sent: 2/22/21 10:56 AM
To: <john.henry@durham.ca>, <dbarton@uxbridge.ca>, <shaun.collier@ajax.ca>, <mayor@ajax.ca>, <mayor@pickering.ca>, <dbathhadden@townshipofbrock.ca>, <mayordrew@scugog.ca>, <mayor@clarington.net>, <mayor@whitby.ca>, <Dan.carter@oshawa.ca>
Cc: "Sherry Bassin" <bassinhockey@gmail.com>, "emily@lennybureau.com" <emily@lennybureau.com>, "profjohn1943@gmail.com" <profjohn1943@gmail.com>, "Jim Roughley" <jroughley@roughleyinsurance.com>, "ilabricciosa@opuc.on.ca" <ilabricciosa@opuc.on.ca>, "patricia.nokes@durham.ca" <patricia.nokes@durham.ca>, "Colleen Baskin" <cbaskin@town.uxbridge.on.ca>, "Jennifer.Larmand@ajax.ca" <jennifer.larmand@ajax.ca>, "credmond@pickering.ca" <credmond@pickering.ca>, <bjamieson@townshipofbrock.ca>, "Lisa Fitton" <lfitton@scugog.ca>, "Lisa Fitton" <lisa.fitton@scugog.ca>, "ellish@whitby.ca" <ellish@whitby.ca>, <hKeyzers@clarington.net>, "lgeorge@oshawa.ca" <lgeorge@oshawa.ca>, "morton@oshawa.ca" <morton@oshawa.ca>
Subject: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement request - gala date October 21st 2021

Good Day Mayors Ryan, Barton, Bath-Hadden, Collier, Mitchell, Carter, Drew, Foster and Regional Chair & CEO Henry;

It is our pleasure to inform you of the 2021 Durham Region Mayors' Gala supporting Ontario

Philharmonic (OP) developments. The 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic is scheduled for October 21st, 2021 at 6pm. The 2021 gala is a virtual format for the second year, due to Covid circumstances.

Ontario Philharmonic is, once again, asking for your endorsement of the gala and permission to use your municipality's corporate logo on our gala material. I have attached a 2020 sample for your convenience, demonstrating how OP displays the logos.

As leaders of the region, we deeply appreciate your endorsement of the gala. In this second year of producing a virtual format gala, we are sure to engage many more corporate sponsors.

Since OP's 2020 gala, we have been adjusting our community program series that serves under-served children/youth of Durham Region. The need has changed and increased due to the myriad effects of Covid, especially social distancing and sheltering at home practices.

Your endorsement of the gala assists us greatly in continuing this work and enlisting the help of corporate sponsor prospects.

Please respond to this request for your endorsement with use of your municipal logo at your earliest convenience.

Thank you again for your valuable support.

Sincerely;

Laura

CC: Board of Directors: Sherry Bassin | Jim Roughley | Emily Hughes | Ivano Labricciosa | John Green

Laura Vaillancourt | Executive Director
Ontario Philharmonic | www.ontariophil.ca
18 Simcoe Street South | Oshawa | ON L1H 4G2
905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca



Pflag Canada Durham Region

6-470 King St W, Suite 108
Oshawa, ON L1J 2K9 9052310533
Inquiries@pflagdurhamregion.com
www.PFLAGDurhamRegion.com

Date:	13/04/2021
Refer to:	Not Applicable
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp.
Copies to:	

April 8th, 2021

RE: Flag Raising & Proclamation for May 17th 2021

Executive Committee, Management and Members

For the next edition of the **International Day Against Homophobia, Transphobia and Biphobia** on May 17th, 2021, **PFLAG Canada Durham Region** which works within local and regional communities, invites the Municipalities, Community Organizations and Businesses of the Durham Region to individually make a meaningful gesture to combat Homophobia, Transphobia and Biphobia as well as honour the countless lives lost due to intentional acts of violence or prejudice.

With Covid-19 isolating and weighing on the mental health of many people in our community, it is now more important than ever for municipalities to show their support and acceptance for the 2SLGBTQI+ community.

We therefore request Municipalities to pass a resolution proclaiming May 17th as the International Day Against Homophobia, Transphobia and Biphobia its next meeting. With each year more and more municipal officials in Canada are using this day to send out to their fellow citizens a message of acceptance, openness, and hope.

The second effort we propose consists in raising the Pride Flag on one of the municipality's flagpoles on **May 17th** and keeping the flag up for a week. We understand that a flag raising ceremony may not be possible due to the restrictions of Covid-19 so instead, we ask that the municipality allows one or two of our staff members to be present at the time of the flag raising to take pictures.

Sincerely yours,

Natasha Francis (Pronouns She/Her/They/Them)

PFlag Placement Student

PFLAG Canada Durham Region

Natasha@pflagdurhamregion.com





The Lions Club of Beaverton
(Incorporated under the Laws of Ontario on August 18, 1954)

531/21

Date:	13/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp.
Copies to:	

March 12th, 2021

Township of Brock
1 Cameron St. E
Cannington, ON L0E 1E0

Dear Council,

The Beaverton Lions Club respectfully requests Council's consideration to support an electronic LED sign in front of the Beaverton Town Hall to replace the existing damaged sign. The club passed a motion to fund the sign subject to Council approval. The new sign is 8ft. wide and 3ft. high fitting between the current structure and maintaining the current top. The sign will serve as a community board for the use of all community organizations, the Township, and users of the Hall to promote their activities. The Club has reached out to several service clubs and users of the Hall who are very happy with this project.

Having had an on-site meeting with Paul Lagrandeur and contact with Becky Jamieson it was decided to request that the Township provide in-kind support if needed and purchase the sign on behalf of the Club to save H.S.T. The Club is aware that the sign will become Township property and will sign an agreement as such. The sign will be shipped free from California. The Club intends to install the sign this spring and understands that this request may involve Finance, Clerks, Works/Facilities and Buildings.

Should Council support the project please establish a contact person.

Sincerely,

Cody Windebank

President

Terry Clayton

Committee Chair

P.O. Box 297
Beaverton, ON, L0K 1A0



Registered Nurses' Association of Ontario
L'Association des infirmières et infirmiers
autorisés de l'Ontario

DURHAM NORTHUMBERLAND CHAPTER

Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp.
Copies to:	

Mayor Grant
Township of Brock
1 Cameron Street East
Cannington, ON L0E 1E0

Thursday April 15th, 2021

Re: Request for Nursing Week Proclamation

Dear Mayor Grant

The Registered Nurses' Association of Ontario (RNAO) is the professional association representing registered nurses, nurse practitioners, and nursing students in Ontario. Since 1925, RNAO has advocated for healthy public policy, promoted excellence in nursing practice, increased nursing's contribution to shaping the health care system, and influenced decisions that affect nursing and the public they serve.

The COVID-19 pandemic has brought to light the courage and commitment that nurses show every day in their work and the important role that nurses play in the community. We are once again preparing to celebrate **Nursing Week** this year, which will run from **May 10th to May 16th, 2021**, and looking to obtain proclamations. Nursing Week is an opportunity to celebrate the unique contributions of nurses individually and together working across all health care sectors, including those who remain on the frontlines in hospitals, primary care centers, and long-term care, but also those in public health, the community sector, education, and research. From the bedside to the boardroom, nurses continue to make the world a healthier place.

We would be honoured if the Township of Brock observed and proclaimed this week as "Nursing Week" to show acknowledgement and support for local nurses across Durham and surrounding regions (please see template attached for sample proclamation or are welcome to submit your own version). We plan to share the proclamations with nurses to show recognition on behalf of city officials and the community.

Warm Regards,

Kathleen Pikaart, BSc (Hon), BScN, RN
President
RNAO Durham Northumberland Chapter

PROCLAMATION

NURSING WEEK May 10 – 16, 2021

- WHEREAS:** the health and well-being of people is the biggest priority for our community; and
- WHEREAS:** in the [name of city/town/municipality], nurses are an integral part of our health-care system, serving residents of all ages with skill, knowledge, caring and commitment; and
- WHEREAS:** nurses have a unique perspective and a broad understanding of the concepts of good health; and
- WHEREAS:** members of the national nursing community are recognizing the hard work and dedication of nurses, in the [name of city/town/municipality] **May 10-16, 2021**, has been designated "**Nursing Week**" to acknowledge and promote the contributions of nurses in our community.
- NOW
THEREFORE:** I, [name of Mayor], on behalf of [name of city/town municipality] and the [number of people in city/town/ municipality] do hereby proclaim **May 10-16, 2021** as "**Nursing Week**" in the [name of city/town/ municipality], and encourage everyone to recognize the many services provided by our dedicated nurses and the tremendous contribution they make to the health of our residents and the well-being of our community every day.

Signature of Mayor



Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp
Copies to:	

Township of Brock Interoffice Memorandum

To: Mayor and Members of Council

From: Maralee Drake, Deputy Clerk

Subject: Beaverton Harbour Advisory Committee – Updated Terms of Reference

Date: Monday, April 19, 2021

Please find enclosed updated Terms of Reference for the Beaverton Harbour Advisory Committee (BHAC).

Changes have been made to Section 2. Mandate of the Terms of Reference to remove the Beaverton Skywoman project and to focus the direction of the committee on providing recommendations for the Beaverton Harbour based on previously conducted studies.

A decision on the Beaverton Skywoman project will be made by Council.

End of Memorandum

Respectfully submitted,

Maralee Drake
Deputy Clerk



Beaverton Harbour Advisory Committee (BHAC)

Terms of Reference

1. Purpose

The Beaverton Harbour Advisory Committee is an advisory Committee of Council, established to complete a review of the Beaverton Harbour and provide input and recommendations to Council on different projects.

2. Mandate

- 2.1 With staff support the committee will review the Beaverton Harbour and Torah Island Harbour and provide recommendations to Council prior to December 31, 2021. In doing so the committee will review and consider the following:

- Beaverton Harbour Study – 1997;
- Beaverton Harbour ReWilding project – 2018;
- Beaverton Harbour public survey - 2019;
- Existing practices;
- Daytime and overnight parking at the Harbour; and
- Ensure the public and community organizations are consulted during the review.

3. Term

- 3.1 Membership on the BHAC will be for the length of time the Committee takes to complete their work.

4. Composition

- 4.1 Council shall attempt to ensure that the BHAC is comprised of seven (7) voting members, appointed by Council, consisting of
- Two (2) members of Council;
 - One (1) representative from Beaverton Special Events;
 - One (1) representative from the Beaverton Lions Club;
 - One (1) representative from the Torah Island Ratepayers' Association; and
 - Two (2) citizen representatives.
- 4.2 Depending on the level of interest expressed by individuals, Council may, at its discretion reduce or increase the number of Committee members.
- 4.3 The Mayor is a non-voting ex-officio member of the BHAC

5. Staff Support

- 5.1 The BHAC will receive administrative support from the Clerk's Department. This will include the recording of minutes, preparation of agenda, support necessary to convene a meeting and other support as may be necessary from time to time.
- 5.2 Additional Township staff will be consulted and provide input and advice to the Committee as required.

6. Membership Selection

- 6.1 The Township of Brock shall place an advertisement within the newspaper and on its website requesting expressions of interest from individuals who are residents of the Township of Brock.
- 6.2 Applicants shall be required to submit a written expression of interest outlining their reasons for applying and whether they have any environmental background or experience.
- 6.3 Upon receipt of applications, Staff shall review all expressions of interest, and consider all candidates' qualifications.
- 6.4 Staff will provide a report to Council with recommendations for appointments to the BHAC.
- 6.5 The Township of Brock Term Limits – Advisory Boards and Committees Policy shall be taken into consideration when selecting members to BHAC.

- 6.6 All persons appointed to the BHAC shall attend a mandatory Advisory Board and Committee Training prior to their first meeting.
- 6.7 All members appointed to the BHAC shall be required to adhere to the established by-laws, policies, and procedures of the Corporation of the Township of Brock that pertain to the committee.

7. Chair/Vice-Chair

- 7.1 A Chair, whose responsibility will be to chair the meetings in accordance with the Township's procedural by-law, shall be selected by the Committee at the start of the Committee.
- 7.2 A Vice-Chair shall also be selected for the same term as the Chair and shall act as Chair when the Chair is absent or unable to fulfill his/her duties.

8. Meetings of BHAC

- 8.1 The Committee shall hold as many meetings as required to complete its work. A schedule of meetings shall be established by staff and approved by the committee. Meetings shall be scheduled at a frequency established by the Committee that best addresses the workload and objectives of the Committee. In accordance with the requirements of the *Municipal Act*, notice of meetings shall be posted on the municipal website.
- 8.2 A member of the Clerk's Department shall act as recording secretary for the Committee and, in consultation with the Chair, be responsible for preparing the meeting agendas. Should a member of the Clerk's Department be unable to fulfill these duties, the Committee shall appoint an acting secretary.
- 8.3 All meetings of the Committee shall be open to members of the public.

9. Quorum

- 9.1 A quorum shall consist of a simple majority of appointed voting-members.
- 9.2 If there is no quorum after fifteen (15) minutes of the scheduled start time, the meeting will be cancelled and/or rescheduled.

10. Annual Work Plan/Budget

- 10.1 Council and the BHAC shall work jointly in developing an annual work plan. The allocation of fiscal resources necessary to implement the work plan shall be at the discretion of Council.

10.2 The BHAC shall attend as a delegation before Council to present its accomplishments and report in June of 2021.

11. Conflict of Interest

11.1 A conflict of interest may arise for Committee members when their personal business interests conflict with the duties and decisions of the Committee. Municipal conflict of interest requirements as defined by the *Municipal Conflict of Interest Act* will apply to the Committee.

12. Reimbursement of Expenses

12.1 It is acknowledged that there are no per diems for any Committee positions and it is acknowledged that none of the above positions shall be paid for their services.

12.2 All Committee members are considered volunteer positions.

13. Attendance Policy

13.1 Each member of the BHAC shall assume an active role in the Committee's activities. After three (3) consecutive absences, the Chair or staff member shall follow-up with the absent member to determine the cause of the absences. Members who miss three (3) consecutive meetings without providing reasonable cause and/or who are not fulfilling their respective responsibilities, as determined by the Committee, will be deemed to have forfeited their membership.

**Original Terms of Reference Approved by Committee of the Whole on September 21, 2020 Resolution No. 19.7.*

Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	Null
Notes:	Corresp.
Copies to:	

J.N.D.

LEASE AGREEMENT

THIS AGREEMENT made this 31st day of MARCH, 2021.

BETWEEN:

Sunderland and District Historical Society
(hereinafter called the "Lessee")

OF THE FIRST PART;

- and -

The Corporation of the Township of Brock,
(hereinafter called the "Lessor")

OF THE SECOND PART.

WHEREAS the Lessee desires to use the lands and premises located at 14 Church Street North, Sunderland urban area, for the purposes of a museum to store and display historical artifacts pertinent to the geographical area in which it is located (hereinafter referred to as the "Lands");

And WHEREAS the Corporation of the Township of Brock is agreeable to the use of the Lands by the Lessee for a term of ten (10) years to be computed from the 1st day of April, 2021, and from thenceforth ensuing and to be fully completed and ended on the 31st day of March, 2031;

YIELDING AND PAYING THEREFOR the sum of ONE (\$1.00) DOLLAR for the entire term of this lease, the receipt of which is hereby acknowledged by the Lessor upon execution of these presents.

AND THE SAID LESSEE DOTH HEREBY COVENANT WITH THE SAID LESSOR AS FOLLOWS:

1. That it will pay all charges for electric energy, water supply, heat, gas, and janitorial services used by the Lessee in the subject premises.
2. That it will well and sufficiently maintain the said premises and buildings now located thereon or which may hereafter be erected thereon, in good and substantial repair.
3. That it will not erect thereon any buildings, not make any major alterations to the grades of the said premises or substantially alter the landscaping thereof without the express approval in writing of the said Lessor.
4. That it will maintain sufficient contents and liability insurance and the Lessor shall be named as an additional insured in the amount of not less than \$2,000,000, a copy of which shall be provided.
5. That the said premises will not, during the said term, be at any time used for any purpose other than for a museum and the storage and display of historical artifacts open to the public and operated by the Lessee; provided that the Lessee may make reasonable charges for admission to the building occupied and operated by them for the said historical museum purposes.
6. That it will not, during the said term, assign, sublet, transfer or set over the whole or any part of the said premises without leave and the Lessee hereby waives and renounces the benefit of any present or future act of the legislature of Ontario which allow the Lessee to assign or sublet this lease without leave of the Lessor.

AND THE LESSOR DOTH HEREBY COVENANT WITH THE SAID LESSEE AS FOLLOWS:

1. That it will maintain sufficient fire insurance coverage on the said premises and maintain sufficient liability coverage for its own purposes.

2. That it will allow the Lessee quiet enjoyment of the premises.
3. That it will maintain and properly groom any flower beds and landscaping on the said premises in a good and husbandlike manner.
4. That it will be responsible for snow removal from the said premises as may be required for the purposes of the said Lessee.
5. That it will maintain the existing heating and air conditioning system, inclusive of annual inspections, present within the building and the existing security system on an on-going basis.
6. That it will maintain all fire extinguishers inclusive of inspections as well as elevator repairs, maintenance, inspections, and licences.
7. That the existing window coverings, stacking chairs, desks, and stationary shelving units will be provided to the Lessee at no cost throughout the term of this Agreement.

IT IS FURTHER DECLARED AND AGREED:

1. That this lease may be terminated by either party by giving the other party six (6) months notice of its intention to terminate this lease.
2. Such notice shall be by way of a registered letter forwarded by the Lessor to the Lessee at the following address:

Sunderland & District Historical Society
c/o Larry Doble
35 Ianson Drive
Greenbank, Ontario
L0C 1B0

and, if forwarded by the Lessee to the Lessor, at the following address:

Clerk's Department
Corporation of the Township of Brock
1 Cameron Street East, P.O. Box 10
Cannington, Ontario
L0E 1E0

IN WITNESS WHEREOF the parties hereto have hereunto affixed their Corporate Seals under the hands of their proper signing officers in that behalf.

SIGNED, SEALED AND DELIVERED
In the Presence of

THE CORPORATION OF THE TOWNSHIP OF BROCK

MAYOR

CLERK

SUNDERLAND AND DISTRICT HISTORICAL SOCIETY

Lynnea Doble
Witness

Larry N. Doble CHAIRMAN
Per:

Beryl DeKoker
Witness

J. Prista TREASURER
Per:

From: [Chris Terzis](#)
To: [Maralee Drake](#)
Cc: [Ingrid Svelnis](#); [Paul Lagrandeur](#); [Cria Pettingill](#)
Subject: Request for Enbridge Line into [REDACTED] Cedarhurst Beach Road
Date: April 19, 2021 3:24:33 PM
Attachments: [Request for approval of Enbridge line into \[REDACTED\] Cedarhurst Beach Road 04 19 2021...pdf](#)

Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp.
Copies to:	

Hi Maralee

Per instructions from Ingrid Svelnis, please find our request with supporting information for the Township to allow Enbridge to install a line across the last bit of Concession 3 road allowance, joining into our property at [REDACTED] Cedarhurst Beach Road. Ingrid advised that there is a Township meeting later this month. Could you kindly ensure our request is included on the agenda.

Should you have any questions or need more information please let me know.

Thank you very much

Chris Terzis

[REDACTED]

Request for approval of Enbridge line into [REDACTED] Cedarhurst Beach Road.

Location

We are located at the dead end portion of CC3 north of the ravine, where CC3 joins into our property. There is no lake access on the north side of the ravine without crossing our property. I have attached the Township aerial photo on file received from Debbie Vandenakker, and also a recent picture of this last leg of CC3 road allowance looking east. On both these pictures, a red line has been shown on how the Enbridge line would come in.

Background/History/ Brock Township Report

I have had multiple discussions with Paul Lagrandeur (copied) on this last bit of road allowance. Both sides of this last portion of CC3 road allowance function as a (snow/rain) storm water catch, drainage system. The exposed ravine itself, a steep drop off, full of large jagged rocks and sharp tree branches, fills to river levels during storms and snow meltdowns. To experience the phenomena this spring was fascinating. I was advised last year 2020, that the challenges this road allowance poses for public use - including no lake access (north side of ravine), public liability concerns, costs to re-develop, were amongst the reasons that led to this location not being on the recommended list of locations in the Brock Township report for future development sites. My understanding is this report is up for review this year.

CC3 Road Allowance Maintenance. (west of Cedarhurst Beach Road)

The Township has always had an arrangement with prior owners of [REDACTED] Cedarhurst Beach Road, whereby maintenance for this last bit of CC3 north of the ravine, is performed by the owners of 26080 Cedarhurst Beach Rd. It is our intention to keep this partnership with the Township, and continue with this road maintenance.

Canada Post and Miller Waste Collection

Our Waste collection and Canada Post mail delivery occurs on Cedarhurst Beach Rd. Canada Post and Miller Waste have both told us they will not drive their vehicles down CC3 road allowance to our house, and instructed us to place waste for pickup, and our mail box on Cedarhurst Beach Road.

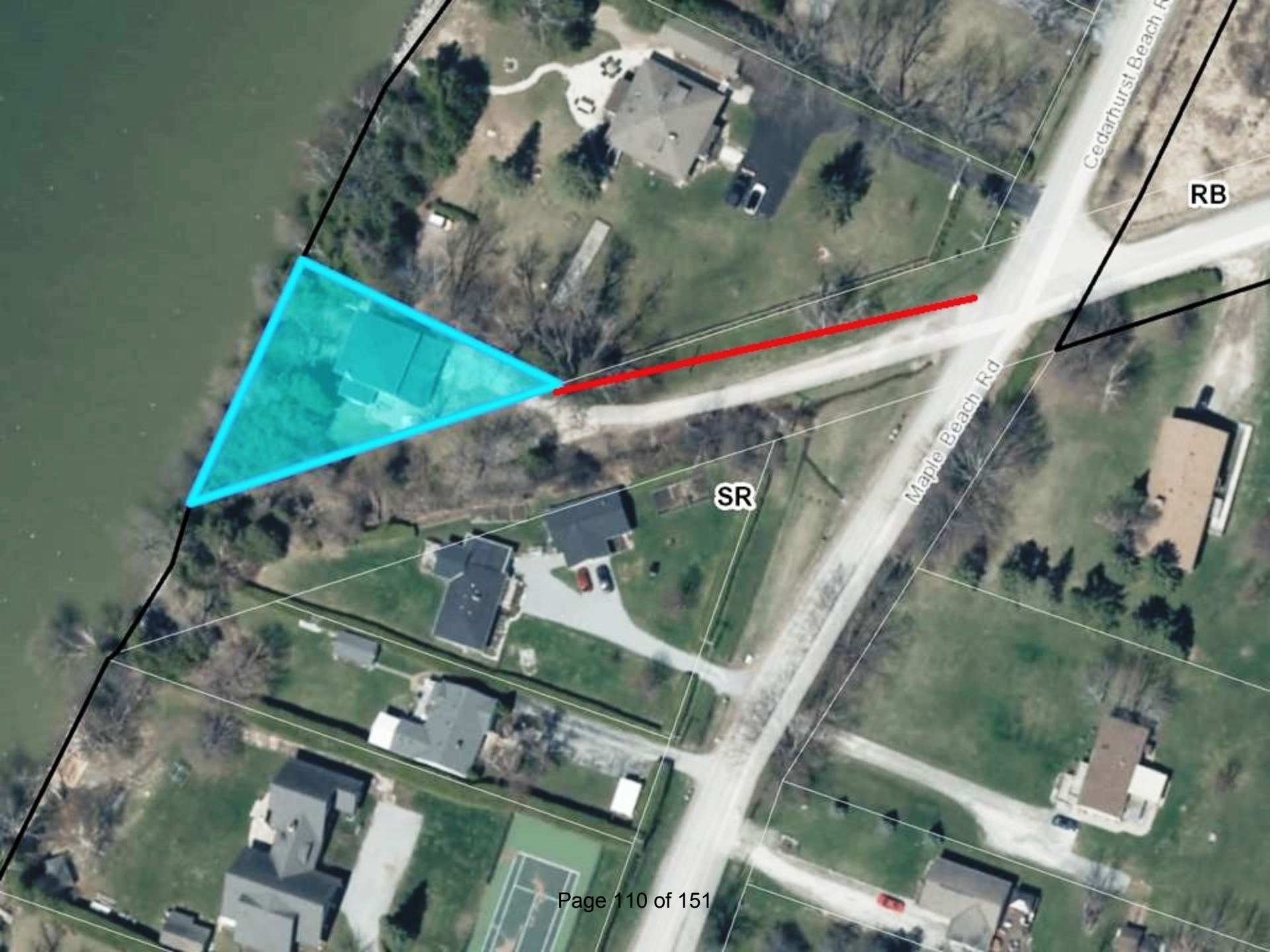
Re: our mailbox; I have to say coming from a community based mailbox service, seeing the flag up on our mailbox was very exciting for us and personal.

My wife and I have retired to [REDACTED] Cedarhurst Beach Road. Enbridge have advised us that they can put a gas line in for us prior to next winter. They have told us that the process takes time, and have asked us to obtain approval for the easement from the Township.

Please let me know if you have any questions or need any more information from us.

Thank you very much

Chris Terzis [REDACTED]



Cedarhurst Beach Rd

RB

SR

Maple Beach Rd



THE CORPORATION OF THE TOWNSHIP OF BROCK

BY-LAW NUMBER 3032–2021

A BY-LAW TO CANCEL, REDUCE OR REFUND TAXES

WHEREAS Section 357 and 358 of the Municipal Act, S.O. 2001, c. 25, as amended, provides for an application to Council for the cancellation, reduction or refund of taxes levied in the year in respect of which the application is made;

AND WHEREAS certain applications to the Council for cancellation, reduction or refund of taxes levied have been made;

AND WHEREAS it is deemed advisable to cancel, reduce or refund such taxes as set out in Schedule “A” attached hereto and forming part of this by-law;

NOW THEREFORE the Council of the Corporation of the Township of Brock enacts as follows:

1. THAT the Treasurer is hereby authorized and directed to cancel, reduce or refund certain taxes as outlined in Schedule “A” attached hereto and forming part of this by-law.
2. THAT this by-law shall come into force and effect on the date of its enactment.

THIS BY-LAW READ A FIRST AND SECOND TIME THIS 26th DAY OF APRIL, 2021.

MAYOR

CLERK

THIS BY-LAW READ A THIRD TIME AND FINALLY PASSED THIS 26th DAY OF APRIL, 2021.

MAYOR

CLERK

SCHEDULE "A"

Roll #	Name	Year	# of Days	Township Taxes	Region Taxes	School Bd Taxes	Total	Description
010 004 09720	Beaverton Commons	2019	56	46.49	61.41	16.29	124.19	Class change from exempt
		2020	366	305.87	398.15	104.04	\$ 808.06	
010 004 09722	Beaverton Commons	2019	56	46.49	61.41	16.29	\$ 124.19	Class change from exempt
		2020	366	305.87	398.15	104.04	\$ 808.06	
030 006 17810	Marshman	2019	154	(152.33)	(201.21)	(640.09)	\$ (993.63)	Class change from CT to RT
050 007 01800	Ioannou	2019	32	(37.06)	(48.95)	(12.99)	\$ (99.00)	Structure fire
		2020	366	(413.83)	(538.68)	(140.76)	\$ (1,093.27)	
040 004 28800	Watman	2019	191	(391.39)	(516.98)	(137.15)	\$ (1,045.52)	House demolished
040 003 12200	McMann	2019	33	(115.56)	(152.64)	(40.49)	\$ (308.69)	Structure fire
		2020	366	(1,295.46)	(1,686.30)	(440.64)	\$ (3,422.40)	
010 005 43700	Env.Can. Brunne	2020	278	(78.58)	(102.29)	(26.73)	\$ (207.60)	Structure fire
020 040 02600	2404202 Ont Inc	2020	366	(537.15)	(665.56)	(2,089.00)	\$ (3,291.71)	Class change from CT to RT
030 006 17300	Reg. of Durham	2020	203	(681.10)	(886.59)	(231.67)	\$ (1,799.36)	Class change from RT to EN
040 001 28600	Frisby	2020	198	(1,075.57)	(1,400.07)	(365.85)	\$ (2,841.49)	Demolished home to rebuild
TOTAL				(4,073.31)	(5,280.15)	(3,884.71)	(13,238.17)	

THE CORPORATION OF THE TOWNSHIP OF BROCK

BY-LAW NUMBER 3033-2021

BEING A BY-LAW TO AMEND BY-LAW NUMBER 1977-2006-PP, BEING A BY-LAW TO REGULATE AND CONTROL THE USE OF PARKS AND PARK BUILDINGS UNDER THE JURISDICTION OF THE TOWNSHIP OF BROCK

WHEREAS Council deems it appropriate to amend By-law Number 1977-2006-PP to prohibit fishing from public docks and boat launch ramps and has the authority to do so;

NOW THEREFORE BE IT ENACTED by the Council of the Corporation of the Township of Brock as follows:

1. THAT Section 1 of By-law Number 1977-2006-PP is amended by inserting the following clauses which shall read as follows and that the remaining subclauses of Section 1 be re-lettered:
 - a) "Fish" means fishing for, catching, or attempting to catch fish by any method; and,
 - b) "Township Dock" means any structure located on lands owned or under the control of the Township of Brock and used as a dock or boat launch or recovery area together with all adjacent and underlying lands related thereto;
2. THAT Section 3 of By-law Number 1977-2006-PP is amended by inserting the following clauses which shall read as follows:

"z) fish from a Township Dock unless written approval is received from the Municipal Clerk."
3. THAT this By-law shall come into force and effect upon the date of its passage.

THIS BY-LAW READ A FIRST, SECOND AND THIRD TIME THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

The Corporation of The Township of Brock

By-law Number 3035-2021

To levy and collect taxes for the year 2021

Whereas subsection 290 of the Municipal Act, S.O. 2001, c. 25, as amended (the “Act”), provides for the council of a local municipality in each year to prepare and adopt a budget including estimates of all sums required for the purposes of the municipality; and

Whereas subsection 312(2) of the Act provides that for the purposes of raising the general local municipal levy the council of a local municipality shall, each year, pass a by-law levying a separate tax rate, as specified in the by-law, on all the assessment in each property class in the local municipality rateable for local municipal purposes; and

Whereas subsection 257.7(1) of the Education Act, R.S.O. 1990, c. E.2, as amended, requires a municipality to levy and collect tax rates for school purposes on such tax rates as are prescribed by Ontario Regulations and

Whereas The Regional Municipality of Durham has passed By-law Number 07-2021 to establish tax ratios and to specify the percentage by which tax rates are to be reduced for prescribed property sub class, By-law Number 08-2021 to set and levy the 2021 rates of taxation for Regional General Purposes and By-law 10-2021 to set the 2021 rates for Regional Solid Waste Management Purposes and By-law 09– 2021 to set the 2021 rates for Regional Transit Purposes;

Now therefore the Council of the Corporation of the Township of Brock enacts as follows:

1. The taxes for the year 2021, together with all other rents or rates payable as taxes shall be due and payable on and from the 1st day of January 2021.
2. For the year 2021, The Corporation of the Township of Brock shall levy upon the Residential Assessment, Farm Assessment, Managed Forest Assessment, Commercial Assessment, Industrial Assessment, Multi-Residential Assessment and Pipeline Assessment the rates of taxation per current value assessment for general purposes and estimates for the current year as set out in Schedule “A” attached to this By-law.
3. The levy provided for in Schedule “A” shall be reduced by the amount of the interim levy for 2021.
4. For payment-in-lieu of taxes due to The Corporation of the Township of Brock, the actual amount due to The Corporation of the Township of Brock shall be based on the assessment roll and the tax rates for the year 2021.
5. All taxes and other rates payable as taxes shall, subject to Section 13, be paid in 2 installments, and shall be due and payable on or before the respective dates set out below:

Installment 1 - July 23, 2021

Installment 2 - September 24, 2021

6. A percentage charge of 1.25 per cent is imposed as a penalty for nonpayment of taxes on first day of default and on the first day of each calendar month thereafter in which default continues, until December 31, 2021.
7. Interest charges in respect of unpaid taxes other than those levied for the current year, shall be added at the rate of 1.25 per cent per month for each month or fraction of it until the taxes in default are paid.
8. The Tax Collector shall be authorized to accept part payment from time to time on account of any taxes due; such part payment shall not affect the collection of any percentage charge imposed or collectable under Section 6 or Section 7 in respect to nonpayment of taxes or of any installment thereof.
9. Nothing in this by-law shall prevent the Tax Collector from proceeding at any time with the collection of any rate, tax or assessment, or any part thereof, in accordance with the provisions of the statutes and by-laws governing the collection of taxes.
10. Where the sum of the total annual taxes for which any person is chargeable in the 2021 taxation year for municipal, school, local improvement and other special purposes, upon any real property assessed in one parcel to the same owner would according to the assessment thereon be less than \$10.00, the sum of such taxes shall be deemed to be \$10.00 and shall be so entered on the Tax Collector's roll and the difference between the sum that would have been entered but for this section and the sum of \$10.00 shall form part of the general funds of the Corporation of the Township of Brock.
12. The Tax Collector may mail, or cause to be mailed to the residence or place of business of such person indicated on the last revised assessment roll, a notice specifying the amount of taxes payable.
13. All moneys raised, levied or collected under the authority of this by-law shall be paid into the hands of the Treasurer to be applied and paid to such persons and in such manner as the laws of Ontario and the by-laws or resolutions of the Council direct.
14. The Tax Collector is hereby authorized to revise assessments and resulting tax rates as deemed necessary in conjunction with changes made by the Municipal Property Assessment Corporation (MPAC) to the returned roll and revised in the Online Property Tax Analysis Program (OPTA).
15. If any section or portion of this By-law or of Schedule "A" is found by a court of competent jurisdiction to be invalid, it is the intent of the Council of the Corporation of the Township of Brock that all remaining sections and portions of this By-law and of Schedule "A" continue in force and effect.

This By-law read a first, second and third time this 26th day of April, A.D., 2021.

Mayor
John Grant

Deputy Clerk

Schedule A
The Corporation of the Township of Brock
2021 Tax Rates and Levy

Code	Property Class	CVA	Township Tax Rate	Region Tax Rate	Education Tax Rate	Total Tax Rates	Total Township Levy	Total Regional Levy	Total Education Levy	Total Levy
CTN	Commercial Occupied	71,775,131	0.00666658	0.00865494	0.00880000	0.02412152	478,494.41	621,209.45	631,621.15	1,731,325.01
CUN	Commercial Excess Land	1,768,000	0.00666658	0.00865494	0.00880000	0.02412152	11,786.51	15,301.93	15,558.40	42,646.84
CXN	Commerical Vac Lands	2,742,200	0.00666658	0.00865494	0.00880000	0.02412152	18,281.09	23,733.58	24,131.36	66,146.02
GTN	Parking Lots	626,000	0.00666658	0.00865494	0.00880000	0.02412152	4,173.28	5,417.99	5,508.80	15,100.07
XTN	New Construction- Com	5,290,900	0.00666658	0.00865494	0.00880000	0.02412152	35,272.19	45,792.42	46,559.92	127,624.53
FT	Farm	405,491,086	0.00091953	0.00119379	0.00038250	0.00249582	372,860.33	484,071.20	155,100.34	1,012,031.87
ITN	Industrial Occupied	14,837,400	0.00930332	0.01207813	0.00880000	0.03018145	138,037.12	179,208.05	130,569.12	447,814.28
IUN	Industrial Excess Land	471,000	0.00930332	0.01207813	0.00880000	0.03018145	4,381.86	5,688.80	4,144.80	14,215.46
IXN	Industrial Vac Lands	662,400	0.00930332	0.01207813	0.00880000	0.03018145	6,162.52	8,000.55	5,829.12	19,992.19
JTN	New Construction-Industrial	6,237,500	0.00930332	0.01207813	0.00880000	0.03018145	58,029.47	75,337.34	54,890.00	188,256.81
JUN	New Construction-Ind Ex Ld	74,700	0.00930332	0.01207813	0.00880000	0.03018145	694.96	902.24	657.36	2,254.55
JXN	New Construction-Ind Vc Ld	0	0.00930332	0.01207813	0.00880000	0.03018145	0.00	0.00	0.00	0.00
MT	Multi-Residential Occupied	18,103,400	0.00858149	0.01114101	0.00153000	0.02125250	155,354.21	201,690.16	27,698.20	384,742.57
NT	New Multi-Residential Occ	5,479,000	0.00505740	0.00656582	0.00153000	0.01315322	27,709.51	35,974.13	8,382.87	72,066.51
PTN	Pipeline	5,253,000	0.00565234	0.00733820	0.00880000	0.02179054	29,691.73	38,547.56	46,226.40	114,465.69
RT	Residential	1,725,592,392	0.00459764	0.00596893	0.00153000	0.01209657	7,933,650.94	10,299,940.20	2,640,156.36	20,873,747.50
TT	Managed Forest	7,899,600	0.00114941	0.00149223	0.00038250	0.00302414	9,079.88	11,788.02	3,021.60	23,889.49
Total		2,272,303,709					\$9,283,660.00	\$12,052,603.62	\$3,800,055.80	25,136,319.42

BY-LAW NUMBER 3036-2021

**BEING A BY-LAW TO AUTHORIZE THE CORPORATION OF THE TOWNSHIP OF BROCK
TO ENTER INTO A SITE PLAN AGREEMENT WITH 2753883 ONTARIO INC. REGARDING
PART LOT 1, CONCESSION 13, BROCK
(MUNICIPALLY KNOWN AS B22575 LAKERIDGE ROAD, CANNINGTON, ON)**

WHEREAS Section 41 of the Planning Act, R.S.O. 1990 provides that a municipality may enter into agreements dealing with and ensuring the provision of any or all of the facilities, works or matters mentioned therein;

AND WHEREAS the Council of the Corporation of the Township of Brock deems it expedient to enter into an agreement with 2753883 Ontario Inc. for the development and use of the lands described therein;

NOW THEREFORE BE IT ENACTED by the Council of the Corporation of the Township of Brock as follows:

- 1. **THAT** the Mayor and Deputy Clerk are hereby authorized to sign and affix the Corporate Seal to a Site Plan Agreement between the Corporation of the Township of Brock and 2753883 Ontario Inc as contained in **Schedule 1 – Site Plan Development Agreement** attached to and forming part of this by-law.

THIS BY-LAW READ TWICE THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

THIS BY-LAW READ A THIRD TIME AND FINALLY PASSED THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

SCHEDULE 1 OF BY-LAW NUMBER 3036-20201

SITE PLAN DEVELOPMENT AGREEMENT

THIS AGREEMENT made this 26th day of April, 2021

BETWEEN:

2753883 ONTARIO INC.
(hereinafter called the "Owner")

OF THE FIRST PART,

and

THE CORPORATION OF THE TOWNSHIP OF BROCK
(hereinafter called the "Township")

OF THE SECOND PART

WHEREAS this Agreement has been entered into pursuant to Section 41 of the Planning Act, R.S.O. 1990, c. P.13, as amended;

AND WHEREAS Subsection 10 of Section 41 of the Planning Act, as amended, provides for the registration of Site Plan Development Agreements on the title of the Lands;

AND WHEREAS the Owner warrants and represents that there are no encumbrancers of the Lands, save and except the Encumbrancers herein;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of mutual covenants herein contained and other good and valuable consideration, the parties hereby covenant and agree as follows:

1. Prohibition

The Owner hereby agrees that no development or redevelopment will proceed or take place on the Lands except as shown on plans, drawings and specifications approved by Council of the Township (hereinafter referred to as the "Site Development Plans"), and without limiting the generality of the foregoing, development or redevelopment shall include the construction, erection or placing of one or more buildings or structures that has the effect of substantially increasing the size or usability thereof, or the laying out and establishment of a commercial parking lot, or the construction, erection, installation or placement on the Lands of any loading spaces, parking areas, garbage container areas, landscaping, lighting, drainage facilities, access driveways or fencing.

2. Completion and Security

- a) The Owner agrees that it shall construct and provide the structures, buildings, facilities, services or works shown on the Site Development Plans within two years of approval by Council of the Site Development Plans.

3. Construction

The Owner shall undertake all construction activity on the Lands in such a manner so as not to unreasonably interfere with adjoining lands or traffic on adjacent roadway. The Owner shall control all dust, mud and debris resulting from any construction activities and remove the same promptly from any municipal catch basin, manhole, sewer, ditch, culvert, roadway, boulevard or sidewalk. The Owner shall reimburse the Township for any damage to any municipal services, facilities or works resulting from the development or redevelopment of the Lands, howsoever caused and the determination of the Director of Public Works or his designate with respect to whether or not said damage was caused by the

owner or with respect to the extent of the damage shall be final and binding on all parties.

4. Maintenance

The Owner shall maintain, in good repair and in a safe and clean condition, the Lands and Boulevard, vegetation, structures, buildings, facilities, services, works and landscaping improvements on the Lands and Boulevard at his own expense and shall do all acts necessary to comply with and properly carry out and provide for the maintenance and use thereof, including the replacement or repair of broken, damaged or worn material or parts and the replacement of dead or deceased vegetation. The Owner shall further keep the Lands and Boulevard free and clear of all refuse, debris and obstructions.

5. Building or Demolition Permits

Notwithstanding the provisions of this agreement, the Owner hereby acknowledges that the Township is not obligated to issue any building permits or demolition permits or grant any other permits or consents with respect to any development or redevelopment on the Lands unless:

- a) all federal, provincial and municipal statutes, regulations, by-laws, ordinances, orders and requirements have been complied with;
- b) any other agreements with the Township, the Regional Municipality of Durham or any other governmental body or agency are not in default; and
- c) all property and business taxes with respect to the Lands have been paid in full.

In the event the development or redevelopment of the Lands herein contemplated requires any other municipal or other governmental approvals, including but not limiting the generality of the foregoing, a building permit, a consent for a severance or rezoning or a variance pursuant to the provisions of the Planning Act, R.S.O. 1990, a permit for access, ingress or egress, approvals pursuant to the provisions of the Environmental Assessment Act, R.S.O. 1990, or the Environmental Protection Act, R.S.O. 1990, the approval of the Medical Officer of Health, the approval of the Conservation Authority having jurisdiction, the approval of the Minister of Health or the approval of any other governmental body or agency, then in such event the Owner hereby agrees not to commence any work on the Lands or demolish or alter any structures on the Lands unless all such approvals, permits or rezoning have been obtained.

6. Landscaping

Landscaping shall be completed in accordance with the site development plans as set out in Schedule "B" attached and those special conditions set out in Schedule "C" attached. All approved landscaping shall be maintained in a healthy growing condition at all times.

7. Garbage

The Owner shall store all garbage in the garbage storage facilities as shown on the Site Development Plans. If the garbage storage facilities are designed for the use of a bulk lift container, it shall be the Owner's responsibility to provide for such container and for the regular removal and replacement of the same as may be reasonably required. In the event no garbage storage facilities are shown on the Site Development Plans, all garbage shall be stored indoors.

8. Hydro

The Owner shall, at its sole cost, comply with the requirements of Ontario Hydro, or its successor, and Veridian Connections, including bearing the cost of the relocation of existing hydroelectric facilities if applicable.

9. Costs

The Owner shall pay to the Township, forthwith upon demand, all reasonable costs and expenses incurred by the Township, whether directly or indirectly, in connection with this Agreement and the approval of any Site Development Plans. Without limiting the generality of the foregoing, such costs and expenses shall include a charge for the processing of the Site Development Plans by the consultants retained by the Township incurred in connection with this Agreement, the supervision of all of the works undertaken in connection therewith or in ensuring compliance with this agreement and the registration thereof on title to the Lands.

10. Fire Access Routes

The Owner shall designate such driveways as shown on the Site Development Plans as fire access routes (if applicable) or hereafter so designated by the Fire Chief for the Township and shall keep them clear and unobstructed at all times. The Owner shall erect and maintain signs approved by the Chief Building Official for the Township designating the fire access routes.

11. Lighting

The Owner agrees that any lights used for the illumination of the building or parking areas shall be so arranged by diverting the lights away from adjoining lands so as to minimize the light affecting adjoining lands.

12. Owner's Expense

The Owner acknowledges that where this Agreement obliges the Owner to perform any work or do anything it is to be done at the Owner's expense and not at the Township's expense.

13. Registration

The Owner hereby consents to the registration of this Agreement on the title of the Lands.

14. Acknowledgment by Encumbrancers

The Encumbrancers (if applicable) hereby acknowledge that they are aware of all of the terms, covenants and conditions contained in this Agreement and agrees to be bound by such terms, covenants and conditions in the event that it should obtain control, possession or equitable ownership of the Lands.

15. Indemnification by Owner

The Owner shall defend, indemnify and save harmless the Township against all actions, causes of action, suits, claims and demands whatsoever which may arise directly or indirectly by reason of this agreement or the Owner undertaking the development or redevelopment herein referred to.

16. Insurance

Prior to the commencement of any construction of any Services or grading on the Lands or issuance of any building permit for the Lands, the Owner shall maintain commercial general liability insurance, and continue to maintain such insurance until the Chief Building Official for the Township certifies that any building or structure located on the Lands is fit for occupancy and has issued an unconditional Lot Clearance Certificate therefore, against all damages or claims for damage with an insurance company satisfactory to the Township. Such policy or policies shall include the Township as an additional insured and a certificate of insurance shall be delivered to the Township and be in full force and effect until such certification by the Township's Engineer. Such certificate of insurance shall be in a form acceptable to the Township's Solicitor and without limiting the generality of the foregoing, such insurance shall provide:

- (a) that the minimum limits shall be not less than \$5,000,000.00 for any single occurrence;
- (b) that it includes a cross-liability and completed operation coverage;
- (c) that it shall not contain an exclusion for blasting, shoring, underpinning raising or demolition of any building or structure, collapse of any structure or subsidence of any structure or land from any cause;
- (d) that the insurance premium has been prepaid for a period of not less than one year;
- (e) that the policy will provide that it is not cancellable unless prior notice by registered mail has been received by the Township from the insurer not less than thirty (30) days prior to the cancellation date;
- (f) in the event of claims made against the Township to which the deductible applies, the Owner shall be solely responsible for paying the deductible; and
- (g) Where a subcontractor is retained for work where Professional Liability coverage is a contract requirement, the Owner must ensure that the Professional Liability insurance is in an amount not less than two million dollars (\$2,000,000) per claim.

17. Right of Entry

The Owner covenants and agrees with the Township to grant and hereby grants to the Township or its authorized representatives the right to enter upon the Lands or any part thereof in order to ascertain whether or not the provisions of this Agreement have been complied with in full.

18. Default

In the event of any default by the Owner pursuant to any of the terms of this Agreement, in addition to any other remedies available to the Township and without any limitation thereof, the Township may:

- a) undertake or compete any obligation of the Owner hereunder;
- b) enter upon the Lands through its servants or agents for any purpose whatsoever;
- c) issue a stop work order with respect to any further development, redevelopment or work upon the Lands; and
- d) recover from the Owner all costs and expenses incurred by the Township whether directly or indirectly, with respect to the default or the remedy thereof and collect such costs and expenses in like manner as municipal taxes.

19. Drainage

The Owner shall not take any action or cause any work to be done that will adversely affect drainage from or onto properties adjoining the Lands, and the Owner shall with the prior approval of the Township, at the Owner's expense, construct such drainage works as may be required. Notwithstanding the aforesaid, the Owner shall indemnify and save harmless the Township with respect to drainage from or onto lands adjoining the Land as a result of the development or redevelopment hereby contemplated and the construction of any works, facilities or structures on the Lands.

20. Occupancy

The Owner covenants and agrees that there shall be no occupancy of buildings until all requirements of this Agreement have been complied with and the Chief Building Official has issued an Occupancy Certificate. The Chief Building Official may, however, issue a conditional Occupancy Certificate provided the Letter of Credit is sufficient to cover any outstanding works.

21. Successors and Assigns

The parties hereto hereby covenant and agree that this Agreement shall be binding upon them, their respective heirs, executors, administrators, successors and assigns. In the event that the Lands are sold, conveyed, assigned, or transferred, or otherwise parted with possession or ownership, the proposed purchaser, successor or assignee ("Successor") shall, prior to closing, execute an assumption agreement acceptable to the Township's Solicitors which provides that all provisions of this Agreement will continue to be binding on the Successor to the Owner as if such Successor had entered into this Agreement in the place of the Owner and in the event of more than one Successor all of the parties collectively shall be deemed to be the Owner pursuant to the terms hereof. Further, the Owner shall be released and discharged from the obligations and provisions of this Agreement upon the execution of an assumption agreement by the Successor.

22. Invalidity

If a Court of competent jurisdiction should declare any section or part of a section of this Agreement to be invalid or unenforceable, such section or part of a section shall not be construed as being an integral part of the Agreement or having persuaded or influenced a party to this Agreement to execute the same, and it is hereby agreed that the remainder of the Agreement shall be valid and in full force and effect.

23. Counterparts

This Agreement may be executed electronically and in one or more counterparts, which together shall be deemed to be an original and such counterparts together shall constitute but one and the same instrument. Such counterparts may be delivered by electronic transmission.

24. Interpretation

In construing this Agreement, words in the singular shall include the plural and vice versa and words importing the masculine shall include the feminine, and the neuter and vice versa, and words importing persons shall include corporations and vice versa. In the event of any conflict or ambiguity in the Site Development Plans or Schedules to this Agreement, the decision of the Township shall be final and binding.

25. Notice

All notices, demands or requests provided for or permitted to be given pursuant to this agreement shall be made in writing as follows:

- a) if made to the Township, shall be addressed to the CAO & Municipal Clerk, The Corporation of the Township of Brock, P.O. Box 10, Cannington, Ontario, L0E 1E0;
- b) if made to the Owner, at his respective address for service shown on the Document General attached to this Agreement in the Registry Office in which this Agreement is registered;

All notices, demands or requests shall be deemed to have been properly delivered personally or by prepaid and registered mail, return receipt guaranteed. If notice is given by mail, the same shall be effective five (5) business days of being deposited with the post

office, or upon proof of delivery by return receipt. However, in the event of a postal interruption, the notice shall be deemed to have been given during such period of interruption, unless such notice has actually been received.

IN WITNESS WHEREOF, the individual parties hereto have hereunto set their hands and seals and the Corporate parties have hereunto affixed their Corporate Seal as attested to by the hands of their proper signing officers in that behalf duly authorized.

SIGNED, SEALED AND DELIVERED
in the presence of

	)	THE CORPORATION OF THE TOWNSHIP
	)	OF BROCK
)	
Authorized to be)	
executed by By-law No.	)	Per: _____
3036-2021 enacted on	)	Mayor – John Grant
The 26th day of April,)	
2021.)	
	)	Per: _____
	)	Deputy Clerk – Deena Hunt
)	
)	
)	
)	
)	
	)	2753883 ONTARIO INC.
)	
)	
	)	Per: _____
_____ Witness	)	Tony Mancini
)	
)	
	)	I have authority to bind the Corporation.
)	
)	
)	
)	
)	
)	
)	

SCHEDULE “A” OF SITE PLAN AGREEMENT

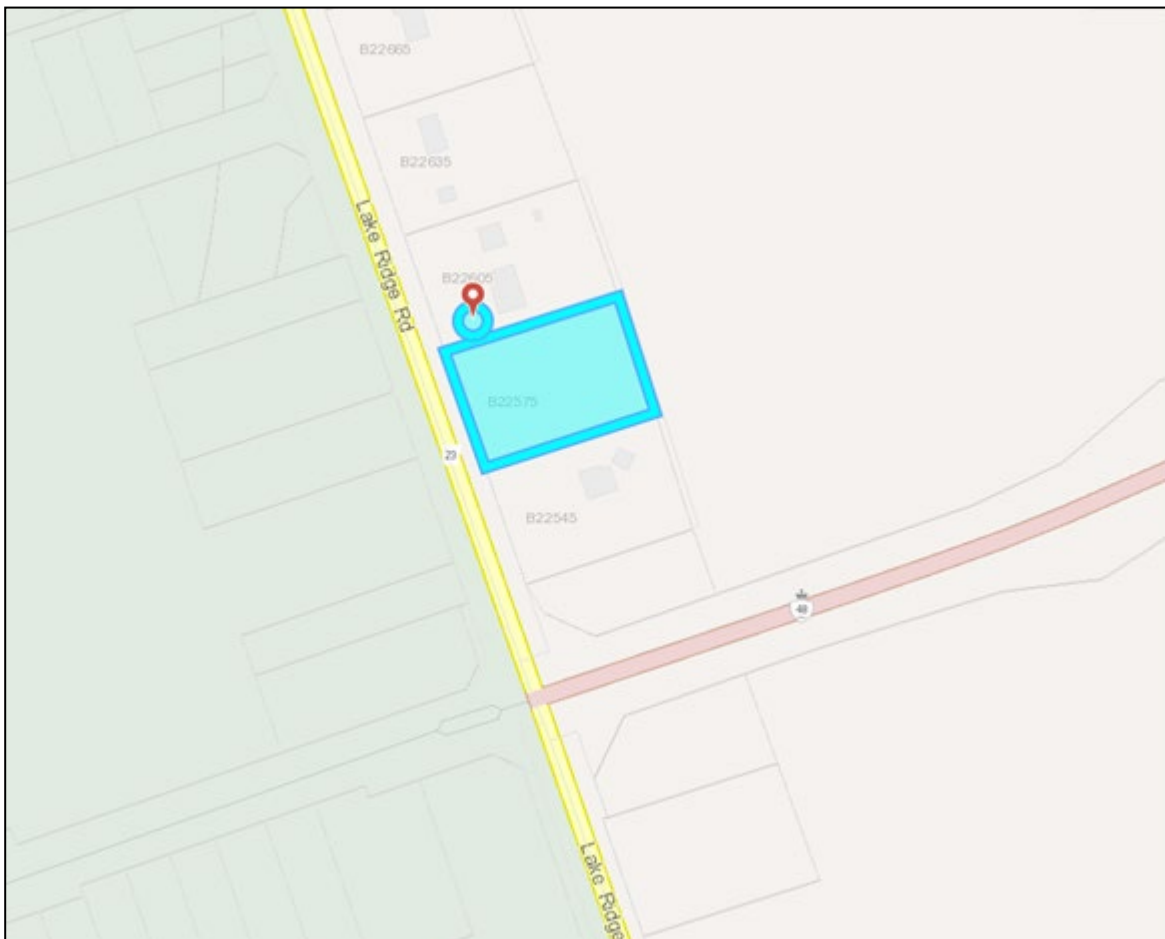
LEGAL DESCRIPTION OF THE LANDS

ALL AND SINGULAR that certain parcel or tract of land and premises situated, lying and being in the Township of Brock, in the Regional Municipality of Durham and being composed of:

DESCRIPTION: Part Lot 1, Concession 13 Brock, as in D217665; Brock.
(Municipally known as B22575 Lakeridge Road, Cannington ON L0E 1E0.)

PIN: 720230016

OWNER: 2753883 Ontario Inc.
18 Lakeshore Road, Pefferlaw, ON L0E 1N0



SCHEDULE “B” OF SITE PLAN AGREEMENT

SITE DEVELOPMENT PLANS

Name of Drawing or Specification	Number of Sheet or Page & Project Number	Date of Plan Drawing or Specification	Prepared By	Date of Acceptance by Township
Plan 40R-31314	1 page	April 2, 2021	E.R. Garden	April 16, 2021
Topographic Sketch	1 page	December 2, 2020	E.R. Garden	April 16, 2021
Plan of Survey	1 page		E.R. Garden Limited	April 16, 2021
General Notes, Site Plan and OBC Matrix	16 pages	July 2020	Paul Marques Architect Inc.	April 16, 2021
Stormwater Management Plan	1 page	March 24, 2021	Lakeland Engineering	April 16, 2021
Culvert Permit	1 page	March 29, 2021	Region of Durham	April 16, 2021

SCHEDULE “C” OF SITE PLAN AGREEMENT

SPECIAL CONDITIONS

1. The Owner shall comply with all of the terms and conditions imposed by the Regional Municipality of Durham Works Department. The Township’s Chief Building Official (the “CBO”) will withhold the issuance of a building permit until such time as all approvals and permits are issued by the Regional Municipality of Durham Works Department. The Owner shall provide copies of all permits received to the Township prior to building permit issuance.
2. The Owner agrees and warrants that all works shall be constructed and maintained in accordance with the Site Development Plans contained within Schedule “B” of this Agreement and in accordance with the Township of Brock Design Criteria and Standard Drawings.
3. The Owner acknowledges and agrees that prior to the occupancy of any buildings or structures provided under the approval, the CBO shall be satisfied with respect to fire safety and emergency services requirements of the Township’s Fire Chief, including the provisions of an adequate water supply for fire-fighting purposes are provided.
4. The Owner agrees that the Fire Access Route is to be designed to meet the requirements of Section 3.2.5.6 of the Ontario Building Code. The Owner also agrees that the placement of Fire Hydrants shall meet the requirements of Section 3.2.5.7 of the Ontario Building Code.
5. The Owner agrees that the earthworks and grading associated with this Agreement are to take place only between the hours of 7:00 a.m. and 7:00 p.m. and shall not take place on Sundays and Statutory Holidays.
6. The Owner shall maintain the Lands in a tidy condition and free from the accumulation of waste products and debris and shall cut all grasses and weeds at any time and from time to time to prevent growth in excess of six (6) inches in height. When all work is substantially performed pursuant to this Agreement, the Owner shall remove surplus products, tools, construction machinery, equipment, waste products and debris from the Lands, including any waste products caused by Third Parties.
7. The Owner acknowledges that fires shall not be set on the Lands. Should an illegal fire be set, the Owner hereby agrees to pay any costs which may be incurred as a result of the illegal fire.

Landscaping

8. The Owner is solely responsible for ensuring that sufficient topsoil is available for the Lands. All areas shall be sodded and/or seeded as soon as possible and by no later than October 31, 2022 as indicated on the Site Development Plans identified on Schedule “B” of this Agreement.
9. The trees, shrubs, and other groundcover required, as noted on Schedule “B” shall be planted no later than October 31, 2022 and the trees, shrubs, and other groundcover shall thereafter continuously be maintained in a healthy living state by the Owner, and shall be replaced if necessary to ensure that at all times healthy living plants. If the Owner fails to complete or maintain the landscaping in accordance with this condition, the Township may undertake to do so, and the Letter of Credit may be drawn on to the extent necessary to complete or maintain the landscaping.

Stormwater Management

10. The Owner shall construct all storm drainage and stormwater management facilities in accordance with the Site Development Plans and with the approval of the Township or the Lake Simcoe Region Conservation Authority (“LSRCA”).

11. The Owner covenants and agrees to keep in a proper state of repair all storm drainage systems, Stormwater management facilities, and to do all maintenance and repairs as the Owner may be directed to do in writing by the Township.
12. The Owner shall inspect all erosion and sedimentation control measures weekly and after each rainfall event and twice per day during prolonged rainfall events. Sediment accumulation of more than one-half the height of the sedimentation control device will require the contractor to remove the sediment or install a second sediment control device.
13. The Owner agrees to maintain all erosion and sedimentation control measures until such time that all disturbed areas have received a healthy growth of vegetation. The Owner acknowledges and agrees that they are solely responsible for repairing off-site sedimentation damage resulting from the failure of the erosion and sedimentation control measures.
14. The Owner agrees to implement all of the recommended inspection and maintenance measures as contained within Schedule "B".

Drainage & Servicing Easements

15. The Owner covenants and agrees that such drainage and servicing easements as may be required for utilities, servicing, and drainage purposes shall be obtained and granted at the sole cost and expense of the Owner to the appropriate authority and shall be in the form as may be required by the appropriate authority or the Township's solicitor.

Lighting

16. The Owner acknowledges and agrees that full cut-off (FCO) lighting fixtures shall be used to ensure that all site lighting shall be directed to the ground so as to ensure that lighting does not trespass onto adjacent lands.
17. The Owner shall be responsible for all financial arrangements and obligations with Veridian Connections or Hydro One for the installation of the below ground electrical distribution system and site lighting and agrees to submit proof of this arrangement to the Township.

Pre-Construction Meeting

18. The Owner shall convene a meeting, prior to commencement of construction to be attended by the Owner's consulting engineer, all contractors to be employed on the site to construct the services, such persons as the Township may direct, and the Township's Director of Public Works, where involved, to review the schedules of construction.

Construction Access

19. The Owner agrees that any damage to public roads and services as a result of the works provided in this Agreement shall be repaired by the Owner at their sole cost and to the satisfaction of the Township. The Owner further agrees it is the sole responsibility of the Owner to control mud-tracking, dust and debris from the Lands, and shall undertake whatever remedies are required by the Township at the sole cost of the Owner, forthwith upon notification by the Township.
20. The Owner shall not be permitted to store any materials and/or equipment on opened and maintained public road allowances.

Architectural

21. The Owner agrees that the exterior finish of the building shall be consistent with the renderings provided as noted within Schedule "B".

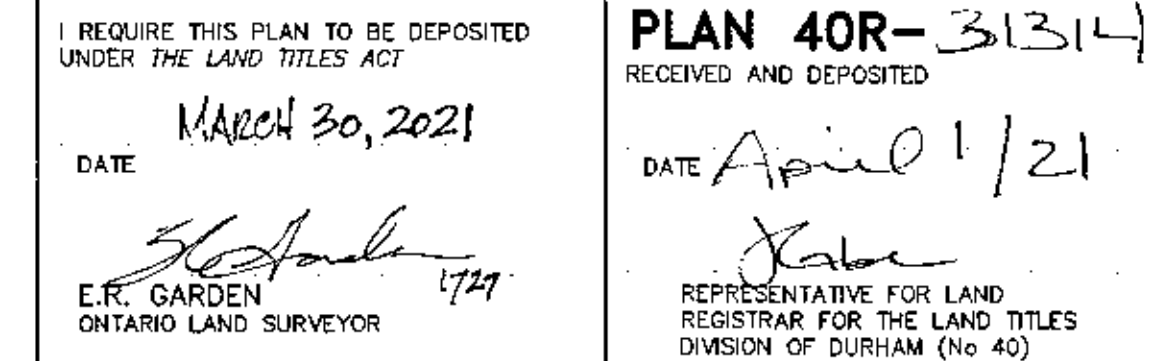
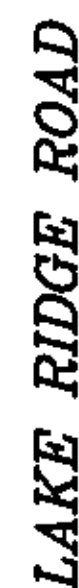
SCHEDULE “D” OF SITE PLAN AGREEMENT

FINANCIAL OBLIGATIONS

1. Development Charges

The Owner hereby agrees to pay a Development Charge for the structure to be constructed, at the time of issuance of a building permit for that structure. The amount of the Development Charge payable shall be the Development Charge in effect at the time of the issuance of a building permit. The Owner acknowledges and agrees that the Development Charge has been set pursuant to The Township’s current Development Charges By-Law. The Owner further acknowledges and agrees that said By-law provides for an indexing of the Development Charge, annually on July 1.

The Owner hereby covenants and agrees that if the payment described above is not paid on the due date, the Township may, in its sole discretion, place the total amount due, plus any administrative charges, on the taxes of the Lands.



PART 1 CONSISTS PART OF PIN 72023-0016 (LT)

0 5 10 20 metres

E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

■ DENOTES SURVEY MONUMENT FOUND
 □ DENOTES SURVEY MONUMENT PLANTED
 SIB DENOTES STANDARD IRON BAR
 SSIB DENOTES SHORT STANDARD IRON BAR
 IB DENOTES IRON BAR
 CM DENOTES CONCRETE MONUMENT
 (917) DENOTES R.A. GARDEN, O.L.S.
 (1727) DENOTES E.R. GARDEN, O.L.S.
 (OU) DENOTES ORIGIN UNKNOWN
 PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 P1 DENOTES PLAN 40R-3232
 P2 DENOTES PLAN BY A. KARLINS DATED SEPTEMBER 23, 1991
 P3 DENOTES HWY PLAN 1.35 (MTO FILE P-2800-49)
 P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
 DEED DENOTES INSTRUMENT D217665
 PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0).
COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 215/10

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY
REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).
DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999819.

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 26TH DAY OF MARCH, 2021.

MARCH 30, 2021 *E.R. Garden*
DATE E.R. GARDEN 72
ONTARIO LAND SURVEYOR

E.R. GARDEN LIMITED
ONTARIO LAND SURVEYOR
1260 JOURNEY'S END CIRCLE, UNIT 1
NEWMARKET ONTARIO L3Y 8Z7
PHONE 905-895-5600 FAX 905-895-7127
TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

FIELDWORK BY: B.F.

DRAFTING BY: R.D.

FILE NUMBER:

21-7776

TOPOGRAPHIC SKETCH

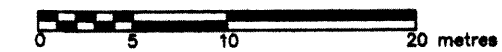
PART OF LOT 1 CONCESSION 13

BEING IN THE

TOWNSHIP OF BROCK

REGIONAL MUNICIPALITY OF DURHAM

SCALE 1 : 400



E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

PIN DENOTES PROPERTY IDENTIFICATION NUMBER

CSP DENOTES CORRUGATED STEEL PIPE

UP DENOTES UTILITY POLE

SBM DENOTES SITE BENCHMARK

INV DENOTES INVERT ELEVATION

-OH- DENOTES OVERHEAD WIRE

○ DENOTES ROUND

★ DENOTES CONIFEROUS TREE, TRUNK SIZE NOTED IN METRES

○ DENOTES DECIDUOUS TREE, TRUNK SIZE NOTED IN METRES

CAUTION:

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE EXPRESSED IN THE TITLE BLOCK BOUNDARY INFORMATION TAKEN FROM OFFICE RECORDS

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CANSEL CAN-NET RTN BASE STATION 20120110050 (UXBG). VALUES ARE RELATED TO CGVD28:1978 (GEOID MODEL HT2_0)

SITE BENCHMARK - SPIKE IN WEST FACE OF POLE ON SITE NEAR THE SOUTHWEST CORNER OF PROPERTY HAVING AN ELEVATION OF 239.18 METRES

THE FIELD MEASUREMENTS WERE COMPLETED NOVEMBER 30, 2020.

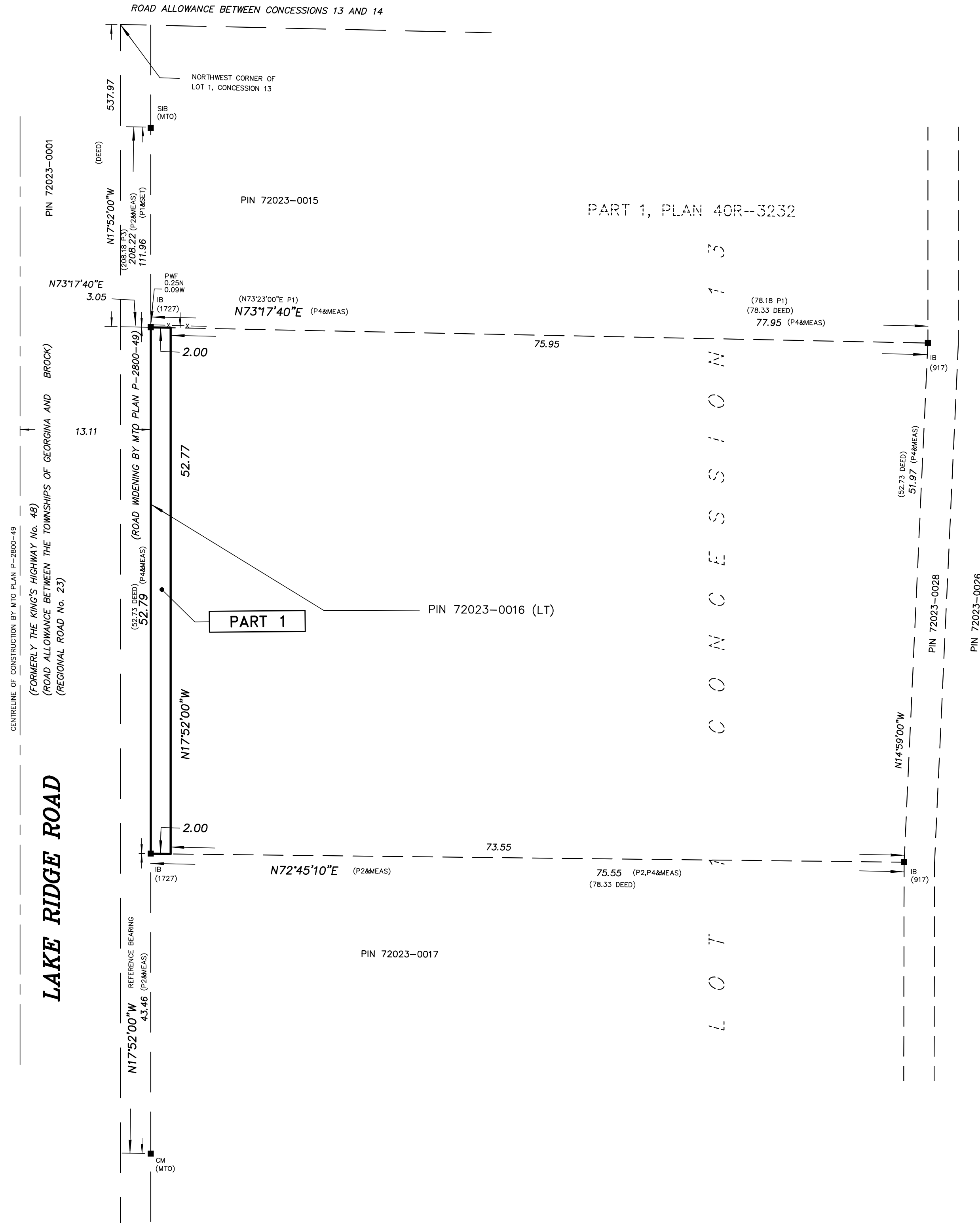
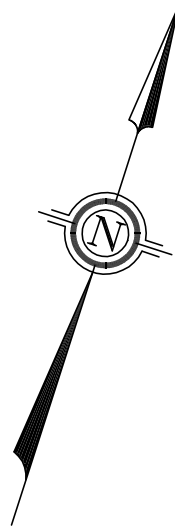
DECEMBER 2, 2020
DATE
E.R. GARDEN 1727
© E.R.GARDEN LTD. ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED
ONTARIO LAND SURVEYOR
1260 JOURNEY'S END CIRCLE, UNIT 1
NEWMARKET ONTARIO L3Y 8Z7
PHONE 905-895-5600 FAX 905-895-7127
TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

DRAWN BY: B.F.

FILE No.

20-7722



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER <i>THE LAND TITLES ACT</i>		PLAN 40R- RECEIVED AND DEPOSITED		
DATE		DATE		
E.R. GARDEN ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF DURHAM (No 40)		
SCHEDULE				
PART	PART OF LOT	CONCESSION	PIN	AREA
1	1	13	72023-0016 (LT)	105.54 SQ.M

PLAN OF SURVEY OF
**PART OF LOT 1
CONCESSION 13**
BEING IN THE
TOWNSHIP OF BROCK
REGIONAL MUNICIPALITY OF DURHAM
SCALE 1 : 300

0 5 10 20 metres

E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - (917) DENOTES R.A. GARDEN, O.L.S.
 - (1727) DENOTES E.R. GARDEN, O.L.S.
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 - P1 DENOTES PLAN 40R-3232
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 - P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
 - DEED DENOTES INSTRUMENT D217665
 - PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0).
COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4XXXXXX.XXX	6XXXXX.XXX
ORP B	4XXXXXX.XXX	6XXXXX.XXX

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

BEARING REFERENCE
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY
REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).
DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999XXX.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 17TH DAY OF
JULY, 2020.

DATE

E.R. GARDEN
ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED
ONTARIO LAND SURVEYOR
1260 JOURNEY'S END CIRCLE, UNIT 1
NEWMARKET ONTARIO L3Y 8Z7
PHONE 905-895-5600 FAX 905-895-7127
TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

FIELDWORK BY: X.X.

DRAFTING BY: R.D.

FILE NUMBER:
21-7776

GENERAL NOTES

GENERAL REQUIREMENTS (01001)

PART 1 – GENERAL

1.1 GENERAL

1. VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMENCEMENT OF WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT.

PART 2 – PROJECT CO-ORDINATION

2.1 GENERAL

1. CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.

PART 3 – CUTTING AND PATCHING

3.1 APPROVALS

1. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING

1. STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT.
2. INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS.
3. EFFICIENCY, MAINTENANCE, OR SAFETY OF ANY OPERATIONAL ELEMENT.
4. VISUAL QUALITIES OF EXPOSED ELEMENTS, OR
5. WORK OF OWNER OR SEPARATE CONTRACTOR.

3.2 INSPECTION

1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
2. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
3. BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.

3.3 EXECUTION

1. PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK.
2. REMOVE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.
3. PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PRESENT.
4. PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
5. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING.
6. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES.
7. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
8. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.
9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL JOISTS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT.
11. REFRESH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFRESH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFRESH ENTIRE UNIT.

PART 4 – SUBMITTALS

4.1 ADMINISTRATIVE

1. SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.
2. WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
3. REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

4.2 SHOP DRAWINGS AND PRODUCT DATA

1. REFER TO CC 46 – SHOP DRAWINGS
2. THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
3. INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
4. ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE.
5. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
6. SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST.
7. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

4.3 OPERATING MAINTENANCE MANUALS

1. TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.
2. MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
3. BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.

4.4 RECORD DRAWINGS

1. AFTER AWARD OF CONTRACT, G.C., WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.
2. RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES.
3. IDENTIFY DRAWINGS AS "PROJECT RECORD COPY", MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE FOR INSPECTION ON SITE BY ARCHITECT.

PART 5 – REPORTS

5.1 REPORTS

1. SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.
2. PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.

PART 6 – CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

6.1 INSTALLATION AND REMOVAL

1. PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY.
2. REMOVE FROM SITE ALL SUCH WORK AFTER USE.

6.2 SITE STORAGE AND OVERLOADING PROPERTY

1. REFER TO CC 33 PROTECTION OF WORK AND.
2. CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS.
3. DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDANGER THE WORK.

6.3 SANITARY FACILITIES

1. PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
2. MAINTAIN IN CLEAN CONDITION.

6.4 WATER SUPPLY

1. PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
3. PAY FOR UTILITY CHARGES AT PREVAILING RATES.

6.5 TEMPORARY POWER

1. PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.

6.6 TEMPORARY TELEPHONE

1. PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.

6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE

1. PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.
2. LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.

6.8 PROJECT CLEANLINESS

1. MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
2. REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
3. CLEAN INTERIOR AREAS PRIOR TO START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS.

PART 7 – MATERIAL AND EQUIPMENT

7.1 PRODUCT AND MATERIAL QUALITY

1. REFER TO CC 39 – LABOUR AND PRODUCTS.
2. PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE, AND QUALITY OF PRODUCTS PROVIDED.
3. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
4. SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7.2 STORAGE, HANDLING AND PROTECTION

1. HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOLING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
2. STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
3. STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

7.3 MANUFACTURER'S INSTRUCTIONS

1. UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
2. NOTIFY ARCHITECT IN WRITING OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.
3. IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

7.4 QUALITY OF WORK

1. WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS.
2. DO NOT EMPLOY ANY UNIT PERSON OR ANYONE UNENROLLED IN THEIR REQUIRED DUTIES.
3. DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS FINAL.

7.5 CONCEALMENT

1. IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
2. BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS DIRECTED BY ARCHITECT.

PART 8 – PROJECT CLOSEOUT

8.1 FINAL CLEANING

1. REFER TO CC 42 – CLEAN UP AND FINAL CLEANING OF THE WORK.
2. WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
3. REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.
4. LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.
5. CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL, TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.
6. REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.
7. VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVERES AND SCREENS.
8. WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATIONS.
9. BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
10. REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

8.2 SYSTEM DEMONSTRATION

1. PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT.
2. ON POSSESSION DAY, INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.

8.3 DOCUMENTS

1. COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
2. SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.
3. SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
4. PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
5. EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY PERIOD REQUIREMENTS.
6. SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
7. CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.

8.4 INSPECTION/TAKEOVER PROCEDURES

1. PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY.
2. DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED. CORRECT SAME.
3. WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 39 FOR SPECIFICS TO APPLICATION.
4. MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT. CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

DEMOLITION NOTES

1. DEMOLITION WORK WILL NOT AFFECT ADJACENT AREAS OR SPACES, TENANCIES, SURFACES, STRUCTURES ETC. ANY DAMAGE CAUSED TO THE ABOVE RESULTING FROM DEMOLITION SHALL BE MADE GOOD AT NO EXTRA COST.
2. CONTRACTOR TO PROVIDE ALL REQUIRED HOARDING, BRACING, BARRICADES, SHORING, SIGNAGE ETC. DURING DEMOLITION.
3. ACCESS TO SITE IS TO BE MAINTAINED AT ALL TIMES. PROVIDE PROTECTION TO ALL EXISTING SURFACES TO REMAIN I.E. SIDEWALKS, CURBS, ASPHALT, ETC. MAKE GOOD ANY DAMAGE AT NO EXTRA COST.
4. CONTRACTOR MUST TAKE ALL MEASURED TO PREVENT COLLAPSE, MOVEMENT, SETTLEMENT OF ALL ADJACENT PROPERTY, UTILITIES, STRUCTURES.
5. ALL AUTHORITIES HAVING JURISDICTION TO BE NOTIFIED PRIOR TO CUTTING, CAPPING OR DISCONNECTING UTILITIES & SERVICES.
6. ALL ELECTRICAL TO BE REMOVED BY A LICENSED ELECTRICAL TRADE, MAKE SAFE PRIOR TO REMOVAL.
7. ALL MECHANICAL TO BE REMOVED BY A LICENSED MECHANICAL TRADE.
8. EQUIPMENT & MATERIAL FROM DEMOLITION BECOMES PROPERTY OF THE CONTRACTOR.
9. REMOVE ALL ABANDONED CONDUIT, PIPE, WIRES, DUCTS ETC. CONTRACTOR SHALL NOT AFFECT ALL OPERATING SYSTEMS IN THE PREMISES (AND ADJACENT) AT ANY TIME. UNDERGROUND PIPES TO BE CAPPED.

LIST OF DRAWINGS:

ARCHITECTURAL

paul marques
architect inc

TEL. (647) 352-2121 FAX (647) 352-2122

ARCHITECTURAL

A0 GENERAL NOTES, SITE PLAN
& OBC DATA MATRIX
A1 SITE PLAN
A2 CONSTRUCTION PLAN
A3 ROOF PLAN
A4 ELEVATIONS
A5 ELEVATION & SECTIONS

A6.0 GENERAL NOTES
A6.1 GENERAL NOTES
A6.2 GENERAL NOTES

STRUCTURAL

S0 FOOTING DESIGN
S1 STRUCTURE FRAMING
S2 ROOF FRAMING

MECHANICAL

M1 H.V.A.C.
M2 NOTES
M3 NOTES
P1 PLUMBING

Firm Name: PAUL MARQUES ARCHITECT INC. Certificate of Practice Number: 4002										ETR = EXISTING TO HUMAN	
2610 WESTON ROAD TORONTO, ON TEL (416) 352-2121											
Name of Project: LANDLORD'S WORK STORAGE GARAGE											
Location: 22575 LAKE RIDGE ROAD, PORT BOLSTER, ONTARIO											
Ontario Building Code Data Matrix Part 3										Building Code Reference	
1.00 Building Code Version: 0 Reg. 333/72 Last Amendment: 0 Reg. 197/14											
1.01 Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation										[A] 1.1.2.	
1.02 Major Occupancy Classification: <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition and renovation											
1.03 Superimposed Major Classification: Occupancy Use <input checked="" type="checkbox"/> GROUP F Div. 3 STORAGE GARAGE										3.1.2.1. (f)	
1.04 Building Area (m ²) Description: Existing New Total										[A] 1.4.1.2.	
1.05 Gross Area (m ²) Description: Existing New Total										[A] 1.4.1.2.	
1.06 Mezzanine Area (m ²) Description: Existing New Total										3.2.1.1.	
1.07 Building Height 1 Storage above grade 8.35 (m) Above grade										[A] 1.4.1.2. & 3.2.1.1.	
1.08 High Building 0 Storage below grade										3.2.6.	
1.09 Number of streets/Trifligion access 1 Street(s)										3.2.2.10 & 3.2.5.	
1.10 Building Classification: (Size and Construction Method to Occupancy) GROUP F, DIVISION 3, STOREY										3.2.2.80.	
1.11 Sprinkler System <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required										3.2.1.5 & 3.2.2.17.	
1.12 Standpipe System <input type="checkbox"/> Not Required <input type="checkbox"/> Required										3.2.8.	
1.13 Fire Alarm System <input type="checkbox"/> Not Required <input type="checkbox"/> Required										3.2.4.	
1.14 Water Service/Supply is Adequate <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes										3.2.2.10 & 3.2.1.4.2.18	
1.15 Construction Type: Restrictions <input checked="" type="checkbox"/> Non-combustible permitted <input type="checkbox"/> Non-combustible Ch/Combustible <input type="checkbox"/> Ch/Combustible Heavy Timber Construction <input type="checkbox"/> No <input type="checkbox"/> Yes										3.2.2.20 – B3.	
1.16 Importance Category <input type="checkbox"/> Class <input checked="" type="checkbox"/> Low human occupancy <input type="checkbox"/> High-disaster shelter <input type="checkbox"/> Explosive or hazardous substances										4.1.2.1(3) & 7.4.1.2.18	
1.17 Seismic Hazard Index: (E or F or G (0.2) = 0.30 or Post-assembly) <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> Post-assembly										4.1.2.1(3) & 4.1.8.1(2)	
1.18 Occupant Load										3.1.7.	
UNIT 1 2237.50 m ² F3 46.50M/PERSON 5											
UNIT 2 1161.50 m ² F3 46.50M/PERSON 3											
UNIT 3 1001.50 m ² F3 46.50M/PERSON 3											
1.19 Barrier-free Design: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Explanation										3.8.	
1.20 Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Explanation										3.5.1.2 & 3.5.1.18	
1.21 Required Fire Resistance Rating: Horizontal Assembly Rating Supporting Assembly (Y) Noncombustible in line of rafter/										3.2.2.20 – B3 & 3.2.1.4.	
1.22 Spatial Separation										3.2.3.	
1.23 Plumbing Fixture Requirements										3.7.4.	
1.24 Energy Efficiency											
1.25 Notes:											



This drawing, as an instrument of service, is provided by and is the property of Paul Marques Architect Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Paul Marques Architect Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

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	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021

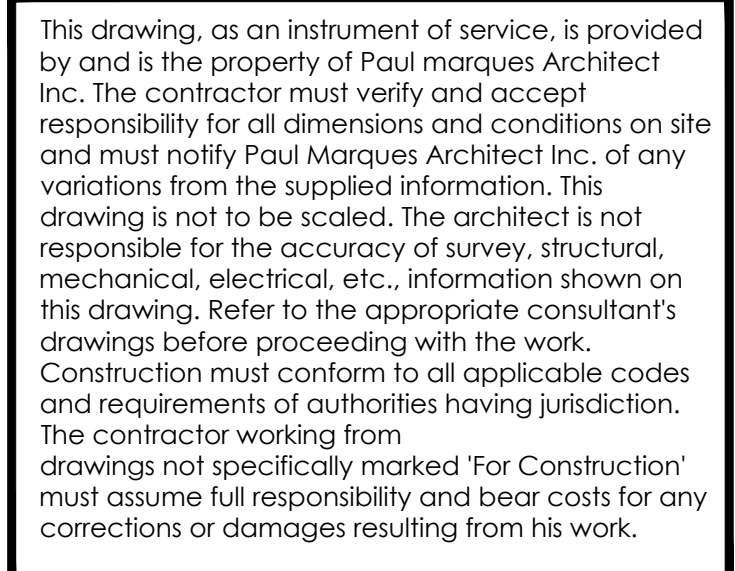


Project:	
WORKSHOP / CUSTOM GARAGE	
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.	
Drawing Name:	
GENERAL NOTES, SITE PLAN AND OBC MATRIX	
Proj no.:	20-914
Date:	JULY 2020
Drawn by:	JK
Scale:	AS NOTED
Checked by:	PM
North:	Drawing No:
A0	



1 SITE PLAN
A0 SCALE: NTS

2 NOT USED
A0 SCALE: NTS



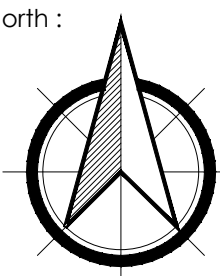
REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	03/11/2021
	CITY COMMENT	03/19/2021
	CITY COMMENT	04/14/2021

paul marques
architect inc
2610 WESTON ROAD, #207
NORTH YORK, ONTARIO
M9N 2B1
TEL: 647.352.2121



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Project :	
<h1 style="text-align: center;">WORKSHOP / CUSTOM GARAGE</h1>	
22575 LAKE RIDGE ROAD.	PORT BOLSTER, ON.
Drawing Name :	
<h2 style="font-size: 2em;">SITE PLAN</h2>	
Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	
North :	Drawing No :
	<h1 style="font-size: 4em;">A1</h1>

	LEGAL DESCRIPTION AND PROPERTY LINE (SUBJECT LANDS)		NEW OR RELOCATED FIRE HYDRANT		NEW CONCRETE SIDEWALK MONOLITHIC FOUR (4) SANCUS
	EASEMENTS (NO BUILD, MTO)		EXISTING FIRE HYDRANT		PAINTED PEDESTRIAN CROSSWALK (REFER TO SITE DETAILS)
	FIRE ROUTE		STOP SIGNS		PAINTED TRAFFIC LINES (REFER TO SITE DETAILS)
	PARCEL LINES		'NO LEFT TURN' SIGNS		PROPOSED LOCATION OF LIGHT STANDARD (2 FIXTURES)
	NEW CONCRETE CURBS c/w SAW CUTS AND EXPANSION JOINTS		FIRE ROUTE SIGNS		PROPOSED LOCATION OF LIGHT STANDARD (1 FIXTURE)
	RAISED ISLAND c/w CONCRETE PAVING AND CONCRETE CURBS		SIAMESE CONNECTION		EXISTING GRADE ELEVATION
	RAISED ISLAND c/w CONCRETE CURBS AND LANDSCAPING		PROPOSED GRADE ELEVATION		NEW SITE SERVICES (REFER TO SITE SERVICES DRAWINGS)
	PAINTED LINES (REFER TO SITE DETAILS)		PROPOSED LOCATION OF TRANSFORMER (SEE SITE ELECTRICAL)		PROPOSED LOCATION OF BUILDING ENTRY

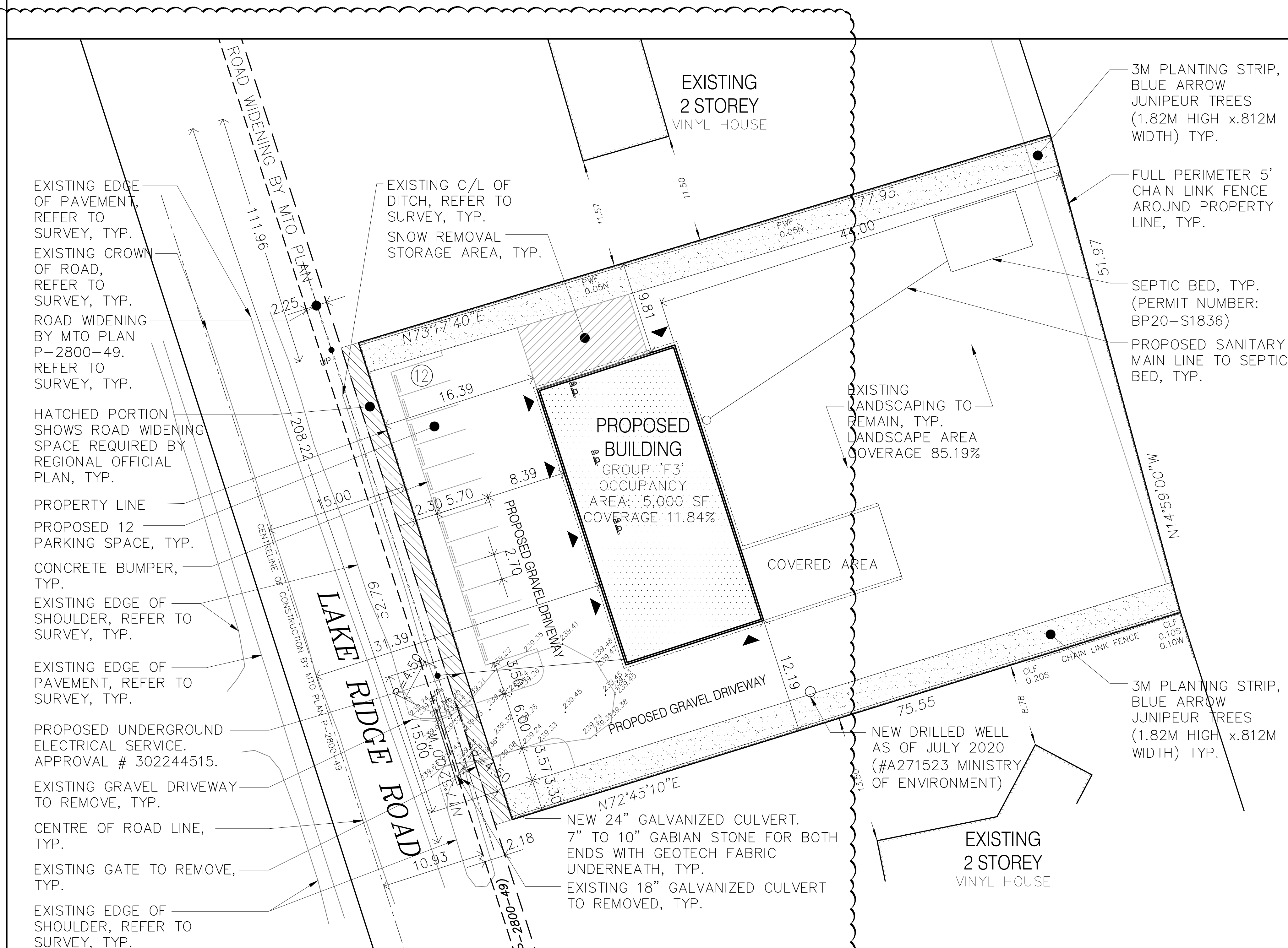
TOTAL SITE AREA:	0.96 AGRES (0.39 Ha)
BUILDING AREA:	464.5 SM (5,000 SF)
GROUND FLOOR AREA:	464.5 SM (5,000 SF)
GROSS FLOOR AREA:	464.5 SM (5,000 SF)
LOT COVERAGE	11.84% (464.5 SM)
LANDSCAPE AREA	85.19%
NUMBER OF UNITS:	3
HEIGHT OF BUILDING:	8.36m
PARKING:	12
BARRIER-FREE PARKINGS	—
FRONT YARD SETBACK	16.39m
REAR YARD SETBACK	44.00m
INTERIOR YARD SETBACK	
NORTH PROPERTY LINE	9.81m
SOUTH PROPERTY LINE	12.19m

EXISTING LINES AND SITE CONDITIONS SHOWN ON THIS DRAWING WERE TAKEN FROM OWNER'S INFORMATION.
SITE PLAN PROVIDED BY OWNER AND THE ACCURACY OF THE EXISTING INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY.

THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR, LICENSED IN THE PLACE OF WORK, TO:

1. ESTABLISH PERMANENT BENCH MARKS, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE;
2. VERIFY POSITIONING OF EXISTING BUILDINGS IF/WHEN USED TO ESTABLISH LOCATION OF NEW SITE ELEMENTS;
3. ESTABLISH LOCATION OF NEW BUILDINGS AND OTHER SITE ELEMENTS SUCH AS CURBS, SIDEWALKS, DRIVEWAYS, LIGHT POSTS, ETC. ALL NEW BUILDINGS TO BE POSITIONED USING DIMENSIONS FROM PROPERTY LINES ONLY, AND/OR FROM ADJACENT EXISTING BUILDINGS (HEREIN INDICATED (AND VERIFIED AS PER #2 ABOVE)). ALL OTHER NEW SITE ELEMENTS TO BE POSITIONED FROM NEW BUILDINGS AND/OR PROPERTY LINES USING WRITTEN DIMENSIONS ONLY.
3a. THE CONTRACTOR SHALL OBTAIN ALL STRUCTURE LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR TO PROVIDE WRITTEN CONFIRMATION BY THE LAND SURVEYOR THAT THE ESTABLISHED LOCATIONS OF NEW & EXISTING BUILDINGS MATCH THE SITE PLAN.
3b. CONSTRUCTION CANNOT COMMENCE UNTIL ALL BUILDINGS HAVE BEEN STAKED OUT BY A LAND SURVEYOR.
4. VERIFY LOCATION OF PROPERTY LINES AND MAINTAIN THROUGHOUT DURATION OF CONSTRUCTION;
5. VERIFICATION OF FLOOR PROCEEDS, AND RELATE TO BENCHMARK DATUM;
6. VERIFY THAT PRESENT, OR KNOWN FUTURE RESTRICTIONS, ARE NOT VIOLATED BY CONSTRUCTION ON SITE OR LINES OF TRAVERSE TO ALL PUBLIC UTILITIES;
7. CORRELATE GEODETIC ELEVATION OF BENCH MARK DATUM WITH ELEVATIONS IN USE BY PUBLIC UTILITIES ADJACENT TO PROJECT;
8. VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWINGS;
9. PROVIDE, AS BUILT SITE PLAN SHOWING NEW BUILDING(S) LOCATION (PART OF CONTRACT CLOSEOUT);
10. FURNISHING CONTRACT ADJACENT PUBLIC PROPERTY, THE CONTRACTOR SHALL VERIFY THAT NO PLANS FOR ALTERING CLEARANCES, SET-BACKS, EASEMENTS, GRADES, OR OTHERWISE HAVE BEEN MADE BY LOCAL AUTHORITIES, SUBSEQUENT TO THEIR APPROVAL OF CONTRACT DOCUMENTS, AND WHICH WOULD AFFECT THE ORIGINAL INTENT.

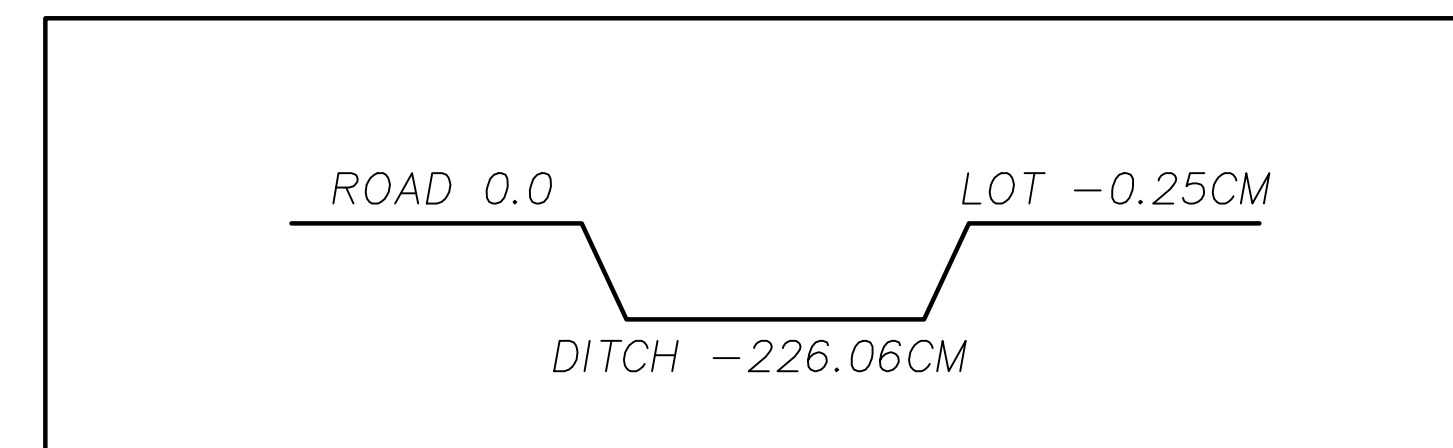
CONTRACTOR TO ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ALL SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITION. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES. ENSURE THAT ALLOWABLE CONSTRUCTION TOLERANCES AND STRUCTURAL TOLERANCES DO NOT PERMIT PONDING OF WATER.



SITE PLAN
SCALE: 1:250



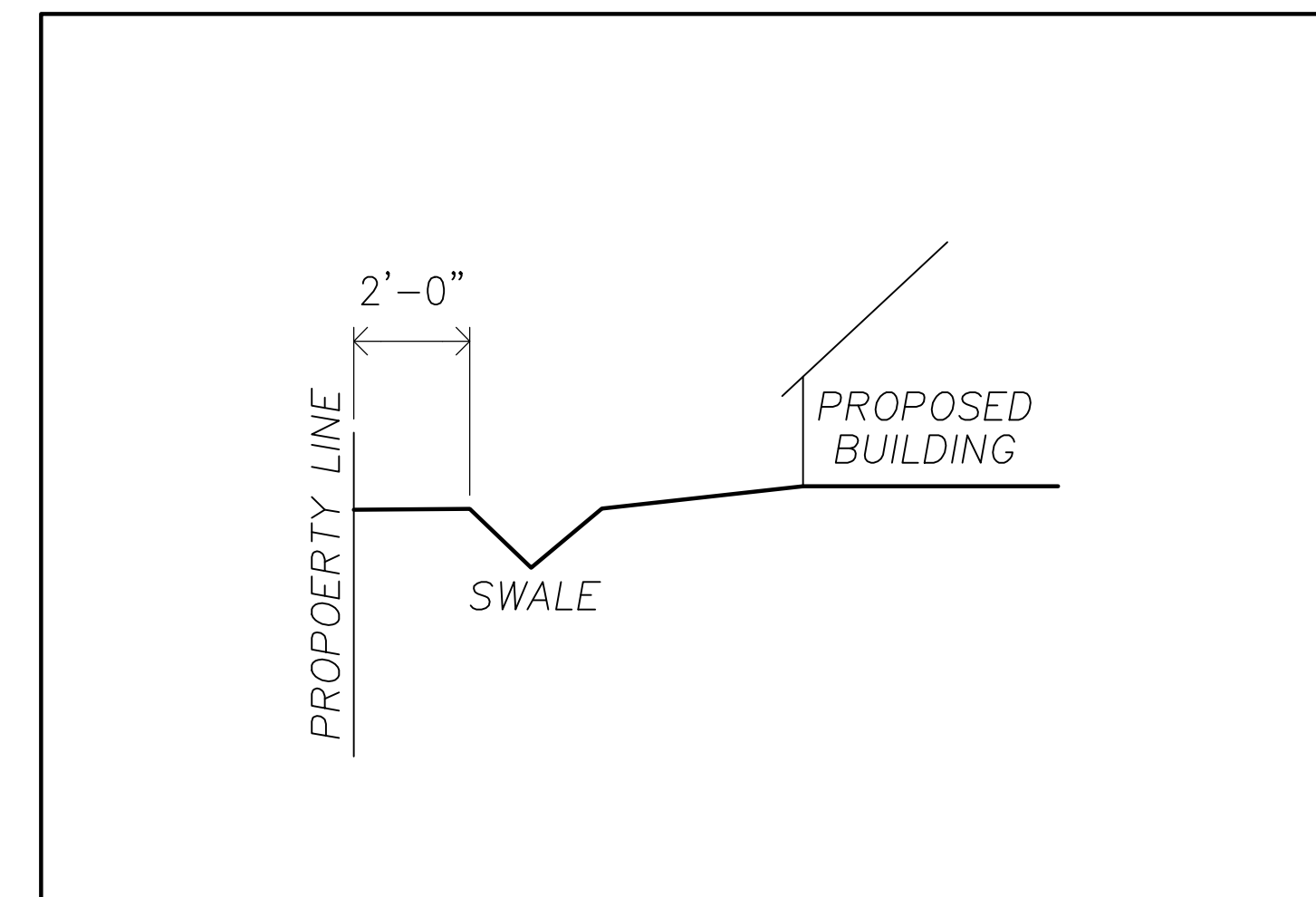
4 NOT USED
A1 SCALE: NTS



3
A1

TYPICAL DITCH SECTION

SCALE: NTS



2 EXISTING SWALES SECTION

A1 SCALE: 1:500

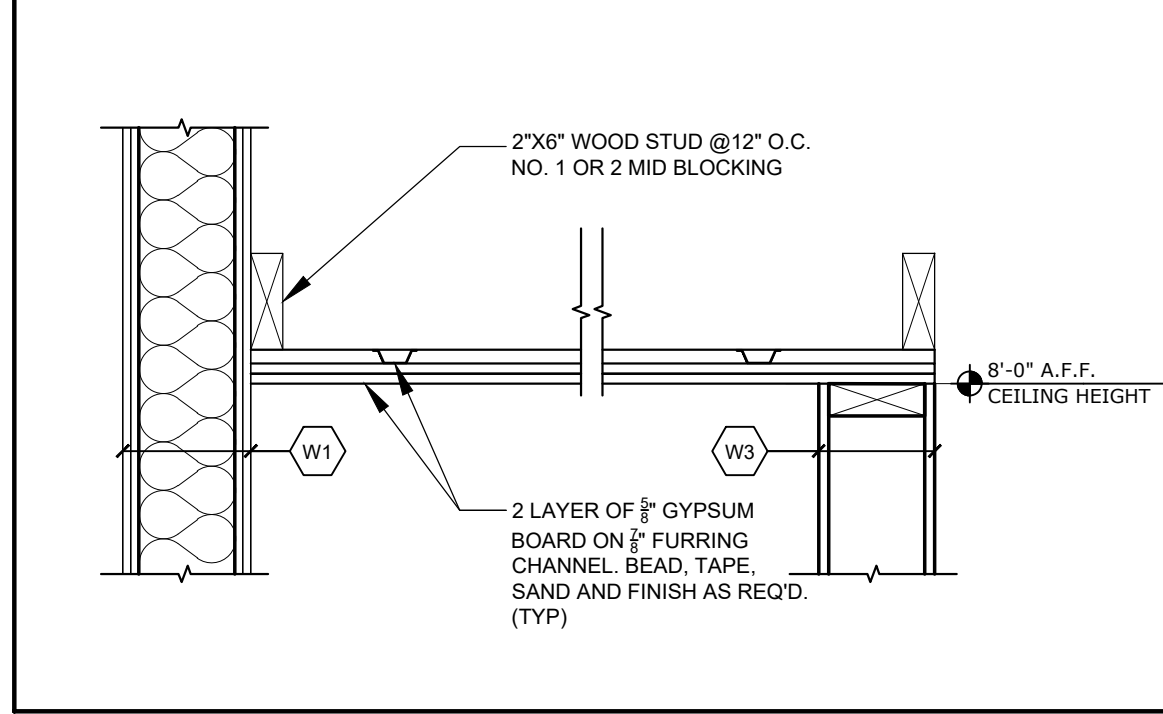
GENERAL CONSTRUCTION NOTES	
1.	ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT, TYP.
2.	PROVIDE SLIDING CONNECTION TO U/S OF BEAMS, DECK OR JOIST FOR ROOF DEFLECTION AS REQUIRED
3.	FIRE SEAL AT ROOF DECK, FLOOR AND ALL WALL PENETRATIONS TO SUIT RATING OF WALL. APPLICATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND TO THE SATISFACTION OF ALL AUTHORITIES HAVING JURISDICTION FOR ALL RATED WALLS.
4.	CUT DRYWALL TO SUIT STRUCTURE, CAULK AND SEAL ROOF DECK, FLOOR AND ALL WALL PENETRATIONS, TYP.
5.	ALL DIMENSIONS TO THE FACE OF GWB UNLESS NOTED OTHERWISE
6.	FOR LOCATIONS OF UNDER FLOOR CONDUITS REFER TO ELECTRICAL DRAWINGS.
7.	FOR LOCATIONS OF UNDER FLOOR PLUMBING REFER TO MECHANICAL DRAWINGS.
8.	FOR DOOR SCHEDULE REFER TO DRAWING A7
9.	PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 09250, TYP.)
10.	PROVIDE 'BACKSTOP NT' AIR BARRIER AT ALL AREAS WHERE PLYWOOD SHEATHING IS INDICATED.

LEGEND	
	NEW SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.
	NEW 3'-2" X 7'-0" 45MIN FIRE RATED HOLLOW METAL DOOR AND FRAME PAINTED MIN. 2 COATS C/W HINGES, LEVER LOCKSET, CLOSER, DOOR STOP, ETC. ALL DETAILS TO SUIT OBC AND TENANT'S REQUIREMENTS, TYP.
	MANUALLY OPERATED 10'-4" W X 14'-0" H EXTERIOR ROLLING SERVICE DOOR 610 BY OVERHEAD DOOR C/W FLAT SLATS SECURITY BARS AND LOCKING HARDWARE. ALL COMPONENTS TO BE FINISHED WITH POWDERGUARD ZINC FINISH. OMIT BOTTOM WEATHERSEAL FOR DRAINAGE.
	FIXED TEMPERED SAFETY GLASS IN ANODIZED ALUMINUM FRAME OPTOS LOW PROFILE BY TEKNION OR APPROVED EQUAL. SIZE AS PER PLAN.

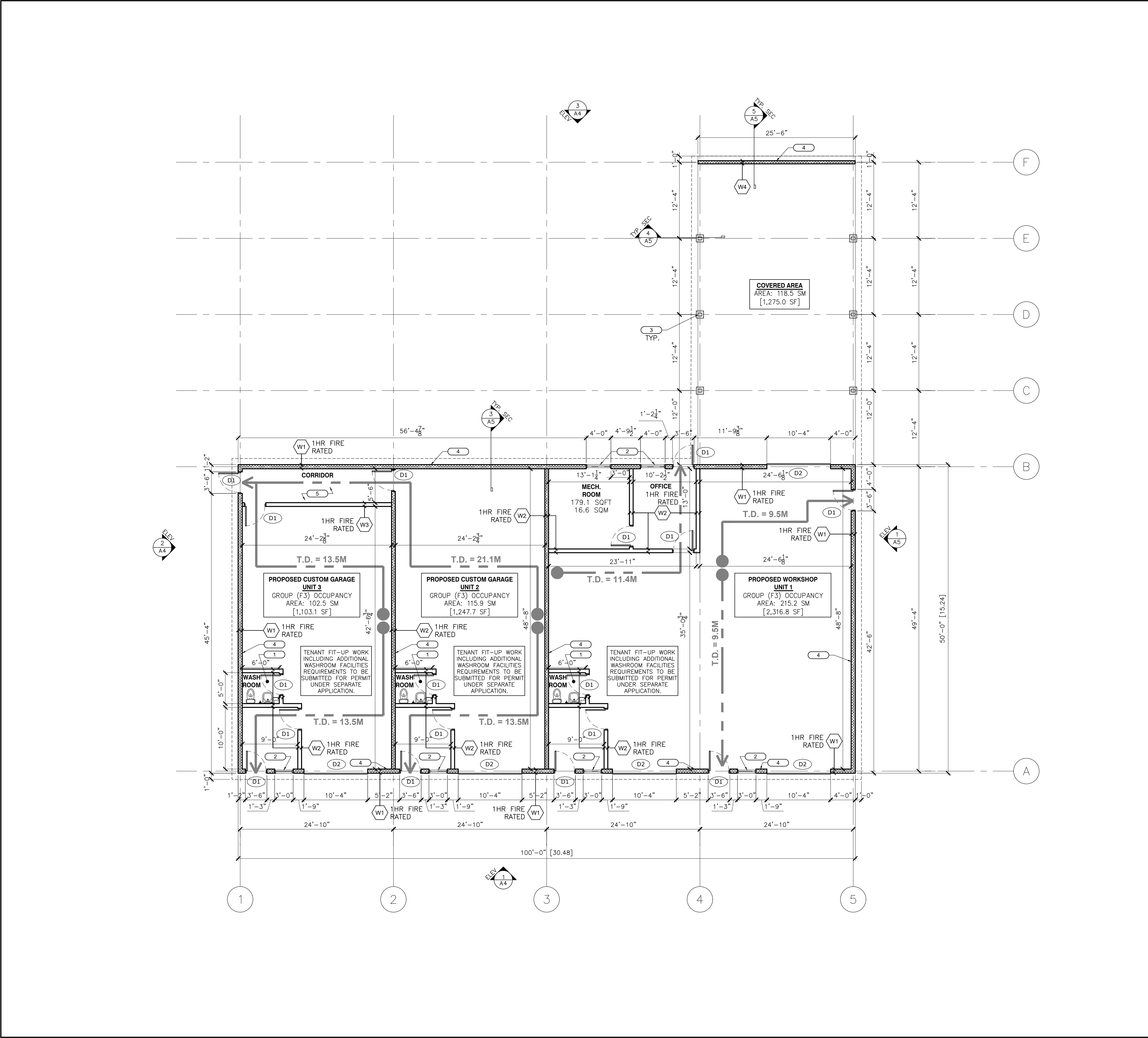
WALL TYPES	
	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -3" Z-BAR AT 24" O.C. VERTICAL OR HORIZONTAL TO SUITE SIDING WITH 3" SEMI-RIGID INSULATION(MIN. R-15) -7/16" WALL SHEATHING -TYVEK AIR BARRIER -R24 SPRAY FOAM CLOSED CELL 2LB -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. WITH 12" PLYWOOD SHEATHING ON BOTH SIDE
	1 HR FIRE RATED PARTITION TO U/S OF DECK. SIMILAR TO ULC W310 -5/8" GYPSUM BOARD TYPE C TAPED AND SANDED, READY FOR TENANT FINISHES ON, -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF STRUCTURE ABOVE, FILLED WITH BATT INSULATION BETWEEN STUDS. PROVIDE SLIDING CONNECTION AT U/S OF ROOF DECK OR JOIST FOR DEFLECTION ON, -5/8" GYPSUM BOARD TYPE C TAPED AND SANDED, READY FOR TENANT FINISHES ON, -FIRE SEAL TO FIRE STOP SYSTEM WH DESIGN NO. ADIPV 60-01 AT ROOF DECK AND FLOOR TO SATISFACTION OF AUTHORITIES HAVING JURISDICTION -CUT DRYWALL TO SUIT ROOF DECK FLUTES -PROVIDE FIRE STOP AT ALL WALL PENETRATIONS
	1 HR FIRE RATED PARTITION TO 8'-0" A.F.F. SIMILAR TO ULC W310 -SAME CONSTRUCTED AS WALL W2
	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -2"x6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. -1 LAYERS OF STEEL SLIDING

CONSTRUCTION NOTES	
	NEW 2 PIECE WASHROOM. REFER TO MECHANICAL DRAWINGS, TYP.
	ALL GLAZING TO BE OF TYPE GL1 UNLESS NOTED OTHERWISE. REFER TO DOOR AND FRAME SCHEDULE, TYP.
	STRUCTURAL WOOD POST COLUMN. REFER TO ELEVATION DRAWING, SECTION AND STRUCTURAL DRAWINGS, TYP.
	SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.
	INSTALL NEW SUSPENDED 1HR FIRE RATED DRYWALL CEILING AT 8'-0" A.F.F. REFER TO 3 / A2 DETAIL DRAWINGS, TYP.

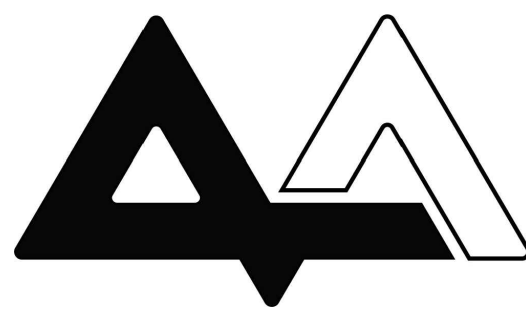
2	NOTES
A2	SCALE: N/A



3	TYPICAL DRYWALL CEILING DETAIL
A2	SCALE: NTS



1	CONSTRUCTION PLAN
A2	SCALE: 1/4" = 1'-0"



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	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021

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architect inc
2610 WESTON ROAD, #207
NORTH YORK, ONTARIO
M9N 2B1
TEL: 647.852.2121

SEAL :

SEAL MUST BE SIGNED TO BE VALID



Project :
WORKSHOP / CUSTOM GARAGE
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :
CONSTRUCTION PLAN

Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	

North :

Drawing No :
A2

- GENERAL CONSTRUCTION NOTES
1.

BASE BUILDING CONTRACTOR TO NOTIFY ROOFING INSPECTOR 7 DAYS PRIOR TO COMMENCEMENT OF ROOF WORK.
2.

BUILDING CONTRACTOR TO COORDINATE ALL RTU UNIT LOCATIONS AND OPENINGS WITH JOIST/STEEL MANUFACTURER AND ROOF TOP UNIT SUPPLIER/MANUFACTURER.
3.

BASE BUILDING CONTRACTOR TO PROVIDE (A MINIMUM OF) FOURTEEN (14) DAYS NOTICE PRIOR TO INSTALLING ANY ROOF PENETRATION FOR ALL UNITS.
4.

CONTRACTOR TO PROVIDE A MINIMUM 5 YEAR ROOF WARRANTY.
5.

PRE-FINISHED METAL FLASHING WITHOUT HOUR TRIP (STARTER STRIP) SHALL BE REJECTED. STARTER STRIP TO BE INSPECTED PRIOR TO FLASHING INSTALLATION.
6.

PROVIDE ROOF CONES AND GOOSE NECK FLASHINGS AS REQUIRED FOR SATELLITE FEEDS, PLUMBING VENTS, ELECTRICAL FEEDS, MECHANICAL EXHAUST FAN CURBS ETC., FOR SIGNAGE COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES AS WELL AS WITH TENANT.
7.

ROOFER TO EXTEND VAPOUR BARRIER PAST EDGE AT MARQUEE LOCATIONS FOR CONNECTION TO BUILDING VAPOUR BARRIER.
8.

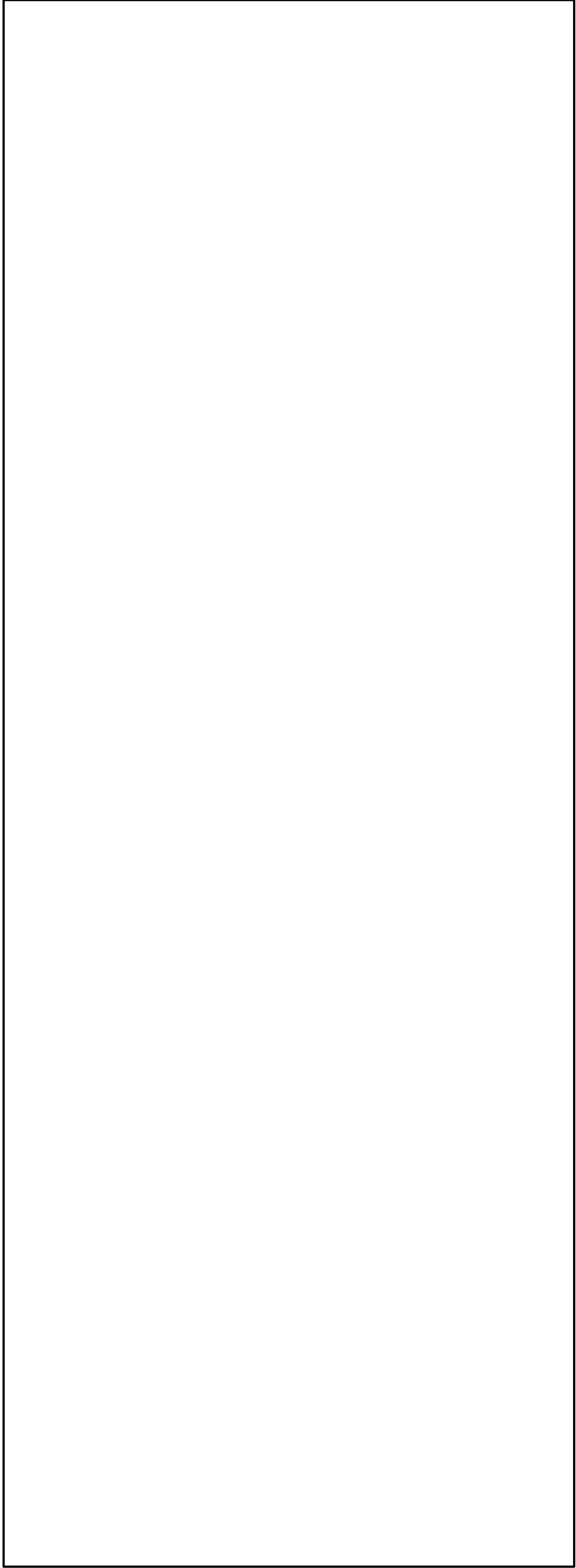
GENERAL CONTRACTOR AND ROOFING SUBTRADE TO DEMONSTRATE THAT THE ROOFING SYSTEM SUSTAINS WIND UPLIFT AS REQUIRED UNDER CSA STANDARD A123.21 PRIOR TO INSTALLATION.

2

NOTES

A3

SCALE: N/A

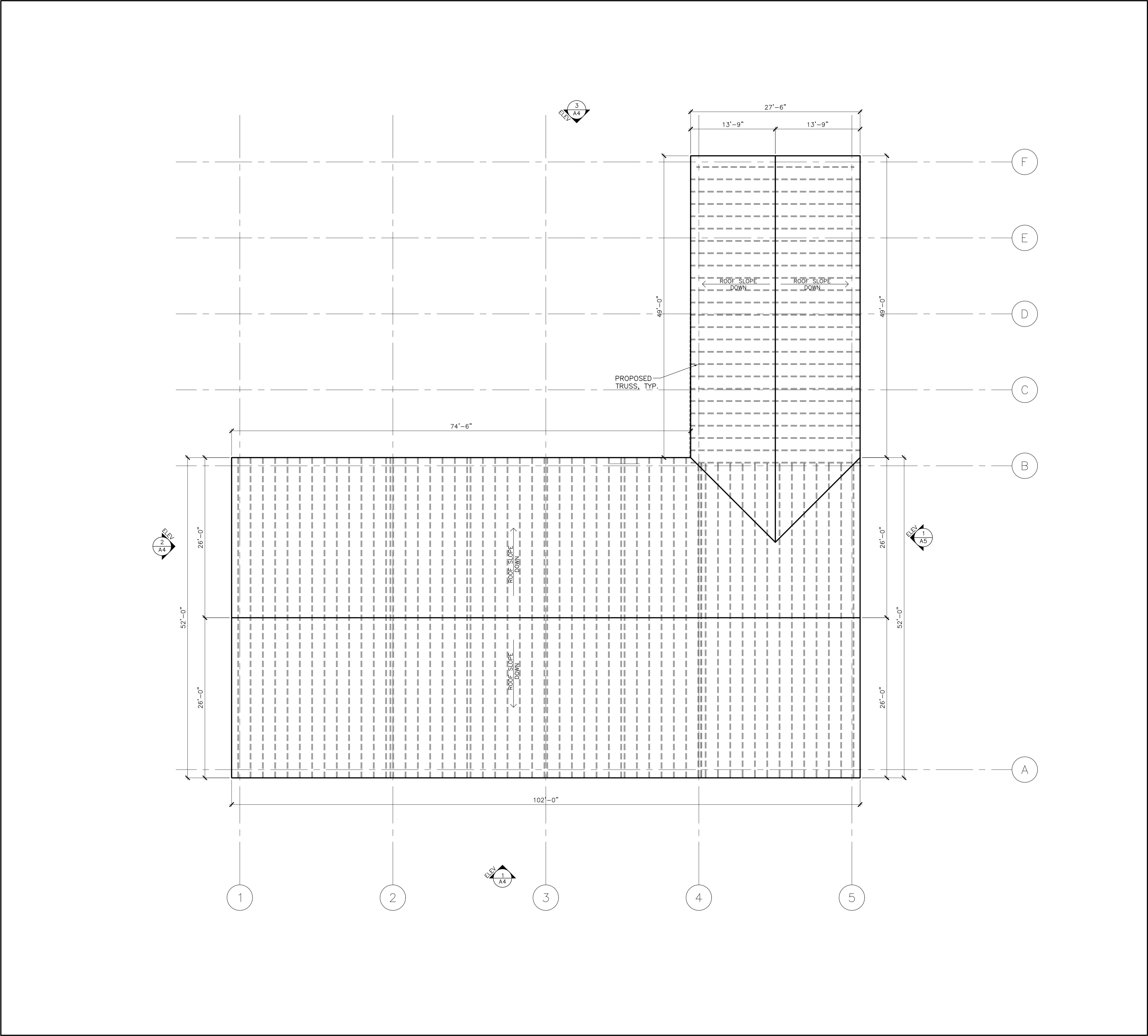


3

NOT USED

A3

SCALE: N/A



1

ROOF PLAN

A3

SCALE: 1/4" = 1'-0"



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REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021

paul marques

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2610 WESTON ROAD, #207
NORTH YORK, ONTARIO
M9N 2B1
TEL: 647.352.2121



Project :
WORKSHOP / CUSTOM GARAGE
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :
ROOF PLAN

Proj no. : 20-914
Date : JULY 2020

Drawn by : JK
Scale : AS NOTED

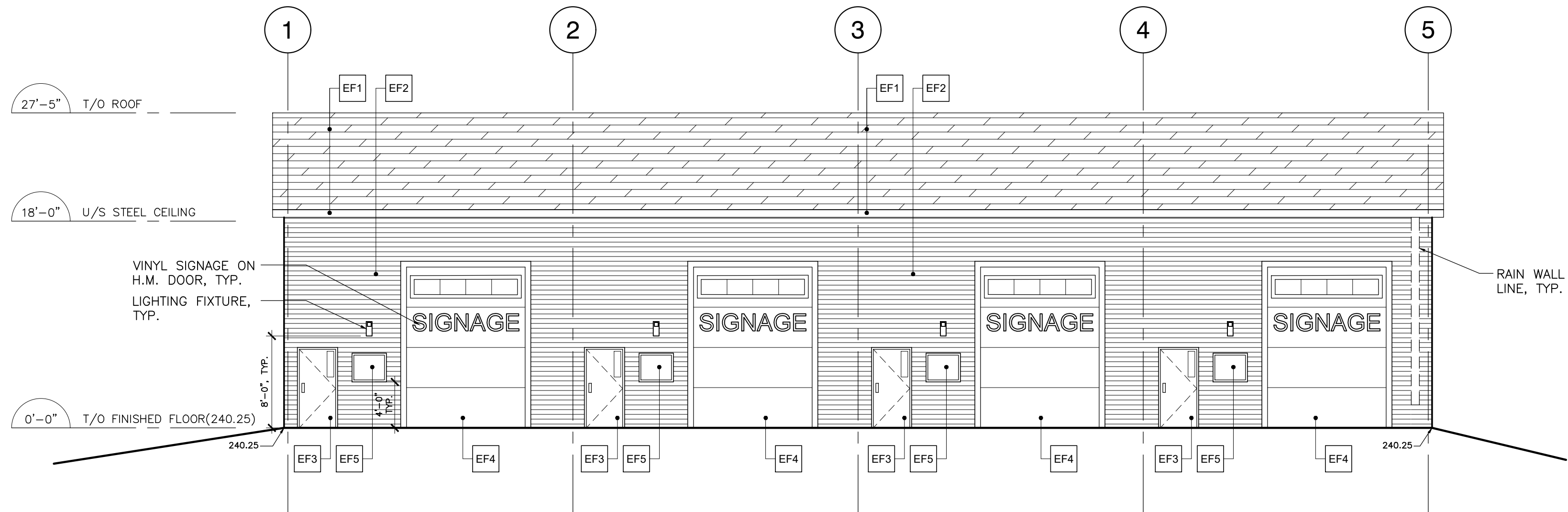
Checked by : PM

North :

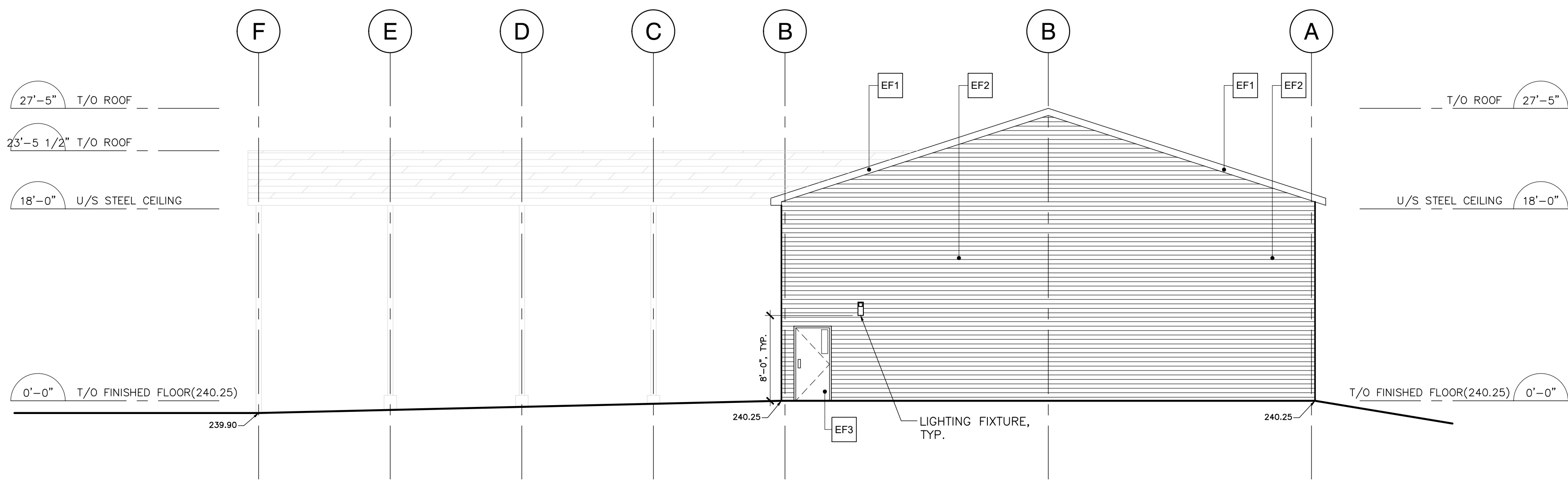
Drawing No :
A3

- EXTERIOR FINISHES:
- EF1 STEEL ROOF
REFER TO SECTION DRAWINGS
 - EF2 STEEL SLIDING
PRE-FINISHED HORIZONTAL STEEL SLIDING
COLOUR TO BE DETERMINED
 - EF3 HOLLOW METAL DOORS:
HOLLOW METAL DOOR AND FRAMES. REFER TO
DOOR AND FRAME SCHEDULE FOR
SPECIFICATIONS, TYP.
 - EF4 H.M. DOORS AND FRAMES:
PRE-FINISHED HOLLOW METAL DOORS AND
FRAMES. DOOR COLOUR TO MATCH ADJACENT
WALL COLOUR
 - EF5 GLAZED WINDOWS:
GLAZING IN PRE-FINISHED CLEAR ANODIZED
ALUMINUM FRAMES, TYP.
 - EF6 CURED CONCRETE:
 - EF7 WOOD POST:
4-2"x8" POST. REFER TO STRUCTURAL
DRAWINGS, TYP.

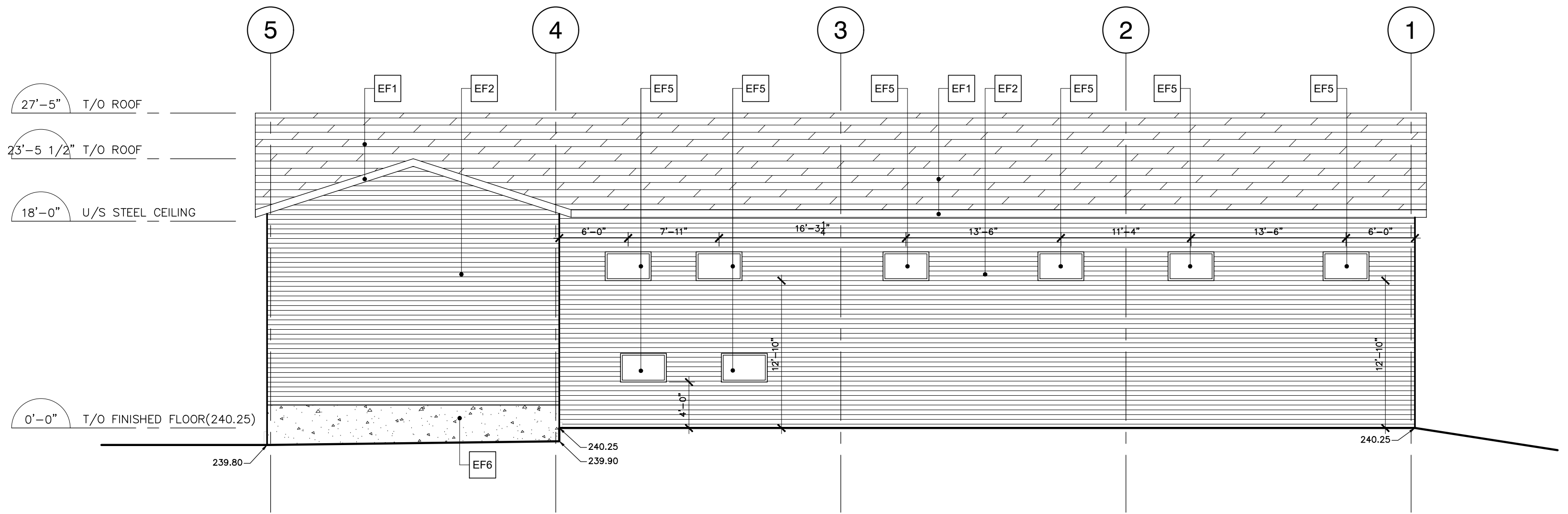
4 EXTERIOR FINISHES NOTE
SCALE: N/A



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

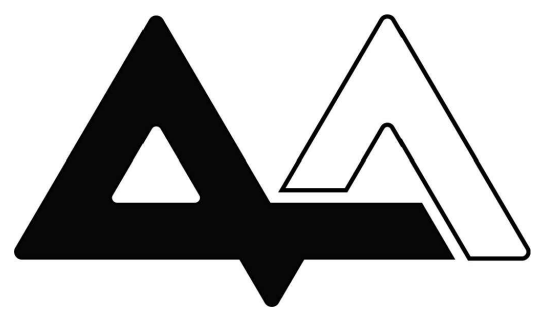


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

5 NOT USED
SCALE: N/A



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Project :
WORKSHOP / CUSTOM GARAGE
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :
ELEVATIONS

Proj no. : 20-914	Date : JULY 2020
Drawn by : JK	Scale : AS NOTED
Checked by : PM	
North :	Drawing No : A4

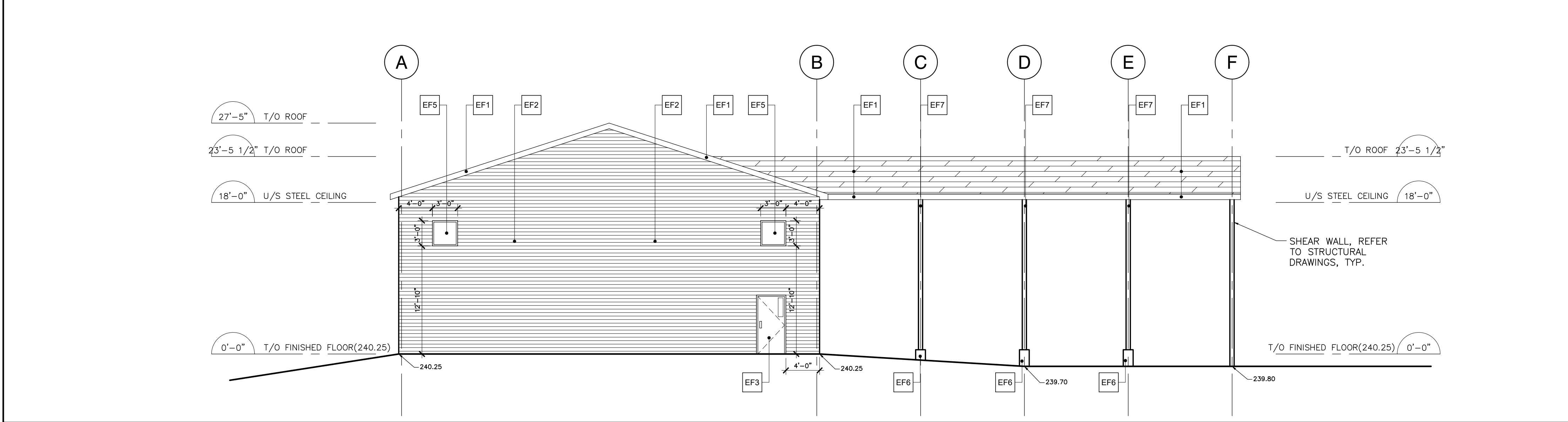
EXTERIOR FINISHES:	
EF1	STEEL ROOF REFER TO SECTION DRAWINGS
EF2	STEEL SLIDING PRE-FINISHED HORIZONTAL STEEL SLIDING COLOUR TO BE DETERMINED
EF3	HOLLOW METAL DOORS: HOLLOW METAL DOOR AND FRAMES, REFER TO DOOR AND FRAME SCHEDULE FOR SPECIFICATIONS, TYP.
EF4	H.M. DOORS AND FRAMES: PRE-FINISHED HOLLOW METAL DOORS AND FRAMES, DOOR COLOUR TO MATCH ADJACENT WALL COLOUR
EF5	GLAZED WINDOWS: GLAZING IN PRE-FINISHED CLEAR ANODIZED ALUMINUM FRAMES, TYP.
EF6	CURED CONCRETE:
EF7	WOOD POST: 4-2"x8" POST, REFER TO STRUCTURAL DRAWINGS, TYP.

2

A5

EXTERIOR FINISHES NOTE

SCALE: N/A

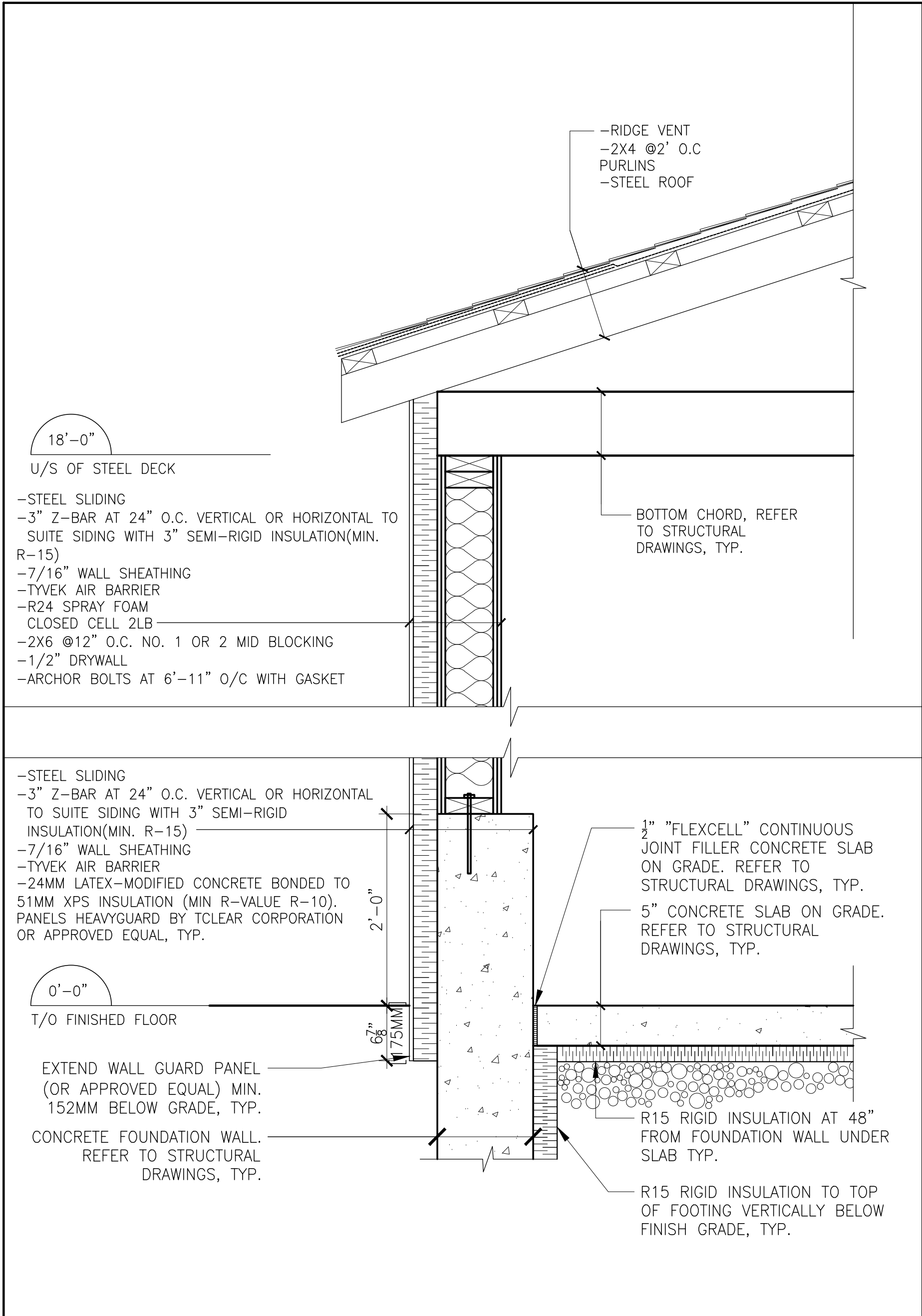


1

A5

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

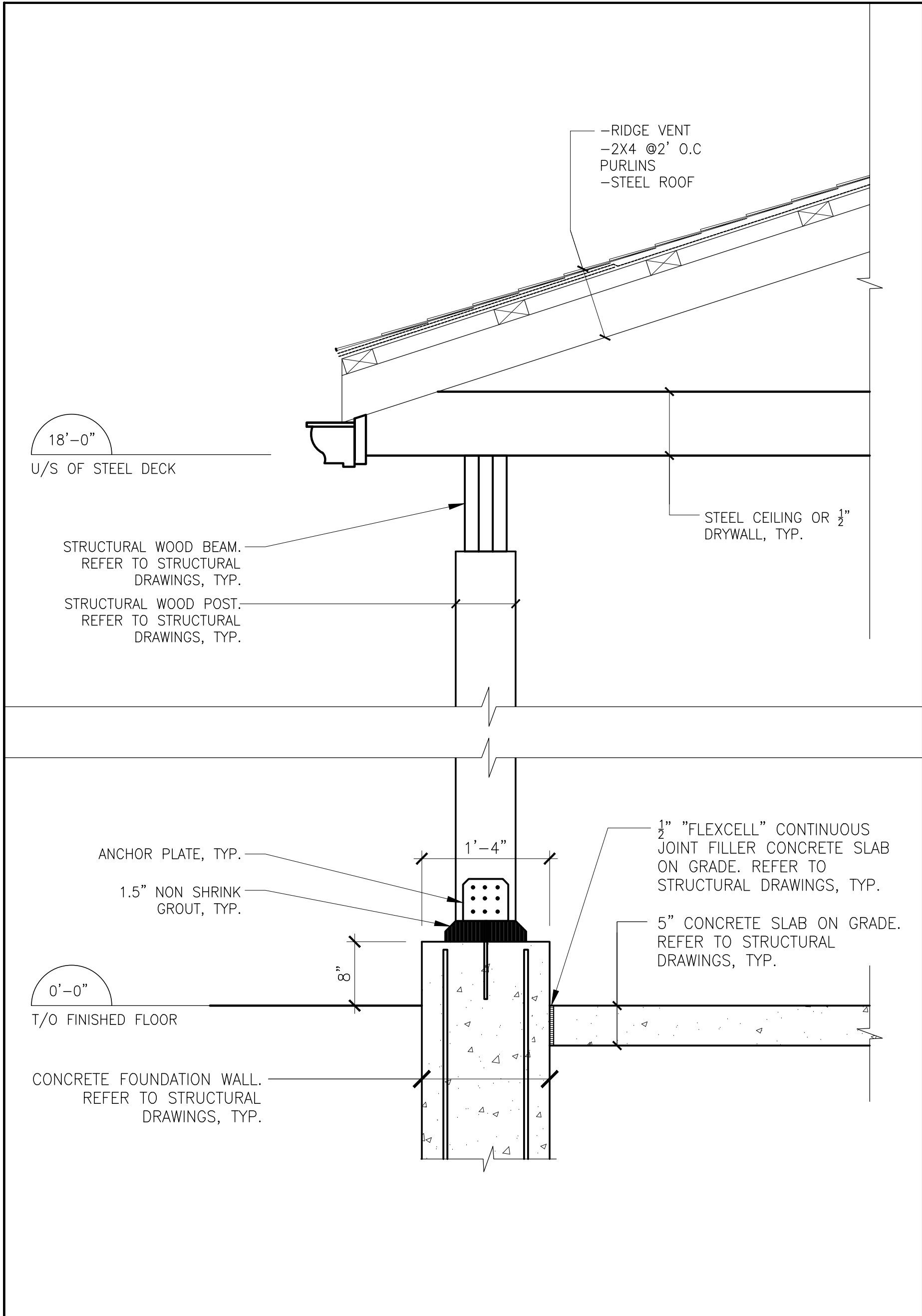


3

A5

SECTION

SCALE: 1" = 1'-0"

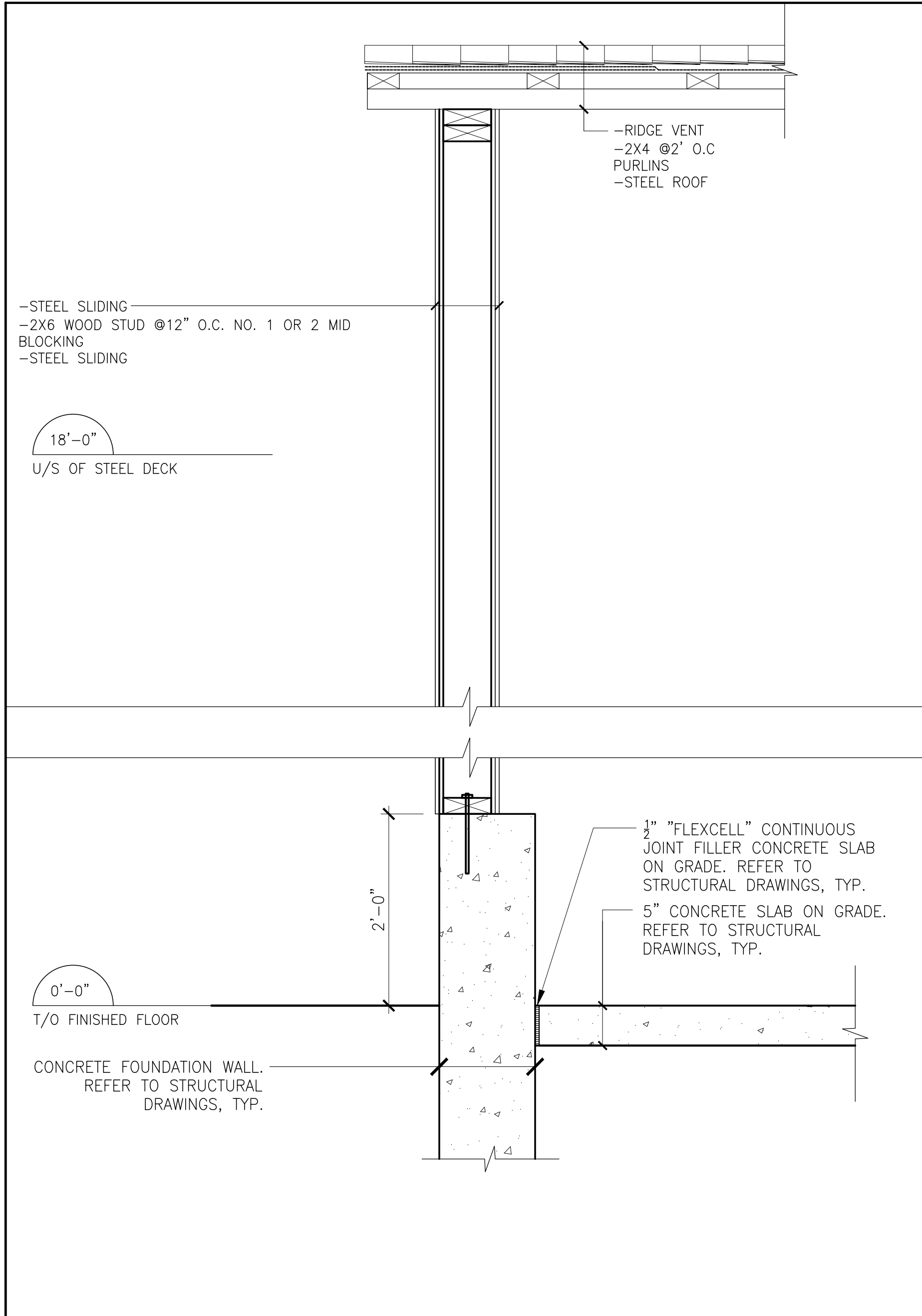


4

A5

SECTION

SCALE: 1" = 1'-0"

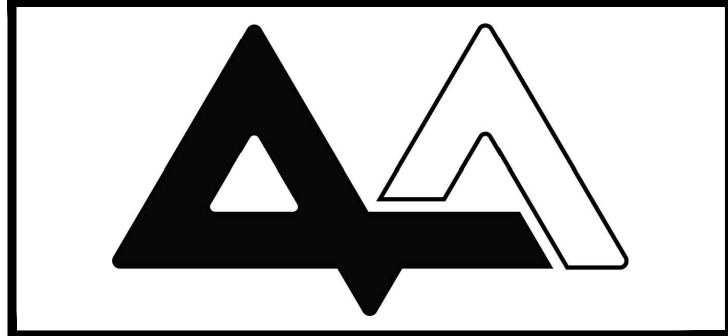


5

A5

SECTION

SCALE: 1" = 1'-0"



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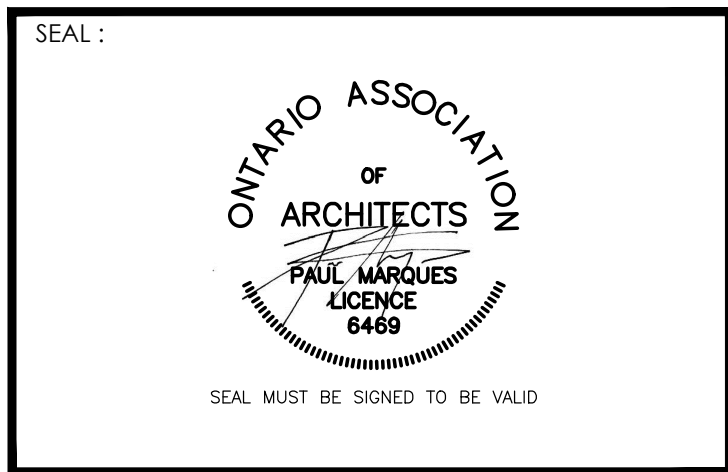
architect inc

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M9N 2B1

TEL: 647.362.2121



Project :	
WORKSHOP / CUSTOM GARAGE	
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.	
Drawing Name :	
ELEVATION & SECTIONS	
Proj no.:	20-914
Date :	JULY 2020
Drawn by :	JK
Scale :	A5 NOTED
Checked by :	PM
North :	Drawing No :
A5	

GENERAL NOTES

GENERAL REQUIREMENTS (01001)

PART 1 – GENERAL

1. GENERAL
 1. VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR FULFILLING ANY OF THE REQUIREMENTS WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
 2. THE CONTRACTORS ARE RESPONSIBLE TO OVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY THE OWNER AND PAY ALL FEES IN CONNECTION WITH THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT.

PART 2 – PROJECT CO-ORDINATION

1. GENERAL
 1. CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.

PART 3 – CUTTING AND PATCHING

- 3.1 APPROVALS
 1. SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING:
 1. STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT.
 2. INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS.
 3. FIREPROOFING, MAINTAIN WEATHER-RESISTANT ELEMENTS.
 4. VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR
 5. WORK OF OWNER OR SEPARATE CONTRACTOR.

3.2 INSPECTION

1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
2. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
3. BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.

3.3 EXECUTION

1. PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK.
2. REMOVE AND REPLACE DEFECTIVE AND NON-CONFORMING WORK.
3. PROVIDE DRAINAGE IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S WRITING CONTRACTOR'S PRESENT.
4. PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
5. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING.
6. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES.
7. CUT FIBRE MATERIALS USING POWER SAWS OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
8. CUT FIBRE MATERIALS USING POWER SAWS OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.
9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT.
11. FINISH SURFACES TO MATCH ADJACENT FINISHES. FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTENTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.

PART 4 – SUBMITTALS

4.1 ADMINISTRATIVE

1. SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.
2. WORK AFFECTED BY THE SUBMITTALS SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
3. REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CONFORMS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

4.2 SHOP DRAWINGS AND PRODUCT DATA

1. REFER TO CC 46 – SHOP DRAWINGS
2. THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
3. INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
4. ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE.
5. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
6. SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND ARCHITECT MAY REASONABLY REQUEST MORE COPIES.
7. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND ARCHITECT MAY REASONABLY REQUEST MORE COPIES WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

4.3 OPERATING MAINTENANCE MANUALS

1. TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.
 2. MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, INSTALLATION AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
 3. BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPROPRIATE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.
4. RECORD DRAWINGS
 1. AFTER AWARD OF CONTRACT, G.C. WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.
 2. RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES.
 3. IDENTIFY DRAWINGS AS PROJECT RECORD COPY. MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE FOR INSPECTION ON SITE BY ARCHITECT.
 4. ON COMPLETION OF THE WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO ARCHITECT.

PART 5 – REPORTS

5.1 REPORTS

1. SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.
2. PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.

PART 6 – CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

6.1 INSTALLATION AND REMOVAL

1. PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY.
2. REMOVE FROM SITE ALL SUCH WORK AFTER USE.

6.2 SITE STORAGE AND OVERLOADING PROPERTIES

1. REFER TO CC 33 PROTECTION OF WORK AND
2. CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNLOAD OR STORE MATERIALS OR EQUIPMENT IN AREAS WHERE IT IS PROHIBITED. DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL CHANGE THE WORK.

6.3 SANITARY FACILITIES

1. PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
2. MAINTAIN IN CLEAN CONDITION.

6.4 WATER SUPPLY

1. PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
2. ARRANGE CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
3. PAY FOR UTILITY CHARGES AT PREVAILING RATES.

6.5 TEMPORARY POWER

1. PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.
2. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.

6.6 TEMPORARY TELEPHONE

1. PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.

6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE

1. PROVIDE AND MAINTAIN IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.
2. LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CAUSE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.

6.8 PROJECT CLEANLINESS

1. MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
2. REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
3. CLEAN INTERIOR SURFACES OF THE WORK AT THE END OF EACH WORKING DAY AND REMOVE ALL OTHER CONTAMINANTS DURING FINISHING OPERATIONS.

PART 7 – MATERIAL AND EQUIPMENT

7.1 PRODUCT AND MATERIAL QUALITY

1. REFER TO CC 39 – LABOUR AND PRODUCTS.
2. PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PROVIDED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR NEGLIGENCE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
3. SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7.2 STORAGE, HANDLING AND PROTECTION

1. HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOLLING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
2. BUNDLE PACKAGES OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
3. STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

7.3 MANUFACTURER'S INSTRUCTIONS

1. UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
2. NOTIFY ARCHITECT IN WRITING OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.
3. IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

GENERAL REQUIREMENTS (01001) CONT.

7.4 QUALITY OF WORK

1. WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS.
2. DO NOT EMPLOY ANY UNIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.
3. DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT. WHOSE DECISION IS FINAL.

7.5 CONCEALMENT

1. IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
2. BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTION SITUATION. INSTALL AS DIRECTED BY ARCHITECT.

PART 8 – PROJECT CLOSEOUT

8.1 FINAL CLEANING

1. REFER TO CC 42 – CLEAN UP AND FINAL CLEANING OF THE WORK.
2. WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
3. REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.
4. LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.
5. CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL, TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.
6. REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.
7. VACUUM CLEAN AND TEST BUILDING INTERIORS, BEHIND GRILLS, LOUVERES AND SCREENS.
8. WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATION.
9. BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
10. REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

8.2 SYSTEM DEMONSTRATION

1. PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT.
2. ON POSSESSION DAY: INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.

8.3 DOCUMENTS

1. COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
2. PREPARE A COMPLETE SET OF DOCUMENTS FOR APPLICATION FOR PAYMENT.
3. SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
4. PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
5. EXECUTE TRANSFER OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY RECORD REQUIREMENTS.
6. SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
7. CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.

8.4 INSPECTION/TAKEOVER PROCEDURES

1. PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONFORMITY FOR OCCUPANCY.
2. DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED.
3. CORRECT SAME.
4. WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS EQUIVOCALLY OF THE CONTRACT HAVE BEEN CORRECTED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.
5. MAKE APPLICATION AND SUBMIT TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CONFORMS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.
4. CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

MASONRY PROCEDURES (04050)

PART 1 – GENERAL

1.1 RELATED WORK

1. MORTAR AND GROUT FOR MASONRY: – SECTION 04100
2. MASONRY ACCESSORIES: – SECTION 04150
3. MASONRY REINFORCING AND CONNECTORS: – SECTION 04160
4. BRICK UNIT MASONRY: – SECTION 04210
5. SEALANTS: – SECTION 07900

1.2 REFERENCE STANDARDS

1. DO MASONRY WORK IN ACCORDANCE WITH CAN3-A371-M84, OR LATEST RELEVANT CODES, EXCEPT WHERE SPECIFIED OTHERWISE.

1.3 PRODUCT DELIVERY, STORAGE & HANDLING

1. DELIVER MATERIALS TO JOB SITE IN DRY CONDITION.
2. KEEP MATERIALS DRY UNTIL USE.
3. STORE UNDER WATERPROOF COVER ON PALETTES OR PLANK PLATFORMS HELD OFF GROUND BY MEANS OF PLANK OR TIMBER SKIDS.

1.4 COLD WEATHER REQUIREMENTS

1. SUPPLEMENT CLAUSE 5.15.2 OF CAN3-A371-M84, OR LATEST RELEVANT CODES, WITH THE FOLLOWING REQUIREMENTS:
 1. MAINTAIN TEMPERATURES OF MORTAR BETWEEN 5° CELSIUS AND 50° CELSIUS UNTIL USED.

1.5 HOT WEATHER REQUIREMENTS

1. PROTECT FRESHLY LAID MASONRY FROM DRYING TOO RAPIDLY, BY MEANS OF WATERPROOF, NON-STAINING COVERINGS.

1.6 PROTECTION

1. KEEP MASONRY DRY USING WATERPROOF, NON-STAINING COVERINGS THAT EXTEND OVER WALLS AND DOWN SIDES SUFFICIENT TO PROTECT WALLS FROM WIND DRIVEN RAIN. MASONRY WORKS IS COMPLETED AND PROTECTED BY FLASHING OR OTHER MEANS WHERE CONJOINT JOINTS ARE INDICATED.
2. PROTECT MASONRY AND OTHER WORK FROM MARKING AND OTHER DAMAGE. PROTECT COMPLETED WORK FROM MORTAR DROPPINGS.
3. PROVIDE TEMPORARY BRACING OF MASONRY WORK DURING AND AFTER ERECTION UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. MASONRY MATERIALS ARE SPECIFIED IN RELATED SECTIONS INDICATED IN 1.1.

2.2 TOLERANCES

1. TOLERANCES IN NOTES TO CLAUSE 5.3 OF CAN3-A371-M84 APPLY, OR LATEST RELEVANT CODES.

2.3 EXPOSED MASONRY

1. REMOVE CHIPPED, CRACKED, AND OTHERWISE DAMAGED UNITS IN EXPOSED MASONRY AND REPLACE WITH UNDAUNED UNITS.

2.4 JOINTING

1. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN TOOL WITH ROUND JOINTER TO DESIRED SPACE BETWEEN TOP OF MORTAR JOINTS.
2. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN RAKE JOINTS UNIFORM TO GAIN DEPTH AND COMPRESS WITH SOLANS TOOL, TO PROVIDE SMOOTH COMPRESSED, RAKED JOINTS OF UNIFORM DEPTH WHERE RAKED JOINTS ARE INDICATED.
3. STRIKE FLUSH ALL JOINTS CONCEALED IN WALLS AND JOINTS IN WALLS TO RECEIVE PLASTER, TILE, INSULATION, OR OTHER APPLIED MATERIAL EXCEPT PAINT OR SIMILAR THIN FINISH COATING.

2.5 CUTTING

1. CUT OUT NEATLY FOR ELECTRICAL SWITCHES, OUTLET BOXES, AND OTHER RECESSED, OR BUILT-IN OBJECTS.
2. MAKE CUTS STRAIGHT, CLEAN AND FREE FROM UNWEN EDGES BUILDING-IN:
 1. BUILD IN ITEMS REQUIRED TO BE BUILT INTO MASONRY.
 2. PREVENT DISPLACEMENT OF BUILT-IN ITEMS DURING CONSTRUCTION, CHECK PLUMB, LOCATION AND ALIGNMENT FREQUENTLY, AS WORK PROGRESSES.
 3. BRIDGE JOINT JAMBS TO MAINTAIN PLUMB. FILL SPACES BETWEEN JAMBS AND MASONRY WITH MORTAR.

2.6 PARING

1. USE PARING MORTAR SCAPED IN SECTION 04100 – MORTAR AND GROUT FOR MASONRY.
2. SPRAY PARING IN UNIFORM COATING NOT LESS THAN 10MM THICK, WHERE INDICATED.

2.7 SUPPORT OF LOADS

1. USE 14 MPA CONCRETE TO SECTION 03300 – CAST IN PLACE CONCRETE, WHERE CONCRETE FILL IS USED IN LIEU OF SOLD UNITS.
2. USE GROUT TO CSA A170-M1976, OR LATEST RELEVANT CODES, WHERE GROUT IS USED IN LIEU OF SOLD UNITS.
3. INSTALL BUILDING PAPER BELOW VOIDS TO BE FILLED WITH CONCRETE OR GROUT, KEEP PAPER 25 MM BACK FROM FACES OF UNITS.

2.8 PROVISION FOR MOVEMENT

1. LEAVE 3 MM SPACE BELOW SHELF ANGLES.
2. PROVIDE SEPARATION BETWEEN TOP OF NON-LOAD BEARING WALLS AND PARTITIONS AND STRUCTURAL ELEMENTS, DO NOT USE WEDGES.

2.9 LOOSE STEEL LINTELS

1. INSTALL LOOSE STEEL LINTELS. CENTRE OVER OPENING WIDTH.

2.10 CONTROL JOINTS

1. PROVIDE CONTINUOUS CONTROL JOINTS AS INDICATED OR AS RECOMMENDED BY REFERENCE STANDARDS OR REQUIRED FOR GOOD CONSTRUCTION PRACTICE.

2.11 EXISTING WORK

1. MAKE GOOD EXISTING WORK. USE MATERIAL TO MATCH EXISTING.

2.12 TESTING

1. INSPECTION AND TESTING WILL BE CARRIED OUT BY TESTING LABORATORY DESIGNATED BY CONSULTANT.
2. COST OF TESTING WILL BE PAID BY OWNER.

MASONRY, MORTER & GROUT (04100)

PART 1 – GENERAL

1.1 RELATED WORK

1. MASONRY PROCEDURES: – SECTION 04050
2. MASONRY MORTAR AND GROUT: – SECTION 04100
3. MASONRY ACCESSORIES: – SECTION 04150
4. MASONRY REINFORCING AND CONNECTORS: – SECTION 04160
5. BRICK UNIT MASONRY: – SECTION 04210

1.2 REFERENCE STANDARDS

1. DO MASONRY MORTAR AND GROUT WORK IN ACCORDANCE WITH CSA A179-M84 (R1999), OR LATEST EDITION, EXCEPT WHERE SPECIFIED ELSEWHERE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. MORTAR AND GROUT: CSA A179-M1976, OR LATEST EDITION.
2. USE AGGREGATE PASSING 1.18 MM SIEVE WHERE GAN THICK JOINTS ARE INDICATED.

2.2 MATERIAL SOURCE

1. USE SAME BRANDS OF MATERIALS AND SOURCE OF AGGREGATE FOR ENTIRE PROJECT.

2.3 MORTAR TYPES

1. MORTAR FOR EXTERIOR MASONRY ABOVE GRADE: CSA 179
 1. LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.
 2. NON-LOAD BEARING: TYPE N BASED ON PROPORTION SPECS.
2. PARAPET WALLS, UNPROTECTED WALLS.
3. MORTAR FOR FOUNDATION WALLS, MANHOLES, SEWERS, PAVEMENTS, WALKS, AND OTHER EXTERIOR MASONRY AT OR BELOW GRADE: TYPE M BASED ON PROPORTION SPECIFICATIONS.
4. MORTAR FOR INTERIOR MASONRY:
 1. LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.
 2. NON-LOAD BEARING: TYPE O BASED ON PROPORTION SPECS.
5. FOLLOWING APPLIES REGARDLESS OF MORTAR TYPES AND USES:
 1. MORTAR FOR CALCIUM SILICATE BRICK AND CONCRETE BRICK. TYPE O BASED ON PROPORTION SPECIFICATIONS.

2.4 GROUT

1. GROUT: TO CSA A179-M84 (R1999), TABLE 3, OR LATEST EDITION.

PART 3 – EXECUTION

3.1 MIXING

1. MIX GROUT TO SEMI-FLUID CONSISTENCY.
2. PRE-HEATED PORTLAND MORTAR BY MIXING INGREDIENTS DRY, THEN MIX AGAIN ADDING JUST ENOUGH WATER TO PRODUCE PAST UNWORKABLE MIX THAT WILL RETAIN ITS FORM WHEN PRESSED INTO A BALL.
3. ALLOW STANDING FOR NOT LESS THAN ONE (1) HOUR AND NOT MORE THAN TWO (2) HOURS, AND THEN REMIXING WITH SUFFICIENT WATER TO PRODUCE MORTAR OF PROPER CONSISTENCY FOR POINTING.

MASONRY ACCESSORIES (04150)

PART 1 – GENERAL

1.1 RELATED WORK

1. MASONRY PROCEDURES: – SECTION 04050
2. MASONRY REINFORCING AND CONNECTORS: – SECTION 04160

PART 2 – PRODUCTS

2.1 MATERIALS

1. CONTROL JOINT FILLER: PURPOSE-MADE ELASTOMER TO ASTM D2240-81, OR LATEST EDITION, OF SIZE AND SHAPE INDICATED.
2. NAULING INSERTS: 0.6 MM THICK PURPOSE-MADE GALVANIZED STEEL INSERTS FOR SETTING IN MORTAR JOINTS.
3. JOINTS FLASHING: ONE OF THE FOLLOWING: USE SPECIFIED MATERIAL WHERE INDICATED ON DRAWINGS:
 1. ROTOLYF
 2. GRAF BUTHTHENE 3000 (NCL PRIMER P3100)
 3. LAP ADHESIVE: RECOMMENDED BY MANUFACTURER OF FLASHING MATERIAL.
 4. WEAP HOLE VENTS: PURPOSE MADE PVC OR GALVANIZED STEEL, DESIGNED TO DRAIN CAVITIES TO EXTERIOR.

2.2 TOLERANCES

1. TOLERANCES IN NOTES TO CLAUSE 5.3 OF CAN3-A371-M84 APPLY, OR LATEST RELEVANT CODES.

2.3 EXPOSED MASONRY

1. REMOVE CHIPPED, CRACKED, AND OTHERWISE DAMAGED UNITS IN EXPOSED MASONRY AND REPLACE WITH UNDAUNED UNITS.

2.4 JOINTING

1. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN TOOL WITH ROUND JOINTER TO DESIRED SPACE BETWEEN TOP OF MORTAR JOINTS.
2. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN RAKE JOINTS UNIFORM TO GAIN DEPTH AND COMPRESS WITH SOLANS TOOL, TO PROVIDE SMOOTH COMPRESSED, RAKED JOINTS OF UNIFORM DEPTH WHERE RAKED JOINTS ARE INDICATED.
3. STRIKE FLUSH ALL JOINTS CONCEALED IN WALLS AND JOINTS IN WALLS TO RECEIVE PLASTER, TILE, INSULATION, OR OTHER APPLIED MATERIAL EXCEPT PAINT OR SIMILAR THIN FINISH COATING.

2.5 CUTTING

1. CUT OUT NEATLY FOR ELECTRICAL SWITCHES, OUTLET BOXES, AND OTHER RECESSED, OR BUILT-IN OBJECTS.
2. MAKE CUTS STRAIGHT, CLEAN AND FREE FROM UNWEN EDGES BUILDING-IN:
 1. BUILD IN ITEMS REQUIRED TO BE BUILT INTO MASONRY.
 2. PREVENT DISPLACEMENT OF BUILT-IN ITEMS DURING CONSTRUCTION, CHECK PLUMB, LOCATION AND ALIGNMENT FREQUENTLY, AS WORK PROGRESSES.
 3. BRIDGE JOINT JAMBS TO MAINTAIN PLUMB. FILL SPACES BETWEEN JAMBS AND MASONRY WITH MORTAR.

2.6 PARING

1. USE PARING MORTAR SCAPED IN SECTION 04100 – MORTAR AND GROUT FOR MASONRY.
2. SPRAY PARING IN UNIFORM COATING NOT LESS THAN 10MM THICK, WHERE INDICATED.

2.7 SUPPORT OF LOADS

1. USE 14 MPA CONCRETE TO SECTION 03300 – CAST IN PLACE CONCRETE, WHERE CONCRETE FILL IS USED IN LIEU OF SOLD UNITS.
2. USE GROUT TO CSA A170-M1976, OR LATEST RELEVANT CODES, WHERE GROUT IS USED IN LIEU OF SOLD UNITS.
3. INSTALL BUILDING PAPER BELOW VOIDS TO BE FILLED WITH CONCRETE OR GROUT, KEEP PAPER 25 MM BACK FROM FACES OF UNITS.

2.8 PROVISION FOR MOVEMENT

1. LEAVE 3 MM SPACE BELOW SHELF ANGLES.
2. PROVIDE SEPARATION BETWEEN TOP OF NON-LOAD BEARING WALLS AND PARTITIONS AND STRUCTURAL ELEMENTS, DO NOT USE WEDGES.

2.9 LOOSE STEEL LINTELS

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GENERAL NOTES

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT.

PART 1 – GENERAL

1.1 SYSTEM DESCRIPTION:DUAL BARRIER, DRAINING SYSTEM

1. THE DRYVET OUTSULATION SYSTEM IS CONSIDERED A COMBUSTIBLE WALL CLADDING THAT MAY BE USED IN A NON-COMBUSTIBLE CONSTRUCTION AS IT IS DEFINED IN THE NATIONAL BUILDING CODE OF CANADA, PART 3, SECTION 3.1.5. THE OUTSULATION SYSTEM MAY ALSO BE USED IN COMBUSTIBLE CONSTRUCTION AS PER SECTION 3.1.4.

2. THE DRYVET OUTSULATION SYSTEM HAS BEEN EVALUATED BY CMC AND IS LISTED TO PERFORM AT A LEVEL EQUAL TO OR GREATER THAN THAT REQUIRED BY PART 5, SECTION 8.2.7, FOR APPLICATION.

NOTE: A SECONDARY MOISTURE BARRIER IS PART OF ALL CMC EIFS EVALUATIONS AND IS REQUIRED (WHERE A CMC LISTING OF SYSTEMS AND MATERIALS IS CODE ENFORCED), ON THIS PROJECT

1.4 DESIGN REQUIREMENTS

1. SUBSTRATE/SUBSTRATE SYSTEMS

1. SHALL BE ENGINEERED BY OTHERS
2. THE MAXIMUM DEFLECTION UNDER FULL FLEXURAL DESIGN LOADS OF THE SUBSTRATE SHALL NOT EXCEED 1/240 TIMES THE SPAN. THE SUBSTRATE SHALL BE FLAT WITHIN $\pm 1/8"$ IN 4' RADIUS
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBSTRATE SUBSTRATE IS OF A TYPE AND CONDITION ACCEPTABLE FOR THE PROPOSED SUBSTRATE IS ACCEPTABLE FOR APPLICATION
4. APPLICATION OF INSULATION SHALL BE TO THE FOLLOWING RECOMMENDED SUBSTRATES:
 1. PROPRIETARY TREATED COR. FIRE-FACED GYPSUM SHEATHING MEETING ASTM C177.
 2. FOUNDED CONCRETE, CLEAN OF ALL DUST, FORM AGENTS, AND OTHER DELECTERIOUS MATERIALS.
 3. UNIT MASONRY AND VENEER (UNGLAZED) MEETING THE INSPECTION REQUIREMENTS OF A DRYVET REPRESENTATIVE.
 4. EXTERIOR CEMENT BO. APPROVED BY DRYVET.

2. AIR/MOISTURE BARRIERS

AIR MOISTURE BARRIER OR "SECONDARY BARRIER" IS A DESIGN REQUIREMENT. LINE OF AIR TIGHTNESS LOCATED WITHIN THE WALL ASSEMBLY. THIS BARRIER ALSO FUNCTIONS AS THE AIR BARRIER SYSTEM. DRYVET SECONDARY BARRIERS MEET NBC REQUIREMENT FOR AIR BARRIERS HAVING AN AIR LEAKAGE RATE OF $\leq 0.05 \text{ L/s/m}^2 @ 75 \text{ Pa}$.

1. BARRIER MATERIALS FOR DRYVET SYSTEMS.

1. BACKSTOP, A WATER RESISTANT AIR BAR- RIER MEMBRANE HAVING A WATER VAPOUR PERMEANCE OF $>1000 \text{ Ng/Pa}\cdot\text{S}\cdot\text{M}^2$, FIELD MIXED 1:1 WITH CEMENT.

2. DRYVET GRID TAPE, DRYVET FLASHING TAPE AND FLASHING TAPE PRIMER SHALL BE USED IN CONJUNCTION WITH THE AIR BARRIER MATERIALS LISTED ABOVE FOR MAINTAINING BARRIER CONTINUITY THROUGH OUT THE WALL SYSTEM WHEN REQUIRED. 3.WHERE POSSIBLE, FIT AND SHIP ASSEMBLY WORK, READY FOR ERECTION.

3. BACKSTOP-FOR DRESSINGS COLD SHEATHING BACKSTOP NT-FOR PLYWOOD SHEATHING

4. INSTALLATION OF AIR BARRIERS TO PROCEED IMMEDIATELY AFTER INSTALLATION OF SHEATHING. SEAL AROUND PROTECTING MASONRY TIES WHERE APPLICABLE.

3. DETAIL TREATMENT

1. THE INSULATION BOARD EDGE SHALL BE COMPLETELY ENCAPSULATED WITH DRYVET BASE COAT MATERIAL AND MESH AT ALL SYSTEM TERMINATIONS.

2. THE LENGTH AND SLOPE OF INCLINED SURFACES SHALL FOLLOW THE GUIDELINES LISTED BELOW:

1. MINIMUM SLOPE: 6°(102mm) OF RISE IN 12" (305mm) OF HORIZONTAL PROJECTION.
2. MAXIMUM LENGTH OF SLOPE: 10'(254mm)
3. OUTSULATION SHALL NOT BE USED IN AREAS DEFINED AS ROOFS BY BUILDING CODES.

GROUND FLOORS AND HIGH TRAFFIC AREAS SHALL BE REINFORCED WITH A DOUBLE LAYER OF RE-INFORCING MESH CONSISTING OF PANZER MESH AS A MINIMUM FIRST LAYER AND STANDARD OR STANDARD PLUS MESH AS THE SECOND LAYER. LOCATION OF HIGH IMPACT AREAS SHALL BE INDICATED AND SPECIFIED ON ALL CONTRACT DRAWINGS.

4. CORNERS SHALL BE REINFORCED BY DOUBLE WRAPPING THE REINFORCING MESH OR BY INSTALLING CORNER MESH. REFER TO DRYVET DETAIL D50107.

5. CORNERS OF OPENINGS SHALL BE REINFORCED USING A 9.5" (241mm) WIDE STRIP OF DETAIL MESH LAID AT 45° ANGLE. REFER TO INSTALL- ATION DRYVET DETAIL D5107.

6. THE INSULATION BOARDS AT CORNERS OF OPEN- INGS SHALL BE CUT L-SHAPED SO THAT THEIR EDGES DO NOT ALIGN WITH THE CORNER.

7. TERMINATION OF THE SYSTEM AT TOPS OF WALLS SHALL BE COVERED WITH A CONTINUOUS METAL CAPPING. REFER TO INSTALLATION DRYVET DETAIL D5107.

4. SEALANTS/SEALANT SYSTEMS

1. DRYVET MATERIALS SHALL BE COMPLETELY DRY PRIOR TO THE INSTALLATION OF SEALANT (24-48 HOURS MINIMUM DRYING TIME). SEALANT PRIMERS ARE RECOMMENDED FOR SURFACE TREATMENT ON ALL SEALANT APPLICATIONS.

2. SEALANTS APPROVED FOR USE WITH THE DRYVET OUTSULATION SYSTEM ARE LISTED IN D5153, EXPANSION JOINTS AND SEALANTS.

3. SEALANT SYSTEM: INCLUDES THE SEALANT, CLOSED CELL BACKER ROD OR EQUIVALENT, BOND BREAKER TAPE, PRIMER AND ACCESSORIES WHICH ARE MANUFACTURED BY OTHERS.

5. EXPANSION JOINTS

1. PROVIDE A MINIMUM OF 3/4" (19mm) WIDTH FOR ALL EXPANSION JOINTS.

2. CONTINUOUS EXPANSION JOINTS IN OUTSULATION SHALL BE INSTALLED AT, BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:

1. WHERE EXPANSION JOINTS OCCUR IN THE SUBSTRATE SYSTEM.
2. WHERE BUILDING EXPANSION JOINTS EXIST.
3. WHEN OUTSULATION ABUTS DISSIMILAR MATERIALS.
4. AT FLOOR LINES IN WOOD FRAME CONSTRUCTION.
5. AT FLOOR LINES WHERE A NESTED STUD ASSEMBLY IS USED.
6. WHERE SUBSTRATE SYSTEM MATERIALS CHANGE.
7. AT CHANGES IN ROOF LINES, BUILDING SHAPE, OR STRUCTURAL SYSTEM.

1.5 SUBMITTALS

1. SUBMIT COPIES OF MANUFACTURER'S SPECIFICA- TIONS AND INSTALLATION INSTRUCTIONS.
2. SUBMIT COPY OF MANUFACTURER'S CURRENT ISO 9001 REGISTRATION AND COMPLIANCE.

3. TRAINED APPLICATION OF THE SUBMIT 20 8"x8" (204x204mm) SAMPLE FOR EACH FINISH, COLOUR AND TEXTURE.

4. IN FABRICATION, THE TRAINED APPLICATOR SHALL SUBMIT COMPLETE SHOP DRAWINGS INCLUDING ERECTION SCHEDULES AND DETAILS.

1.6 QUALITY ASSURANCE

1. MANUFACTURER

1. SYSTEM MANUFACTURER SHALL BE DRYVET SYSTEMS CANADA.
2. BE MEMBER IN GOOD STANDING WITH EIFS COUNCIL OF CANADA AND CIMA.
3. TO HAVE CURRENT CMC LISTING AND LISTING NUMBER ON PRODUCTS SUPPLIED.
4. THE INSULATION BOARD MANUFACTURER SHALL BE RECOGNIZED BY DRYVET SYSTEMS CANADA.

2. CONTRACTOR

1. THE TRAINED APPLICATOR OR PANEL FABRI- CATOR SHALL BE RECOGNIZED BY DRYVET SYSTEMS CANADA.
2. TO HAVE REQUIRED AMOUNT OF EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND SCOPE. NUMBER OF PROJECTS TO BE DETERMINED BY THE PROJECT MANAGER.
3. TO EMPLOY NECESSARY AMOUNT OF QUALIFIED PERSONNEL TO COMPLETE PROJECT IN TIMELY MANNER.

1.7 MOCK-UPS

1. ONCE ACCEPTED MOCK-UP WILL DEMONSTRATE MINIMUM STANDARD FOR ACCEPTABLE WORK. IT IS RECOMMENDED THAT A MOCK-UP BE CON- TRUCTED FOR PROJECTS WHERE THE FOLLOWING NEEDS TO BE ESTABLISHED:

- a) SEQUENCE OF AIR BARRIER SYSTEM INSTALL- LATION, AND SHOULD SHOW TYPICAL AIR BARRIER CONNECTIONS WHERE DISSIMILAR AIR BARRIER MATERIALS WILL BE USED (e.g. WINDOWS AND WINDOW PENETRATION).
- b) SEQUENCE OF WALL SYSTEM COMPONENTS SUCH AS EIFS SYSTEM, FENESTRATIONS, FLASHINGS, SEALANTS, ETC.

1.8 DELIVERY, STORAGE AND HANDLING

1. DELIVER ALL MATERIALS IN ORIGINAL, UNOPENED PACKAGES WITH LABELS INTACT.
2. PROTECT ALL DRYVET MATERIALS FROM WEATHER AND DIRECT SUNLIGHT.

3. STORE ALL DRYVET MATERIALS IN A COOL, DRY LOCATION AT A TEMPERATURE NOT LESS THAN 40° (40°)

1.9 PROJECT CONDITIONS

1. EXISTING CONDITIONS: THE CONTRACTOR SHALL HAVE ACCESS TO ELECTRICAL POWER, CLEAN POTABLE WATER, AND A CLEAN WORK AREA IN IMMEDIATE AREA OF SYSTEM INSTALLATION.

2. ENVIRONMENTAL CONDITIONS: THE AMBIENT AIR AND WALL SURFACE TEMPERA- TURE SHALL BE A MINIMUM OF 40° (40°) DURING AND FOLLOWING INSTALLATION OF DRYVET MAT- RIALS FOR A MINIMUM OF 24 HOURS UNTIL MATERIALS ARE FULLY DRY.

3. PROTECTION

1. ADJACENT AREAS AND MATERIALS SHALL BE PROTECTED FROM DAMAGE, DROPS, AND SPLS DURING THE APPLICATION OF THE DRYVET MATERIALS.
2. DRYVET MATERIALS SHALL BE PROTECTED BY PERMANENT OR TEMPORARY MEANS FROM WEATHER AND OTHER DAMAGE PRIOR TO DURING AND IMMEDIATELY AFTER APPLICATION. CARE MUST BE TAKEN TO PREVENT CONDEN- SATION AND/OR HEAT BUILT-UP, WHEN USING A HEATED ENCLOSURE IN INCLEMENT WEATHER.

4. SEQUENCING AND SCHEDULING

1. INSTALLATION OF OUTSULATION SHALL BE COORDINATED WITH OTHER CONSTRUCTION TRADES.
2. SUFFICIENT PERSONNEL AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COOLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC.

1.10 LIMITED MATERIALS AND LABOUR WARRANTY

1. DRYVET SYSTEMS CANADA SHALL PROVIDE A 5 (FIVE) YEAR LIMITED MATERIALS WARRANTY. RECEIPT OF A PROPERLY EXECUTED WARRANTY REQUEST AND COMPLETED PROJECT FORM IS REQUIRED. NO WARRANTY IS ISSUED UNLESS ALL MATERIALS ARE PAID FOR IN FULL.

1.11 CERTIFICATION

1. THE EIFS ASSEMBLY INCLUDING THE AIR BARRIER (MARKED ALSO AS "STUCCO FINISH") DESIGNED AS DUAL BARRIER DRAINING SYSTEM, IT IS THE RESPONSIBILITY OF DRYVET SYSTEMS CANADA TO CARRY OUT PERIODIC ON-SITE INSPECTIONS TO ENSURE THAT SYSTEM INSTALLATION COMPLETES AND MEETS THE DESIGN CRITERIA, DRYVET STANDARDS AND THE PERFORMANCE REQUIREMENTS. FINAL CERTIFICATION TO THIS EFFECT TO BE ISSUED BY DRYVET AT COMPLETION OF CONSTRUCTION.

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT.

PART 2 – PRODUCTS

2.1 GENERAL

1. ALL COMPONENTS OF THE OUTSULATION SYSTEM SHALL BE SUPPLIED BY AND/OR OBTAINED FROM DRYVET SYSTEM CANADA (OR APPROVED EQUIV) OR ITS AUTHORIZED DISTRIBUTORS.

2.2 MATERIALS

1. ADHESIVE MATERIAL

1. PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAISLS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE TO PORT- LAND CEMENT.

2. OUTSULATION INSULATION BOARD

1. THE OUTSULATION INSULATION BOARD SHALL BE AGED, EXPANDED POLYSTYRENE WITH AN AVERAGE NOMINAL DENSITY OF 1.0 p.c.f. (16 kg/m³) BUT NOT LESS THAN 0.85 p.c.f. (15 kg/m³) MEETING THE CURRENT PUBLISHED SPECIFICATIONS OF DRYVET'S PUBLICATION D50131, AND SHOULD APPLY TO EACH AND EVERY BOARD SUPPLIED, NOT AS AN AVERAGE.

2. THE OUTSULATION INSULATION BOARD SHALL MEASURE A MINIMUM OF 24" (610mm) BY 48" (1220 mm), MINIMUM THICKNESS OF 1" (25mm).

3. DRYVET REINFORCING MESH

1. STANDARD MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq/yd (154 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 200 lb/yd (890 N/2.54cm) WET.

2. PANZER 15 MESH: A TREATED GLASS FIBRE MESH THAT MUST WEIGH A MIN. OF 15 oz/sq.yd (509 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 700 lbs/in (1226 N/cm) OF WIDTH.

NOTE: WHEN PANZER 15 MESH IS USED, A LAYER OF STANDARD MESH MUST BE INSTALLED OVER THE PANZER 15.

3. MESH: A TREATED, GLASS FIBRE MESH THAT MUST WEIGH A MINIMUM OF 9.5 oz/sq.yd (320 kg/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 290 lbs/in (508 N/cm) OF WIDTH.

4. DETAIL MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq.yd (152 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 185 lb/in (325 N/cm) OF WIDTH.

4. BASE COATING MATERIAL

1. PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAISLS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE TO PORT- LAND CEMENT.

5. TEXTURED FINISH

1. LOOK ACRYLIC FINISHES WITH QUARTZ AGGREGATE, GATE, & DIRT PICK-UP RESISTANT TECHNOLOGY.

1. QUARTZPUTS – CREATES A "RIILED" OR "SCRATCHED" PATTERN IN RANDOM OR REGULAR TEXTURE.
2. SANDBLAST – A FINE POSITIVE "SAND" STYLE TEXTURE
3. SANDBLEBBLE – A DEEPER TEXTURED SAND STYLE FINISH
4. SANDBLEBBLE FINE – A FINE VERSION OF THE SANDBLEBBLE TEXTURE.

NOTE: SOME COLOURS MAY REQUIRE THE USE OF DRYVET COLOR PRIME.

6. PRIMERS

1. COLOR PRIME: A WATER-BASED PIGMENTED ACRYLIC PRIMER.

2.3 EQUIPMENTS

1. ALL MIXING SHALL BE DONE WITH A CLEAN DRUMBLER AFTER MIXER NO. 153117H OR EQUIVALENT, POWERED BY A 1/2" (31mm) DRILL OR EQUIVALENT AT 400-500 RPM.

2. A HIGH-SPEED WOOD ROUTER WITH PROPER A HOT KNIFE, OR HOT GROOVER.

3. HAND OR POWER TOOLS ASSOCIATED WITH THE EIFS PLASTERING TRADE.

PART 3 – EXECUTION

3.1 INSPECTION

1. PRIOR TO APPLICATION OF OUTSULATION, THE SUBSTRATE SHALL BE EXAMINED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND DRYVET SYSTEMS CANADA SYSTEM SPECIFICATIONS (THIS DOCUMENT). THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE ADVISED OF ALL DISCREPANCIES. WORK SHALL NOT PROCEED UNTIL UNSATIS- FACTORY CONDITIONS ARE CORRECTED.

3.2 SYSTEM INSTALLATION

1. REFER TO D5204 (INSULATION INSTRUCTIONS)

2. INSTALLATION OF INSULATION BOARD

1. ADHESIVE SHALL BE APPLIED VERTICALLY TO THE INSULATION BOARD USING A NOTCHED TROWEL FORMING RIBBONS OF NOT LESS THAN 3/8" (9.6mm) HIGH, 3/8" (9.6mm) WIDE, SPACED NO GREATER THAN 15" (379mm), (HORIZONTAL RIBBONS) OR 12" (305mm) VERTICALLY TO ALLOW FOR CONTINUOUS AIR SPACE/ DRAINAGE BETWEEN RIBBONS FROM TOP TO BOTTOM OF EIFS INSULATED AREA. FOL- LOWING ADEQUATE APPLICATION, BOARD SHALL IMMEDIATELY BE INSTALLED. NO ADHESIVE IS TO BE USED BETWEEN BOARD JOINTS AT ANY LOCATION.

2. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE STARTING FROM THE BASE OF THE WALL WITH ITS LONG EDGE ORIENTED VERTICALLY. BEGINNING IN THE FIELD OF THE WALL AND WORKING OUTWARD TO OUTSIDE CORNERS. INSULATION BOARD JOINTS SHALL BE OFFSET FROM SHEDDING BOARD JOINTS A MINIMUM OF 8" (203 mm).

3. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE IN A RUNNING BOND PATTERN WITH OFFSET VERTICAL JOINTS.

4. CORNERS REQUIRE THE INSULATION BOARDS TO BE STAGGERED AND INTERLOCKED. REFER TO INSTALLATION DETAILS AND INSTRUCTIONS (D5107 AND D5204 RESPECTIVELY).

5. INSULATION BOARDS SHALL BE PRE-CUT TO FIT OPENINGS, CORNERS OR PROJECTIONS. BOARD JOINTS SHALL NOT COINCIDE WITH CORNERS OF WALL OPENINGS SUCH AS WINDOWS.

3. BASE COAT, REINFORCING MESH

1. BASE COAT AND REINFORCING MESH SHALL BE APPLIED TO A MINIMUM DRY FILM THICKNESS OF 2.0 mm.

2. JOINTS IN STANDARD MESHES SHALL BE OVER- LAPPED, BUT MUST BE FOLLOWED BY APPLICATION OF STANDARD MESH.

3. MESH COLOUR SHALL BE VISIBLE THROUGH BASE COAT APPLICATION. SLIGHT MESH PATTERN READ THROUGH IS PERMISSIBLE PROVIDED MINIMUM REQUIRED THICKNESS IS MAINTAINED.

4. FINISH COAT APPLICATION

1. FINISH SHALL BE APPLIED IN A SEAMLESS AND CONTINUOUS METHOD UNTIL A NATURAL BREAK IN THE WALL IS REACHED.

2. APPLICATION IN DIRECT SUNLIGHT IS TO BE AVOIDED.

3. COLOR/PRIIME IS REQUIRED IS TO BE APPLIED AND ALLOWED TO FULLY DRY PRIOR TO THE APPLICATION OF REQUIRED FINISH.

4. APPLICATION OF FINISH SHOULD NOT PROCEED UNTIL ALL OTHER REQUIREMENTS OF THE COOL- UP WENT ARE AGREED TO BE SATISFACTORY.

3.3 PROTECTION

1. ADJACENT MATERIALS AND THE OUTSULATION SHALL BE PROTECTED FROM THE WEATHER AND OTHER DAMAGE DURING INSTALLATION AND WHILE CURING.

2. SEQUENCING OF WALL SYSTEM COMPONENTS SUCH AS EIFS SYSTEM, FENESTRATIONS, FLASHINGS, SEALANTS, ETC.

4. SEQUENCING AND SCHEDULING

1. INSTALLATION OF OUTSULATION SHALL BE COORDINATED WITH OTHER CONSTRUCTION TRADES.
2. SUFFICIENT PERSONNEL AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COOLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC.

1.10 LIMITED MATERIALS AND LABOUR WARRANTY

1. DRYVET SYSTEMS CANADA SHALL PROVIDE A 5 (FIVE) YEAR LIMITED MATERIALS WARRANTY. RECEIPT OF A PROPERLY EXECUTED WARRANTY REQUEST AND COMPLETED PROJECT FORM IS REQUIRED. NO WARRANTY IS ISSUED UNLESS ALL MATERIALS ARE PAID FOR IN FULL.

1.11 CERTIFICATION

1. THE EIFS ASSEMBLY INCLUDING THE AIR BARRIER (MARKED ALSO AS "STUCCO FINISH") DESIGNED AS DUAL BARRIER DRAINING SYSTEM, IT IS THE RESPONSIBILITY OF DRYVET SYSTEMS CANADA TO CARRY OUT PERIODIC ON-SITE INSPECTIONS TO ENSURE THAT SYSTEM INSTALLATION COMPLETES AND MEETS THE DESIGN CRITERIA, DRYVET STANDARDS AND THE PERFORMANCE REQUIREMENTS. FINAL CERTIFICATION TO THIS EFFECT TO BE ISSUED BY DRYVET AT COMPLETION OF CONSTRUCTION.

SEALANTS (07900) CONT.

2.1 MATERIALS

4. SEALANTS

1. SEALANTS ACCEPTABLE FOR USE ON THIS PROJECT MUST BE LISTED ON CQSB QUALIFIED PRODUCTS LIST ISSUED BY CQSB (QUALIFICATION BOARD FOR JOINT SEALANTS). WHERE SEALANTS ARE QUALIFIED WITH PRIMERS USE ONLY THESE PRIMERS.

2. SEALANTS FOR VERTICAL AND HORIZONTAL NON-TRAFFIC BEARING JOINTS TO TABLE 1, CAN/CQSB-19.2-GP-23, OR LATEST EDITION.

3. NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 10%.

4. NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%.

5. NORMAL TEMPERATURE, WET CONDITIONS MOVEMENT RANGE TO 25%.

6. LOW TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%.

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64. LOW TEMPERATURE RANGE, WET

GENERAL NOTES

CEILING SUSPENSION SYSTEM (09130)

PART 2 – PRODUCTS

2.1 MATERIALS

1. EXPOSED TIE BAR GRID COMPONENTS: SHOP PAINTED SATIN SHEEN WHITE. COMPONENTS DIE CUT. METE WITH DOUBLE END CAP ON EXPOSED FACE. CROSS TIE WITH RECTANGULAR BLUE WEB EXTENDED TO FORM POSITIVE INTERLOCK WITH MAIN TIE WEBS. LOWER FLANGE EXTENDED AND OFFSET TO PROVIDE FLUSH INTERLOCKING.
2. HANGER WIRE: GALVANIZED SOFT ANNEALED STEEL, WIRE, 2.6 MM DIAMETER.
3. HANGER INSERTS: PURPOSE MADE.
4. ACCESSORIES: SPRINGS, CLIPS, WIRE TIES, RETAINERS AND WALL MOUNTING FLUSH, TO COMPLEMENT SUSPENSION SYSTEM COMPONENTS, AS RECOMMENDED BY SYSTEM MANUFACTURER.

2.2 PRODUCT STANDARD

1. PRELUDE 15/16" SYSTEMS BY ARMSTRONG. COLOUR – WHITE.

2.3 SPECIALTY CEILINGS

1. SUPPLY AND INSTALL SPECIALTY CEILING GRIDS IF INDICATED ON DRAWINGS. INSTALL IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.

PART 3 – EXECUTION

3.1 INSTALLATION

1. INSTALL SUSPENSION SYSTEM TO MANUFACTURER'S INSTRUCTIONS.
2. DO NOT DIRECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN REVIEWED BY CONSULTANT.
3. SECURE HANGERS TO OVERHEAD STRUCTURE USING ATTACHMENT METHODS ACCEPTABLE TO CONSULTANT.
4. INSTALL HANGERS SPACED AT MAXIMUM 1200 MM CENTERS AND WITHIN 150 MM FROM ENDS OF MAIN TIES.
5. UNLESS DIMENSIONS SPECIFIED ON DRAWINGS: LAY OUT CENTRE LINE OF CEILING BOTH WAYS, TO PROVIDE BALANCED BORDERS AT ROOM PERIMETER WITH BORDER UNITS NOT LESS THAN 50% OF STANDARD UNIT WIDTH.
6. ENSURE SUSPENSION SYSTEMS ARE CO-ORDINATED WITH LOCATION OF RELATED COMPONENTS.
7. INSTALL WALL MOUNT TO PROVIDE CORRECT CEILING HEIGHT.
8. COMPLETE SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, DIFFUSERS GRILLES AND SPEAKERS.
9. SUPPORT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150MM OF EACH CORNER AND AT MAXIMUM 600 MM AROUND PERIMETER OF FIXTURES.
10. INTERLOCK CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY.
11. FRAME AT OPENINGS FOR LIGHT FIXTURES, AIR DIFFUSERS, SPEAKERS AND AT CHANGES IN CEILING HEIGHTS.
12. FINISHED CEILING SYSTEM TO BE SQUARE WITH ADDJONING WALLS AND LEVEL WITHIN 1:1000.

3.2 – EXPANSION JOINTS

1. ERECT TWO MAIN RUNNERS PARALLEL, 25 MM APART, ON BUILDING EXPANSION JOINT LINE WHERE APPLICABLE. LAY IN STRIP OF ACQUATIC TILE/BOARD, PAINTED BLACK, 25% NARROWER THAN SPACE BETWEEN 2" T-BARS.

3.3 – CLEANING

1. TOUCH UP SCRATCHES, ABRASIONS, VOIDS AND OTHER DEFECTS IN PAINTED SURFACES.

GYPSUM WALL BOARD (09250)

PART 1 – GENERAL

1.1 REFERENCE STANDARDS

1. DO WORK IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

PART 2 – PRODUCTS

2.1 GYPSUM BOARD

1. PLAIN: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD AND TYPE X 16MM (5/8") THICK AS NOTED, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT, EDGES TAPERED.
2. WATER RESISTANT BOARD: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD 16MM THICK, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH.

2.2 METAL FURRING AND SUSPENSION SYSTEMS

1. METAL FURRING RUNNERS, HANGERS, TIE WIRE INSISTS, ANCHORS: ASTM C1396/1396M-02, OR LATEST EDITION.
2. DRYWALL FURRING CHANNELS: 015 MM CORE THICKNESS GALVANIZED STEEL CHANNELS FOR SCREW ATTACHMENT OF GYPSUM BOARD.

2.3 FASTENINGS AND ADHESIVES

1. NAILS, SCREWS AND STAPLES: TO ASTM C1396/1396M-02 OR LATEST EDITION.
2. STUD ADHESIVE: TO CGSB 71-07-28M, OR LATEST EDITION.
3. LAMINATING COMPOUND: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE.

2.5 ACCESSORIES

1. CASING BEADS, CORNER BEADS FILL TYPE: 0.5 MM BEAD THICKNESS COMMERCIAL GRADE SHEET STEEL, WITH 2275 ZINC ENWISH TO ASTM A653/A653M-00 OR LATEST EDITION, PERFORATED FLANGES, ONE PIECE LENGTH PER LOCATION.
2. ACQUATIC SEALANT: TO STOREM 10-21M OR LATEST EDITION.
3. POLYETHYLENE: TO CAN/CSGS-51-34-M80, OR LATEST EDITION, TYPE 2.
4. INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT, 3 MM THICK CLOSED CELL NEOPRENE STRIP, 12 MM WIDE, WITH SELF STICKING PERMANENT ADHESIVE ON ONE FACE, LENGTHS AS REQUIRED.
5. JOINT COMPOUNDS: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE.

PART 3 – EXECUTION

3.1 SUSPENDED AND FURRED CEILINGS

1. ERECT HANGERS AND RUNNER CHANNELS FOR SUSPENDED GYPSUM BOARD CEILINGS IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.
2. SUPPORT LIGHT FIXTURES BY PROVIDING ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150 MM OF EACH CORNER AND AT A MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE.
3. INSTALL WORK LEVEL TO TOLERANCE OF ±1:1000.
4. FRAME WITH FURRING CHANNELS, PERIMETER OF OPENINGS FOR ACCESS PANELS, LIGHT FIXTURES, DIFFUSERS, AND GRILLES.
5. INSTALL 1X 1X 65 MM FURRING CHANNELS PARALLEL TO, AND AT EXACT LOCATIONS OF STEEL STUD PARTITION HEADER TRACK.

3.2 CEILING BULKHEADS

1. FURR FOR GYPSUM BOARD FACED VERTICAL BULKHEADS WITHIN AND AT TERMINATION CEILINGS.
2. FURR ABOVE SUSPENDED CEILINGS FOR GYPSUM BOARD FIRE AND SOUND STOPS AND TO FORM PLenum AREAS AS INDICATED.

3.3 WALL FURRING

1. INSTALL WALL FURRING FOR GYPSUM BOARD WALL FINISHES IN ACCORDANCE WITH ASTM C1396/1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.
2. FURR OPENINGS AND AROUND BUILT-IN EQUIPMENT, CABINETS, ACCESS PANELS, ETC., ON FOUR SIDES.
3. FURR DUCT SHAFTS, BEAMS, COLUMNS, PIPES AND EXPOSED SERVICES WHERE INDICATED.

3.4 GYPSUM BOARD APPLICATION

1. DO NOT APPLY GYPSUM BOARD UNTIL BUCKS, ANCHORS, BLOODING, ELECTRICAL AND MECHANICAL WORK IS APPROVED.
2. APPLY SINGLE LAYER GYPSUM BOARD TO METAL FURRING OR FRAMING USING SCREW FASTENERS.
3. APPLY WATER RESISTANT GYPSUM BOARD WHERE WALL TILES ARE TO BE APPLIED AND ADJACENT TO SLOP SINKS AND WATERS-CLOSETS. APPLY WATER-RESISTANT SEALANT TO EDGES, ENDS, CUTOUTS THAT EXPOSE GYPSUM CORE TO FASTENER HEADS. DO NOT APPLY JOINT TREATMENT ON AREAS TO RECEIVE THE FINISH.
4. APPLY 12 MM DIAMETER BEAD OF ACQUATIC SEALANT CONTINUOUSLY AROUND PERIPHERY OF EACH FACE OF PARTITIONING TO SEAL GYPSUM BOARD/STRUCTURE JUNCTION WHERE PARTITIONS ADJUT FIXED BUILDING COMPONENTS. SEAL FULL PERIMETER OF CUTOUTS AROUND ELECTRICAL BOXES, DUCTS, IN PARTITIONS WHERE PERIMETER SEALED WITH ACQUATIC SEALANT.

3.5 FIRE RATED ASSEMBLIES

1. CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE.
2. ASSEMBLIES SHALL COMPLY WITH PUBLISHED ULC APPROVED ASSEMBLIES.

3.6 ACCESSORIES

1. ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL-LENGTH PIECES WHERE PRACTICAL. MAKE JOINTS TIGHT, ACCURATELY ALIGNED AND RIGIDLY SECURED. WIRE AND FIT CORNERS ACCURATELY, FREE FROM ROUGH EDGES. SECURE AT 150 MM OC, USING CONTACT ADHESIVE FOR FULL LENGTH. USE 200 X 10 MM AND 1 1/2 MM WHERE APPROPRIATE.
2. INSTALL CASING BEADS AROUND PERIMETER OF SUSPENDED CEILINGS.
3. INSTALL CASING BEADS WHERE GYPSUM BOARD BUTTS AGAINST SURFACES HAVING NO TRIM-CONCEALING JUNCTION AND WHERE INDICATED. SEAL JOINTS WITH SEALANT.
4. INSTALL INSULATING STRIPS CONTINUOUSLY AT EDGES OF GYPSUM BOARD AND CASING BEADS ADJUTING METAL WINDOW AND EXTERIOR DOORFRAMES, TO PROVIDE THERMAL BREAK.

3.7 CONTROL JOINTS

1. CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE.
2. PROVIDE CONTINUOUS POLYETHYLENE DUST BARRIER BEHIND AND ACROSS CONTROL JOINTS.
3. ISOLATE CONTROL JOINTS FROM EXTERIOR CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING A MINIMUM AT APPROXIMATE 10 M SPACING ON LONG CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING IN PARTITIONS. LOCATION OF JOINTS TO BE APPROVED BY CONSULTANT.
4. INSTALL CONTROL JOINTS STRAIGHT AND TRUE.

3.8 EXPANSION JOINTS

1. CONSTRUCT EXPANSION JOINTS AS DETAILED AT BUILDING EXPANSION AND CONSTRUCTION JOINTS. PROVIDE CONTINUOUS DUST BARRIER.

3.9 ACCESS DOORS

1. INSTALL ACCESS DOORS TO ELECTRICAL AND MECHANICAL FIXTURES SPECIFIED IN RESPECTIVE SECTIONS.
2. RIGIDLY SECURE FRAMES TO FURRING OR FRAMING SYSTEMS.

3.10 TAPING AND FILLING

1. FINISH FACE PLUMB, JOINTS AND INTERNAL ANGLES WITH JOINT SYSTEM CONSISTING OF JOINTS COMPOUND, JOINT TAPE AND TAPING COMPOUND. INSTALLATION OF JOINTS TO BE IN DIRECTIONS AND ORIENTATIONS AND FEATHERED OUT ONTO PANEL FACES.
2. FILL CORNER BEADS, CONTRAINTS AND TRIM AS REQUIRED WITH TWO COATS OF JOINT COMPOUND AND ONE COAT OF TAPING COMPOUND, FEATHERED OUT ONTO PANEL FACES.
3. FILL GROUT JOINTS WITH TAPING COMPOUND. DO NOT OVERFILL JOINTS TO BRING FLUSH WITH ADJACENT SURFACE OF GYPSUM BOARD. JOINTS TO BE INVISIBLE AFTER SURFACE FINISH IS COMPLETE.
4. SAND LIGHTLY TO REMOVE BURRED EDGES AND OTHER IMPERFECTIONS. AVOID SANDING ADJACENT SURFACE OF BOARD.
5. COMPLETED INSTALLATIONS TO BE SMOOTH, LEVEL OR PLUMB, FREE FROM WAVES AND OTHER DEFECTS AND READY FOR SURFACE FINISH.

ACOUSTIC TILE CEILINGS (09511)

PART 1 – GENERAL

1.1 ENVIRONMENTAL CONDITIONS

1. PERMIT WORK TO DRY BEFORE COMMENCEMENT OF INSTALLATION.
2. MAINTAIN UNIFORM MINIMUM TEMPERATURE OF 15°C AND HUMIDITY OF 20-40% BEFORE AND DURING INSTALLATION.
3. STORE MATERIALS IN WORK AREAS 48 HOURS PRIOR TO INSTALLATION.

1.2 MAINTENANCE MATERIALS

1. PROVIDE ACUSTICAL UNITS AMOUNTING TO 3% OF GROSS CEILING AREA TO NEAREST FULL CARTON FOR EACH PATTERN AND TYPE REQUIRED FOR PROJECT.

PART 2 – PRODUCTS

2.1 MATERIALS

1. GENERALLY: ACOUSTIC UNITS FOR SUSPENDED CEILING SYSTEM: TO CAN2-92-1-M, OR LATEST EDITION, STANDARD OF ACCEPTANCE.
2. ARMSTRONG FINE FISURED CEILING TILES #729 (24" X 48") WITH HUMIGUARD PLUS AND BIO-BLOCK PERFORMANCE. ULC CERT. NO. 555.

PART 2 – EXECUTION

3.1 INSTALLATION

1. DO NOT INSTALL ACOUSTICAL PANELS AND TILES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.
2. COORDINATE CEILING WORK TO ACCOMMODATE COMPONENTS OF OTHER SECTIONS, SUCH AS LIGHT FIXTURES, DIFFUSERS, SPEAKERS AND SPRINKLER HEADS THAT ARE TO BE BUILT INTO ACOUSTICAL CEILING COMPONENTS.

3.2 SUSPENSION SYSTEM

1. INSTALL ACOUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
2. INSTALL ACOUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH WITH DIRECTIONAL PATTERN FINISHING IN SAME DIRECTION UNLESS OTHERWISE NOTED.
3. CROSS ACOUSTICAL UNITS TO FIT ADJACENT WORK. BUTT JOINTS TIGHT, TERMINATE EDGES WITH MOLDING.
4. PROVIDE CLIP DOWN FASTENERS WITHIN FIRST 10" OF CEILING ADJACENT TO EXTERIOR VESTIBULES AND TO A 15' DISTANCE AWAY FROM EXTERIOR DOORS WITHOUT VESTIBULES. THIS IS TO ELIMINATE WIND LIFTING.

PAINTING (09900)

PART 1 – GENERAL

1.1 DESCRIPTION

1. SECTION INCLUDES: ALL LABOUR, MATERIALS, TOOLS AND OTHER EQUIPMENT, SERVICES AND SUPERVISION REQUIRED TO COMPLETE ALL EXTERIOR AND INTERIOR PAINTING AND DECORATING WORK AS INDICATED ON FINISH SCHEDULES AND TO THE FULL EXTENT OF THE DRAWINGS AND SPECIFICATIONS.
2. WORK UNDER THIS CONTRACT SHALL NOT INCLUDE, BUT MAY NECESSARILY BE LIMITED TO:
 - A. SURFACE PREPARATION OF SUBSTRATES AS REQUIRED FOR ACCEPTANCE OF PAINTING, INCLUDING CLEANING, SHALL, CRACK REPAIR, FATTING, CAULKING AND MAKING GOOD SURFACES AND AREAS TO THE LIMITED DEFINED UPPER MR PREPARATION REQUIREMENTS.
 - B. SURFACE PREPARATION AND PRIME PAINTING SURFACES TO BE PAINTED PRIOR TO INSTALLATION IN ACCORDANCE WITH MPI AND WALL COVERING MANUFACTURER'S REQUIREMENTS.
 - C. PRIMING (EXCEPT WHERE PRE-PRIMED WITH AN APPROVED PRIMER UNDER OTHER SECTIONS OF WORK) AND PAINTING OF STRUCTURAL STEEL, MISCELLANEOUS METAL, AND ORNAMENTAL METAL AND PRIME STEEL EQUIPMENT.
 - D. PAINTING OF EXPOSED TO VIEW MECHANICAL (HEATING, VENTILATING AND PLUMBING) SERVICES AND EQUIPMENT, E.G. DUCTS, SPRINKLER PIPING ETC., AND ELECTRICAL WORK TO EXTENT NOTED ON FINISH SCHEDULE UNLESS PRE-FINISHED.
 - E. PROVISION OF SAFE AND ADEQUATE VENTILATION AS REQUIRED OVER AND ABOVE TEMPORARY VENTILATION SUPPLIED BY OTHERS, WHERE TOXIC AND/OR VOLATILE/FLAMMABLE MATERIALS ARE BEING USED.

1.2 REFERENCES

1. THE LATEST EDITION OF THE FOLLOWING REFERENCE STANDARDS SHALL GOVERN ALL PAINTING WORK:
 - A. ARCHITECTURAL PAINTING SPECIFICATIONS MANUAL (MPI) INCLUDING IDENTIFIERS, EVALUATION, SYSTEMS, PREPARATION AND APPROVED LIT.
 - B. TEST METHOD FOR MEASURING TOTAL VOLATILE ORGANIC COMPOUND CONTENT OF CONSUMER PRODUCTS, METHOD 24 (FOR SURFACE COATINGS) ON THE ENVIRONMENTAL PROTECTION AGENCY (EPA).
 - C. NATIONAL FIRE CODE OF CANADA.

1.3 REGULATORY REQUIREMENTS

1. CONFORM TO THE LATEST EDITION OF INDUSTRIAL HEALTH AND SAFETY REGULATIONS ISSUED BY APPLICABLE AUTHORITIES HAVING JURISDICTION IN REGARD TO SITE SAFETY (LADDERS, SCAFFOLDING, VENTILATION ETC.)
2. CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION IN REGARD TO THE STORAGE, MIXING, APPLICATION AND DISPOSAL OF ALL PAINT AND RELATED WASTE MATERIALS. REFER TO WASTE MANAGEMENT AND DISPOSAL.

1.4 PRODUCT DELIVERY, STORAGE AND HANDLING

1. DELIVER ALL PAINTING MATERIALS IN SEALED, ORIGINAL LABELED CONTAINERS BEARING MANUFACTURER'S NAME, BRAND NAME, TYPE OF PAINTING OR COATING AND COLOUR DESIGNATION.
2. MAINTAIN COMPLIANCE MATERIALS CONTENT AS WELL AS MIXING AND/OR REDUCTION AND APPLICATION REQUIREMENTS.
3. STORE ALL PAINT MATERIALS IN ORIGINAL LABELED CONTAINERS IN A SECURE, DRY, HEATED AND WELL VENTILATED SIGNED DESIGNATED AREA MEETING THE MINIMUM REQUIREMENTS OF THE PAINT MANUFACTURING AND (MPI) AND AT A MINIMUM AMBIENT TEMPERATURE OF 45° (7° C).
4. ONLY MATERIAL USED ON THIS PROJECT TO BE STORED ON SITE.
5. TAKE ALL NECESSARY PRECAUTIONARY AND SAFETY MEASURES TO PREVENT FIRE HAZARD AND SPONTANEOUS COMBUSTION AND TO PROTECT THE ENVIRONMENT FROM HAZARDOUS SITES.

1.5 PROJECT/SITE REQUIREMENTS

1. PERFORM NO PAINTING OR DECORATING WORK WHEN THE AMBIENT AIR AND SUBSTRATE TEMPERATURES ARE BELOW 50° (10° C) BOTH INTERIOR AND EXTERIOR WORK.
2. WHERE REQUIRED, SUITABLE WEATHERPROOF COVERING AND SUFFICIENT HEATING FACILITIES SHALL BE IN PLACE TO MAINTAIN MINIMUM AMBIENT AIR AND SUBSTRATE TEMPERATURES FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION.
3. PERFORM NO INTERIOR PAINTING OR DECORATING WORK UNLESS ADEQUATE CONTINUOUS VENTILATION AND SUFFICIENT HEATING FACILITIES ARE IN PLACE TO MAINTAIN AMBIENT AIR AND SUBSTRATE TEMPERATURES ABOVE MINIMUM REQUIREMENTS FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION. PROHIBIT SUPPLEMENTARY VENTILATING AND HEATING EQUIPMENT FROM EXISTING SYSTEM IS INADEQUATE TO MEET MINIMUM REQUIREMENTS.
4. PERFORM NO PAINTING OR DECORATING WORK WHEN THE MAXIMUM MOISTURE CONTENT OF THE SUBSTRATE EXCEEDS:
 - A. 15% FOR CONCRETE AND MASONRY (CLAY AND CONCRETE BRICK/BLOCK)
 - B. 15% FOR WOOD
 - C. 2% FOR PLASTER AND GYPSUM BOARD
5. PERFORM NO PAINTING OR DECORATING WORK THE RELATIVE HUMIDITY IS ABOVE 85% OR WHEN THE DEW POINT IS LESS THAN 2° F (3°C) VARIANCE BETWEEN THE AIR/SURFACE TEMPERATURES.
6. CONDUCT ALL MOISTURE TESTS USING A PROPERLY CALIBRATED ELECTRONIC MOISTURE METER, EXCEPT TEST CONCRETE FLOORS FOR MOISTURE USING A SURFACE COVER PATCH TEST.
7. TEST CONCRETE, MASONRY AND PLASTER SURFACES FOR ALKALINITY AS REQUIRED.
8. DO NOT APPLY PAINT ON ANY FLOORS THAT HAVE RECEIVED ADEQUATE SELF-LEVELLING PRODUCT.

- NOTE: CONCRETE AND MASONRY SURFACES MUST BE INSTALLED AT LEAST 28 DAYS PRIOR TO PAINTING AND DECORATING WORK AND MUST BE VISUALLY DRY ON BOTH SIDES.

8. APPLY PAINT ONLY TO DRY, CLEAN, PROPERLY CURED AND ADEQUATELY PREPARED SURFACES IN AREAS WHERE DUST IS NO LONGER GENERATED BY CONSTRUCTION ACTIVITIES SUCH THAT AIRBORNE PARTICLES WILL NOT AFFECT THE QUALITY OF FINISHED SURFACES.
9. PERFORM NO PAINTING OR DECORATING WORK UNLESS A MINIMUM LIGHTING LEVEL OF (30 FOOT CANDLES) IS PROVIDED TO SURFACES TO BE PAINTED OR DECORATED. ADEQUATE LIGHTING FACILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

1.6 MAINTENANCE MATERIALS

1. AT PROJECT COMPLETION PROVIDE 4 LITRES (1 GALLON) OF EACH TYPE AND COLOUR OF PAINT FROM SAME PRODUCTION RUN (BATCH NO) USED IN OPENED CANS. FULL UNOPENED CANS OF SURPLUS PAINT, PROPERLY LABELED AND IDENTIFIED FOR TENANT'S LATER USE IN MAINTENANCE.

1.7 WASTE MANAGEMENT AND DISPOSAL

1. PAINT, STAIN AND WOOD PRESERVATIVE FINISHES AND RELATED MATERIALS, (THINNERS, SOLVENTS, ETC.) ARE REGARDED AS HAZARDOUS PRODUCTS AND ARE SUBJECT TO REGULATIONS FOR DISPOSAL. OBTAIN INFORMATION OF THESE CONTROLS FROM APPLICABLE LOCAL GOVERNMENT DEPT. HAVING JURISDICTION.
2. ALL WASTE MATERIALS SHALL BE SEPARATED AND RECYCLED. WHERE PAINT RECYCLING IS AVAILABLE, COLLECT WASTE PAINT BY TYPE AND PROVIDE FOR DELIVERY TO RECYCLING OR COLLECTION FACILITY.

1.8 GUARANTEE

1. FURNISH TWO (2) YEAR GUARANTEE.

PART 2 – PRODUCTS

2.1 MATERIALS

1. QUALIFIED PAINTING PRODUCTS: PAINT PRODUCTS TENANT – NO ALTERNATES UNLESS APPROVED OR SPECIFIED BY TENANT.
2. OTHER MATERIALS SUCH AS UNSEED OIL, SHELLAC, THINNERS, SOLVENTS ETC. SHALL BE THE HIGH QUALITY PRODUCT AND SHALL BE COMPATIBLE WITH PAINT MATERIALS BEING USED.
3. PAINT MATERIALS: TO (MPI) STANDARDS.
4. PAINT MATERIALS FOR EACH COATING FORMULATE TO BE PRODUCTS OF A SINGLE MANUFACTURER.

2.2 EQUIPMENT:

1. PAINTING AND DECORATING EQUIPMENT: TO BEST TRADE STANDARDS FOR TYPE OF PRODUCT AND APPLICATION.
- 2.1 MIXING AND TINTING:
 - 1. UNLESS OTHERWISE SPECIFIED HEREIN OR PRE-APPROVED, ALL PAINT SHALL BE READY-MIXED AND PRE-MIXED. RE-MIX ALL PAINT IN CONTAINERS PRIOR TO AND DURING APPLICATION TO ENSURE BREAK UP OF LUMPS, COMPLETE DISPERSION OF SETTLED PIGMENT, AND COLOUR AND GLOSS UNIFORMITY.
 - 2. WHERE THINNER IS USED, ADDITION SHALL NOT EXCEED PAINT MANUFACTURER'S RECOMMENDATIONS. DO NOT USE KEROSENE OR ANY SUCH ORGANIC SOLVENTS TO THIN WATER-BASED PAINTS.
 - 3. IF REQUIRED, THIN PAINT FOR SPRAYING ACCORDING TO STRICT ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. IF DIRECTIONS ARE NOT ON CONTAINER, OBTAIN INSTRUCTION IN WRITING FROM MANUFACTURER.
- 2.4 FINISH AND COLOURS:
 - 1. REFER TO FINISH SCHEDULE FOR IDENTIFICATION AND LOCATION OF COLOURS.

PART 3 – EXECUTION

3.1 PREPARATION OF SURFACES

1. PREPARE ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - A. WOOD SURFACES:
 - 1. USE CGSB 1-6P-128M (OR LATEST EDITION) VINYL SEALER OVER KNOTS AND RESINOUS AREAS.
 - 2. SPLIT WOOD FILLER TO FILL HOLES AND CRACKS.
 - 3. TINT FILLER TO MATCH STAINS FOR STAINED WOODWORK.
 - 4. TOUCH UP PAINT PRIMER ON.
 - B. MASONRY, STUCCO AND CONCRETE SURFACES:
 - 1. GALVANIZED STEEL AND ZINC AND CONCRETE SURFACES.
 - 2. CONCRETE FLOORS.
 - 3. PLASTER AND WALLBOARD SURFACES. FILL MINOR CRACKS WITH PLASTER PATCHING COMPOUND.
 - 4. COPPER PIPING AND ACCESSORIES.
 - C. SAND, CLEAN, DRY, ETC. NEUTRALIZE AND/OR TEST ALL SURFACES UNDER ADEQUATE ILLUMINATION, VENTILATION AND TEMPERATURE REQUIREMENTS.

PAINTING (09900) CONT.

3.1 PREPARATION OF SURFACES

1. REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENERS (E.G. ELECTRICAL PLATES, MECHANICAL LOUVERS, DOOR AND WINDOW HARDWARE (E.G. HINGES, KNOBS, LOCKS, TRIM, FRAME STOPS), REMOVABLE RATING/HAZARD/INSTRUCTION LABELS, WASHROOM ACCESSORIES, LIGHT FIXTURE TRIM, ETC. FROM WALLS AND CEILING SURFACES, DOORS AND FRAMES, PRIOR TO PAINTING. CAREFULLY CLEAN REPLACE ALL SUCH ITEMS UPON COMPLETION OF PAINTING WORK IN EACH AREA. DO NOT USE SOLVING OR REACTIVE CLEANING AGENTS ON ITEMS THAT WILL MAR OR REMOVE FINISHES.
2. PROTECT ALL ADJACENT INTERIOR SURFACES AND AREAS, INCLUDING RATING AND INSTRUCTION LABELS ON DOORS, FRAMES, EQUIPMENT, PIPING ETC. FROM PAINTING OPERATIONS AND DAMAGE BY DROP CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY DAMAGE CAUSED BY FAILURE TO PROTECT.
3. SUBSTRATE DEFECTS SHALL BE MADE GOOD AND SANDED BY OTHERS READING FOR PAINTING. PARTICULARLY AFTER EACH COAT OF PAINT. START OF FINISHING PAINTING OF DEFECTIVE SURFACES (E.G. GYPSUM BOARD) SHALL INDICATE ACCEPTANCE OF SUBSTRATE AND ANY COSTS OF MAKING GOOD DEFECTS SHALL BE BORNE BY THE PAINTER INCLUDING RE-PAINING OF ENTIRE DEFECTIVE SURFACE (NO TOUCH-UP PAINTING).

3.2 APPLICATION

1. DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER TRADE WORK) ARE ACCEPTABLE FOR APPLICATION OF PRODUCTS.
2. APPLY PAINT OR STAIN IN ACCORDANCE WITH (MPI) FINISH REQUIREMENTS.
3. APPLY PAINT AND DECORATING IN A WORKMANLIKE MANNER USING SHIELDED AND TRADE QUALIFIED APPLICATORS AS NOTED UNDER QUALITY ASSURANCE.
4. UNLESS OTHERWISE APPROVED BY TENANT, APPLY A MINIMUM OF THREE (3) COATS OF PAINT WHERE DRY OR BRIGHT COLOURS ARE USED TO ACHIEVE SATISFACTORY RESULTS.
5. SAND AND DUST BETWEEN EACH COAT TO PROVIDE AN ANCHOR FOR THE NEXT COAT TO REMOVE DEFECTS VISIBLE FROM A DISTANCE UP TO 1000M (33').
6. DO NOT APPLY FINISHES ON SURFACES THAT ARE NOT SUFFICIENTLY DRY. UNLESS MANUFACTURER'S DIRECTIONS STATE OTHERWISE, EACH COAT SHALL BE SUFFICIENTLY DRY AND HARD BEFORE A FOLLOWING COAT IS APPLIED.
7. PAINT FINISH SHALL CONTINUE THROUGH BEHIND ALL WALL-MOUNTED ITEMS (CORDBOARDS, SLATWALL IN OFFICES AND WAREHOUSES ETC.)

3.3 MECHANICAL AND ELECTRICAL EQUIPMENT

- NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - 1. PAINT EXPOSED CONDUITS, PIPES, HANGERS AND OTHER MECHANICAL AND ELECTRICAL EQUIPMENT OCCURRING IN FINISHED AREAS AS WELL AS INSIDE CUPBOARDS AND CABINETWORK. COLOUR AND TEXTURE TO MATCH ADJACENT SURFACES, UNLESS AS NOTED OTHERWISE.
 - 2. PAINT PIPING, CONDUITS, DUCTWORK AND OTHER UNFINISHED EQUIPMENT IN BOILER ROOM, MECHANICAL ROOMS AND ELECTRICAL ROOMS. IN OTHER UNFINISHED AREAS LEAVE EQUIPMENT, CONDUITS, HANGERS ETC., IN ORIGINAL FINISH AND TOUCH UP SCRATCHES AND CRACKS.
 - 3. KEEP SPRINKLER HEADS FREE OF PAINT.
 - 4. PAINT INSIDE OF DUCTWORK WHERE VISIBLE WITH PRIMER AND ONE COAT OF MATT BLACK PAINT. PAINT DISCONNECT SWITCHES FOR FIRE ALARM SYSTEM AND EXIT LIGHT SYSTEMS IN RED ENAMEL.
 - 5. PAINT BOTH SIDES AND EDGES OF PLYWOOD BACKBOARDS FOR EQUIPMENT BEFORE INSTALLATION. LEAVE EQUIPMENT IN ORIGINAL FINISH EXCEPT FOR TOUCH-UPS AS REQUIRED, AND PAINT CONDUITS, MOUNTING ACCESSORIES AND OTHER UNFINISHED ITEMS.
 - 7. PRIME FERROUS METAL SURFACES APPLY:
 - a) ONE COAT SPOT PRIMING.
 - b) ONE COAT ENAMEL UNDERCOAT.
 - c) TWO COATS SEMI-GLOSS ENAMEL.
 - d) ONE COAT VINYL WASH PRIMER.
 - e) ONE COAT ENAMEL UNDERCOAT.
 - f) TWO COATS SEMI-GLOSS ENAMEL.
 - g) ZINC COATED METAL DECKING APPLY:
 - a) ONE COAT VINYL WASH PRIMER.
 - b) ONE COAT ENAMEL UNDERCOAT.
 - c) ONE COAT FLAT PAINT.
 - h) INSULATION COVERING APPLY:
 - a) ONE COAT TINTED ENAMEL UNDERCOAT.
 - b) ONE COAT GLOSS ENAMEL UNDERCOAT.
 - c) ONE COAT SEMI-GLOSS ENAMEL.
 - d) ONE COAT VINYL WASH PRIMER.
 - e) ONE COAT VINYL WASH PRIMER.
 - f) ONE COAT ENAMEL UNDERCOAT.
 - g) ONE COAT SEMI-GLOSS ENAMEL.
- 3.4 EXTERIOR FINISHES

- NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING:
 - 1. WOOD TO RECEIVE PAINT FINISH APPLY:
 - a) ONE COAT EXTERIOR PRIMER.
 - b) TWO COATS EXTERIOR HOUSE PAINT.
 - 2. PRIME FERROUS METAL SURFACES APPLY:
 - a) ONE COAT SPOT PRIMING.
 - b) ONE COAT EXTERIOR ENAMEL.
 - c) GALVANIZED AND ZINC COATED METAL APPLY:
 - a) ONE COAT VINYL WASH PRIMER.
 - b) ONE COAT STEEL PRIMER.
 - c) TWO COATS EXTERIOR ENAMEL.
 - d) TWO COATS EXTERIOR MASONRY COATING.
 - 3. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 4. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 5. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 6. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 7. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 8. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 9. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 10. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 11. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 12. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 13. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 14. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 15. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 16. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURER'S EXACT SPECIFICATIONS.
 - 17. FOR EXTERIOR HARD SURFACES, SUCH AS ALUMINUM, PRE-FINISHED OR ENAMELED METAL: USE BEN

Loads Applied:
LL = 2.4 Kpa
DL = 0.75 Kpa FOR THE ROOF
SL = 1.30 Kpa
WL = 0.80 Kpa

F2:
10" CONC. BASE WALL (25 Mpa C/W. 5% AIR)
ON 24"X8" CONC. FOOTING WITH 2-15M CONTINUE +
30" LONG 15M DOWELS @32"O.C.
ON UNDISTURBED SOIL (MIN. 100 Kpa)

1 COLUMN SECTION
Scale: 1/2"=1'-0"

Scale

1" = 1'-0"

Drawing No.

S0

Client/Project

PAUL MARQUES ARCHITECT

22575 LAKE RIDGE rd

Title

FOOTING DESIGN



FOR PERMIT
Issued

AH
By

08 - 04 - 20
MM-DD-YY

Amir Hejazi, P.Eng.

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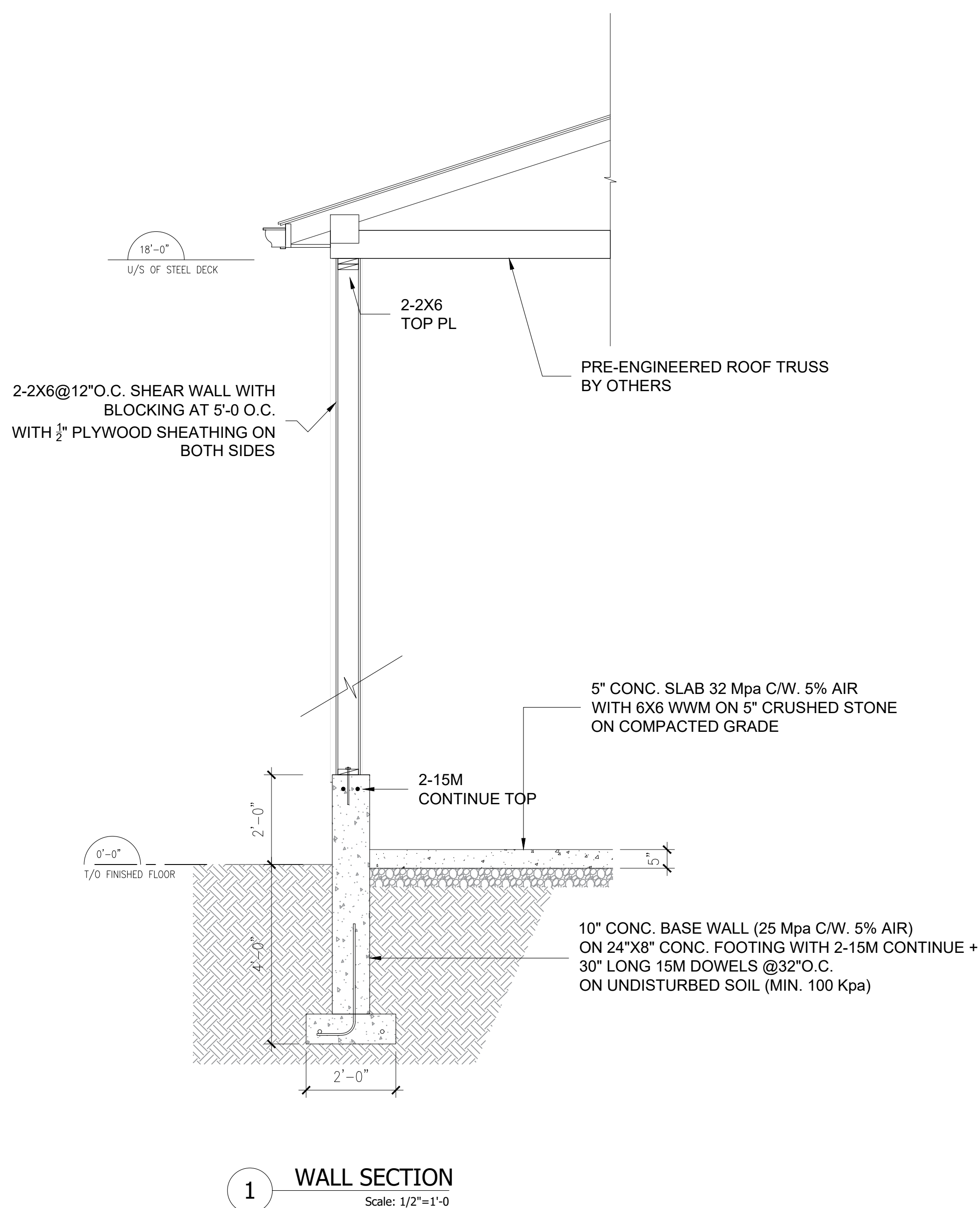
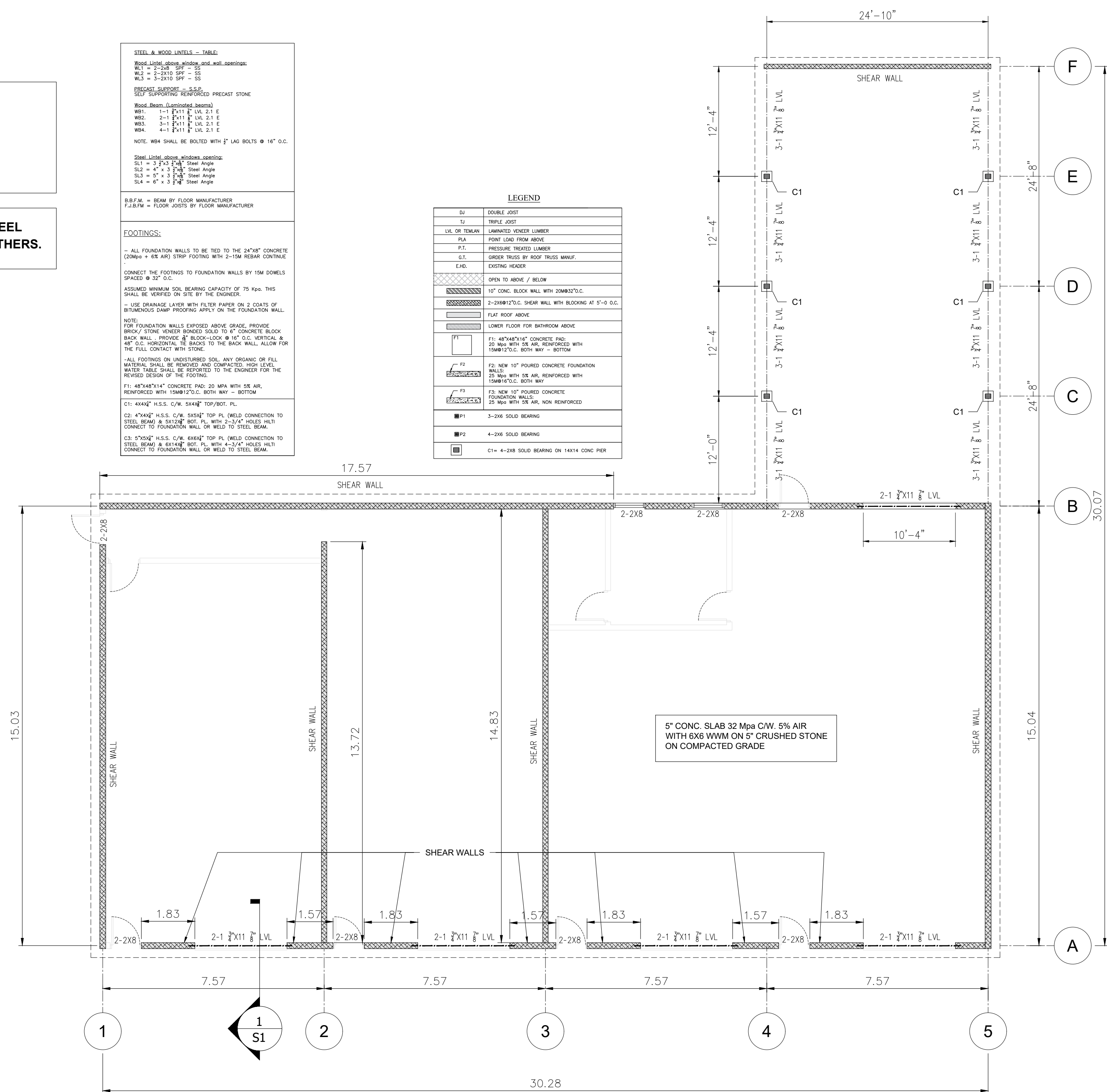


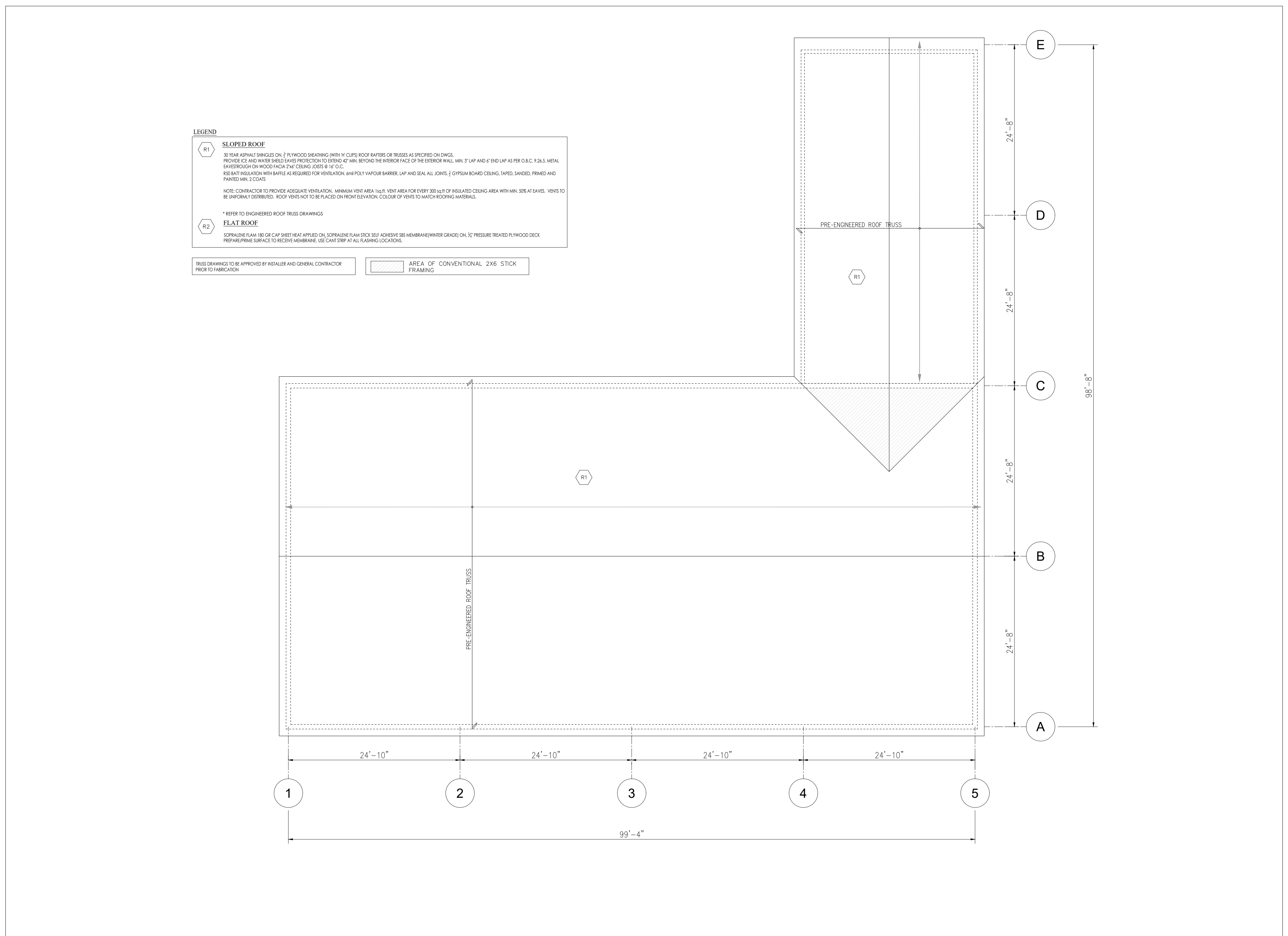
LL = 2.4 Kpa
DL = 0.75 Kpa FOR THE ROOF
SL = 1.30 Kpa
WL = 0.80 Kpa

[illegible]

LEGEND

(N)	DOUBLE JOIST
(T)	TRIPLE JOIST
LIVE OR DEAD	UNLIMITED VERTICAL LUMBER
P.A.	POINT LOAD FROM TRUSS
P.T.	PRESSURE TREATED LUMBER
G.T.	CROSS GRIDS IN ROOF TRUSS MASS
(L.A.)	EXISTING EXTERIOR
()	OPEN TO EXIST. / BELOW
()	OPEN TO EXIST. / BELOW WALL WITH 2"MIN.3/4" L.
()	2"MIN.10"3/4" L. SHEAR WALL WITH BLOCKING AT 5'-0" O.C.
()	2"X4"10"3/4" L. SHEAR WALL WITH BLOCKING AT 5'-0" O.C.
()	LOWER FLOOR FOR RADIATION ABOVE
()	1" DEEP 4"x4" CONCRETE PAD
()	20' MAX WITH 10' MAX. REINFORCED WITH 1"MIN.10"3/4" L. BOTH WAY - BOTTOM
()	10' MAX 10' MIN. REINFORCED CONCRETE FOUNDATION WALL WITH 1"MIN.10"3/4" L. BOTH WAY
()	10' MAX 10' MIN. REINFORCED CONCRETE FOUNDATION WALL WITH 1" MIN. REINFORCED
■	3'-2 1/2" SLAB BEARING
■	4'-2 1/2" SLAB BEARING
■	C1 = 4'-2 1/2" SLAB BEARING ON TRATEX CONG. BEAR





Specified Wind Load Figure 4.1.7.6.-A (NBC 2015)

Project: 22575 LAKE RIDGE RD

Climatic Data

Location

Province: Ontario

Location: Simcoe

Return Period: 50 year

Factors

Importance factor

I_w : Normal

Terrain: Open terrain

Reference height in meters above grade for C_e

height, h : 5.5 m

Reference height in meters above grade for C_{ei}

height, h_i : 5.5 m

Roof Pitch: 4 / 12

C_f : 1.0 * optional

Internal pressure Category, C_{pi} :

Category 1: $C_{pi} = -0.15$ to 0

WIND PRESSURE SIDES

Factors

Location: Simcoe, Ontario

Q_{50} : 0.45kPa

Importance Factor, ULS: $I_w = 1.0$ / SLS: $I_w = 0.75$

Roof slope = 18.4 degrees

$C_e = (h/10)^{0.2} = 0.9$

$C_{ei} = (h_i/10)^{0.2} = 0.9$

$C_t = 1$

External Wind Pressure

$p = I_w * q * C_e * C_t * C_g * C_p$

Load Case A: Winds generally perpendicular to ridge

Load Case B: Winds generally parallel to ridge

Side	Load Case A			Load Case B		
	$C_p C_g$	ULS p (kPa)	SLS p (kPa)	$C_p C_g$	ULS p (kPa)	SLS p (kPa)
1	0.97	0.39	0.3	-0.85	-0.34	-0.26
1E	1.46	0.59	0.44	-0.9	-0.36	-0.27
2	-1.3	-0.53	-0.39	-1.3	-0.53	-0.39
2E	-2	-0.81	-0.61	-2.0	-0.81	-0.61
3	-0.88	-0.36	-0.27	-0.7	-0.28	-0.21
3E	-1.27	-0.51	-0.39	-1.0	-0.41	-0.3
4	-0.77	-0.31	-0.24	-0.85	-0.34	-0.26
4E	-1.16	-0.47	-0.35	-0.9	-0.36	-0.27
5	n/a	n/a	n/a	0.75	0.3	0.23
5E	n/a	n/a	n/a	1.15	0.47	0.35
6	n/a	n/a	n/a	-0.55	-0.22	-0.17
6E	n/a	n/a	n/a	-0.8	-0.32	-0.24

Internal Wind Pressure

$C_{gi} = 2$

$p_i C_{pi} = -0.15$ to 0

$p_i C_{pi} = -0.15$ to 0

ULS: $p_i = -0.12$ kPa to 0kPa

SLS: $p_i = -0.09$ kPa to 0kPa

Roof Snow Load (NBC 2015)

Project: 22575 LAKE RIDGE RD

Designer:

Climatic Data

Location

Province: Ontario

Location: Simcoe

Importance factor

I_s : Normal

Factors

C_b : 0.8 Optional

C_{wp} : 1.0

C_a : 1.0

Roof Geometry

Pitch: 4 / 12

Slippery: No

Roof Plan dimensions (Only changes results if no C_b provided)

Longer dimension, L: 50.5 m

Shorter dimension, w: 15.25 m

Specified Snow Load

$S = I_s [S_g (C_b C_{wp} C_a) + S_b] [4.1.6.2]$

Factors

Location: Simcoe, Ontario

$S_s = 1.3$ kPa / $S_r = 0.4$ kPa

Importance Factor, ULS: $I_s = 1.0$ / SLS: $I_s = 0.9$

$C_b = 1$

$C_a = 0.8$

Roof slope = 18.4 degrees

Slope Factor

For non-slippery roof:

Slope ≤ 30 degrees.

$C_s = 1$

ULS:

$S = 1.0 [1.3 (0.8 * 1.0 * 1.0) + 0.4] = 1.44$ kPa

$S = 1.44$ kPa

$S = 30.1$ psf

SLS:

$S = 0.9 [1.3 (0.8 * 1.0 * 1.0) + 0.4] = 1.3$ kPa

$S = 1.3$ kPa

$S = 27.1$ psf

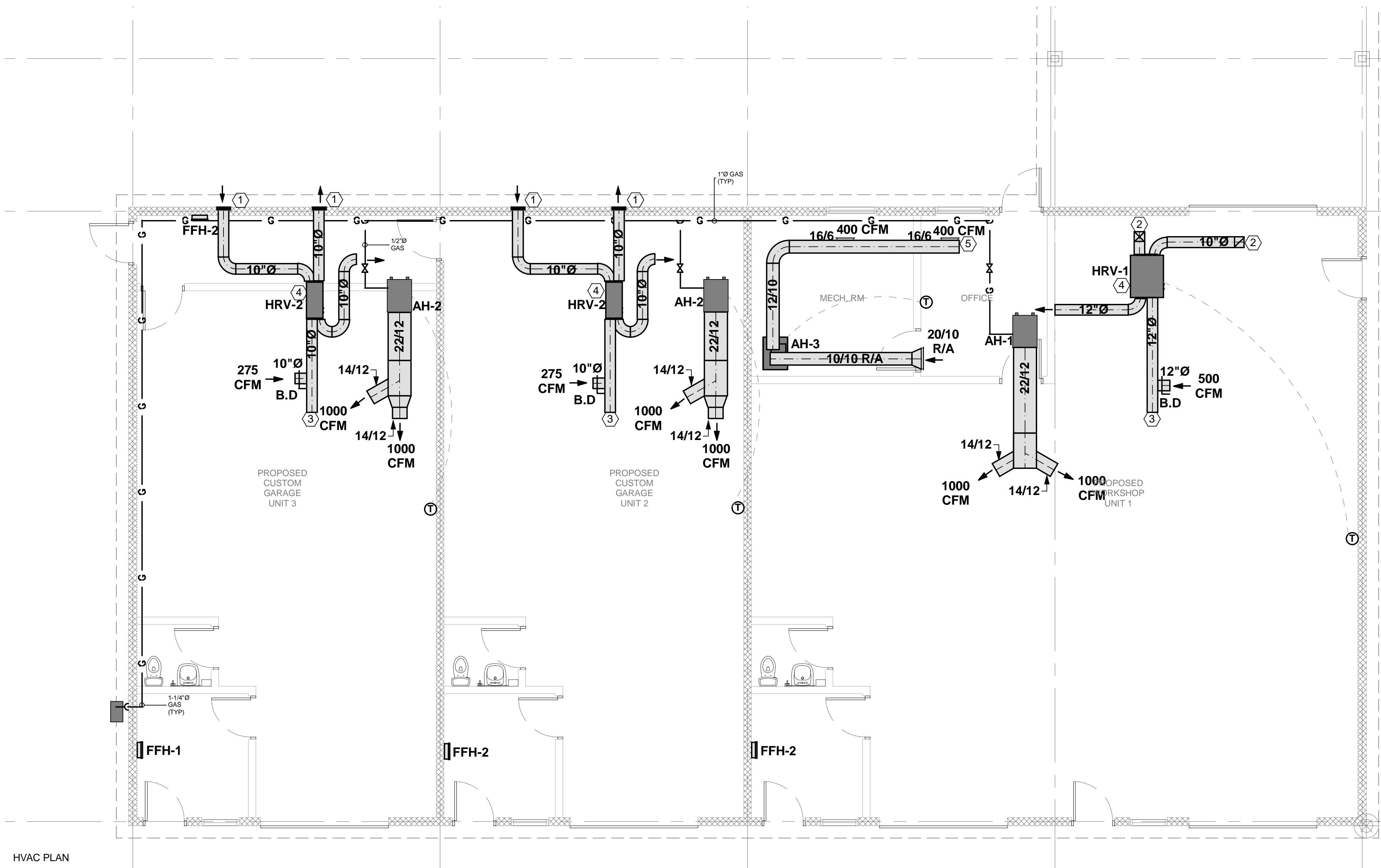
Loads Applied:

LL = 2.4 Kpa

DL = 0.75 Kpa FOR THE ROOF

SL = 1.30 Kpa

WL = 0.80 Kpa



HVAC PLAN
SCALE: 3/16" = 1'-0"

HVAC KEYED NOTES

- ① TERMINATE DUCT HIGH ON WALL AT WALL BOX. REVERSOMATIC OR EQUAL
- ② FRESH AIR INTAKE & E/A DUCT DOWN THROUGH ROOF TO CEILING SPACE C/W CURB, GOOSENECKED & BIRDSCREEN. DUCTWORK TO BE INSULATED
- ③ CAP DUCTWORK FOR FUTURE WASHROOM EXHAUST
- ④ HRV TO BE INSTALLED AS PER MANUFACTURERES SPECIFICATIONS.
- ⑤ 16/6 LOUVERED FACE S/A GRILLE PRICE 500 SERIES OR EQUAL (TYP FOR 2)
- ⑥ 20/10 LOUVERED FACE R/A GRILLE PRICE 500 SERIES OR EQUAL ABOVE DOOR BELOW FINISHED CEILING.

H V A C E Q U I P M E N T S C H E D U L E

ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (SHOP)- 4 persons(10)+2407sqft(0.18)=474cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (OFFICE) - 1 persons(5)+133sqft(0.06)=13cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 2 - 3 persons(10)+1248sqft(0.18)=256cfm
ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 3 - 3 persons(10)+1087sqft(0.18)=226cfm

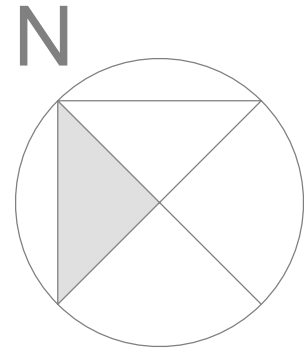
UNIT DESIGNATION	DESCRIPTION	MAKE & MODEL No.	CFM	STATIC PRESS. in. wg	HEATING CAPACITY, MBH		COOLING CAP. (TONS)	OUTSIDE AIR C.F.M	kW	VOLTAGE	OPERATING WEIGHT (LBS)	REMARKS
					IN	OUT						
AH-1	GAS FIRED FURNACE	LUXAIRE TM9E120D20MP12	2000	0.5	120	114	5	HRV		120/1/60	156	c/w THERMOSTAT
AH-2	GAS FIRED FURNACE	LUXAIRE TM9E080C20MP12	2000	0.5	80	76	5	HRV		120/1/60	139	c/w THERMOSTAT
AH-3	GAS FIRED FURNACE	LUXAIRE TM9E026A08MP12	800	0.5	26	25	2	HRV		120/1/60	113	c/w THERMOSTAT
HRV-1	HEAT RECOVERY VENTILATOR	ALDES H-650	500	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
HRV-2	HEAT RECOVERY VENTILATOR	ALDES H-280SRG	275	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
FFH-1	ELECTRIC WALL HEATER	OUELLET OAC02008-T				2KW				208/1/60		
FFH-2	ELECTRIC WALL HEATER	OUELLET OAC01502-T				1.5KW				120/1/60		

UNIT 1				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 7395			46190
	Glass: 884			-
	Doors: 30023			-
	Partitions: 0			-
	Floors: 3104			-
	Ceilings: 4783			-
15. INFILTRATION:	Outside air cfm:	533		49171
16. SUBTOTAL:	Space load			95361
	Envelope	95361		-
	Less external	0		-
	Less transfer	0		-
	Redistribution	0		-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm:	0		0
19. HUMIDIFICATION				10533
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				105894

UNIT 2				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 2943			22355
	Glass: 442			-
	Doors: 14927			-
	Partitions: 0			-
	Floors: 1262			-
	Ceilings: 2780			-
15. INFILTRATION:	Outside air cfm:	308		28443
16. SUBTOTAL:	Space load			50797
	Envelope	50797		-
	Less external	0		-
	Less transfer	0		-
	Redistribution	0		-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm:	0		0
19. HUMIDIFICATION				6093
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				56890

UNIT 3 - SHOP AREA				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 4523			25286
	Glass: 442			-
	Doors: 15096			-
	Partitions: 0			-
	Floors: 2456			-
	Ceilings: 2730			-
15. INFILTRATION:	Outside air cfm:	161		14825
16. SUBTOTAL:	Space load			40111
	Envelope	40111		-
	Less external	0		-
	Less transfer	0		-
	Redistribution	0		-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm:	198		18261
19. HUMIDIFICATION				7067
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				65460

UNIT 3 - MECH RM/OFFICE				
HEATING LOAD				
13. DESIGN CONDITIONS	Inside: 75 °F	Outside: -11 °F	Mult: 1.0	TD: 86 °F
14. TRANSMISSION LOSSES	Walls: 419			2770
	Glass: 884			-
	Doors: 168			-
	Partitions: 0			-
	Floors: 608			-
	Ceilings: 690			-
15. INFILTRATION:	Outside air cfm:	21		1927
16. SUBTOTAL:	Space load			4697
	Envelope	4697		-
	Less external	0		-
	Less transfer	0		-
	Redistribution	0		-
17. SUPPLY DUCT:				0
18. VENTILATION:	Make-up air cfm:	9		849
19. HUMIDIFICATION				595
	Piping			0
20. RETURN DUCT				0
21. TOTAL HEATING LOAD ON EQUIPMENT				6140



Read this drawing in conjunction with all
Architectural, Structural and Mechanical Drawings



REVISIONS

DATE	DESCRIPTION
2.22.2021	ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6
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PROJECT:

WORKSHOP/CUSTOM GARAGE

22575 LAKE RIDGE RD.
PORT BOLSTER, ON

SHEET TITLE:

H.V.A.C

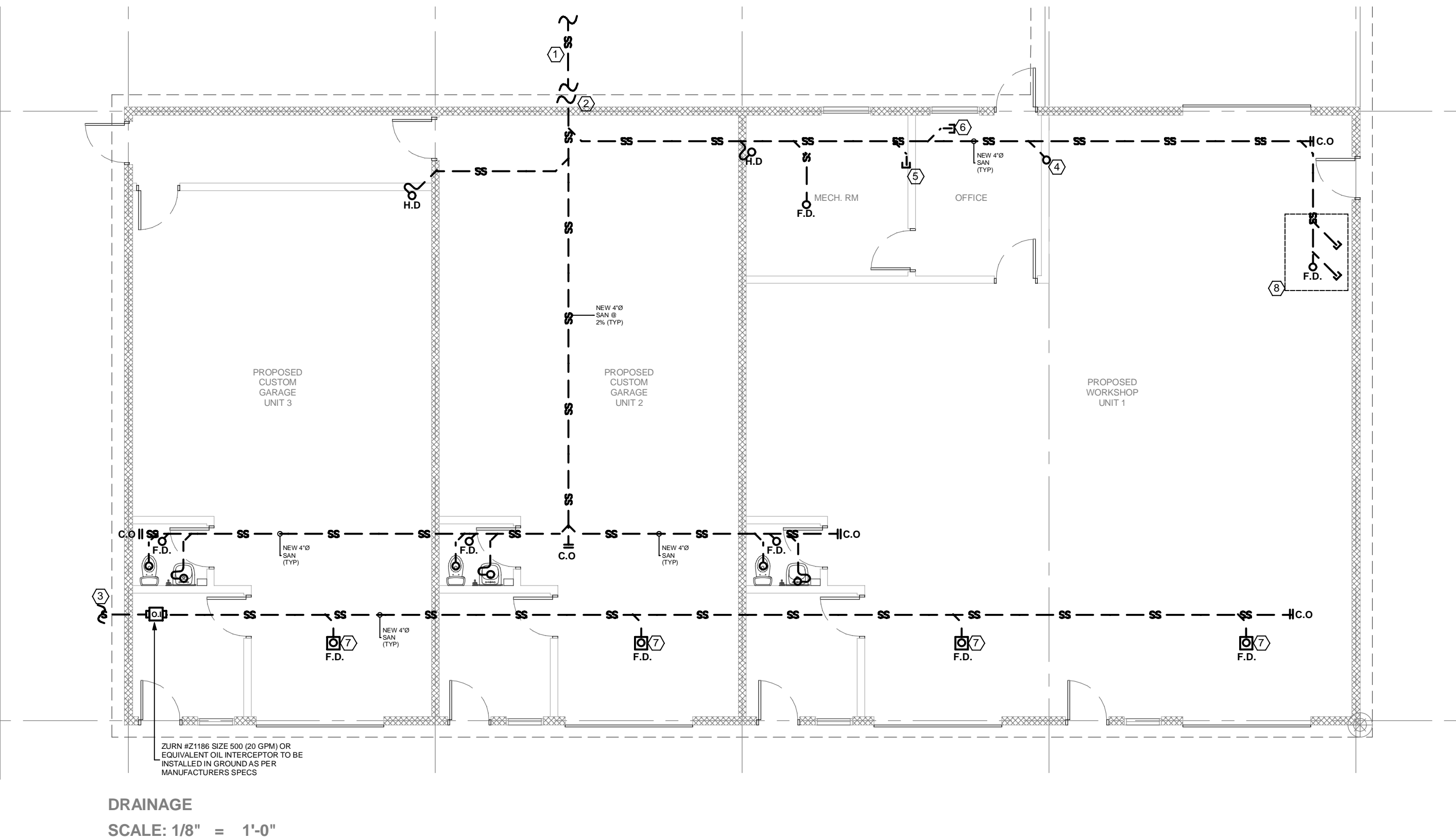
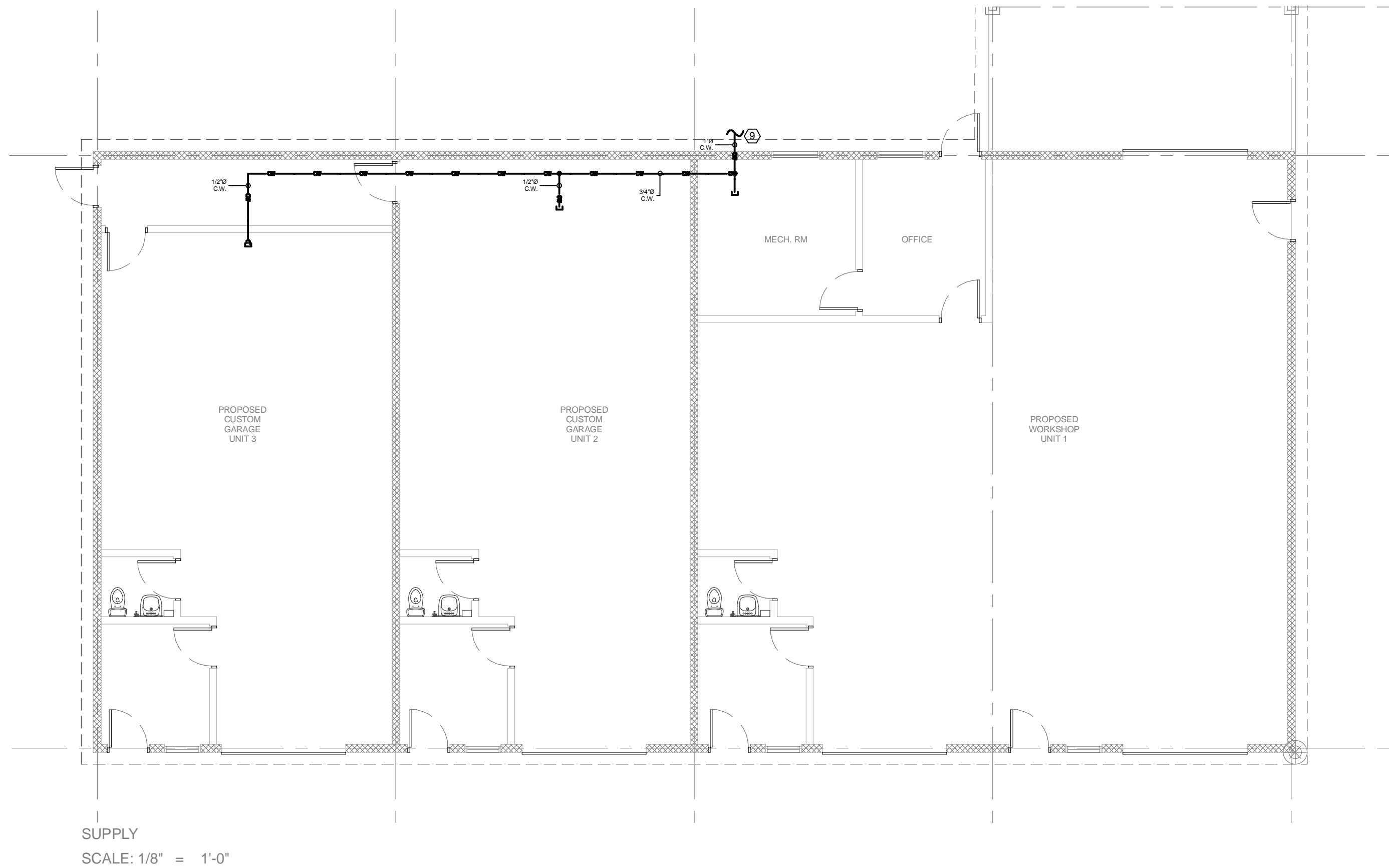
DRAWN BY: WK

DATE: 2021-02-22

JOB #: 21-004

SHEET 1
OF 4

M1



PLUMBING KEY NOTES

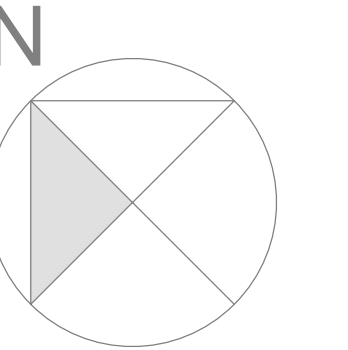
- 1 SAN TO SEPTIC TANK. SEPTIC TANK BY OTHERS.
- 2 CONNECT NEW 4"Ø TO SEPTIC TANK SANITARY. CONTRACTOR TO CONFIRM SIZE & LOCATION ON SITE.
- 3 NEW 4"Ø SAN OUT TO FRENCH DRAIN. FRENCH DRAIN BY OTHERS.
- 4 4"Ø SAN STACK TO ABOVE, CAPPED FOR FUTURE USE.
- 5 2"Ø SAN CAPPED FOR FUTURE USE.
- 6 1-1/2"Ø SAN CAPPED FOR FUTURE USE.
- 7 12/12 SQUARE FLOOR DRAIN.
- 8 SAN ROUGH-IN FOR FUTURE WASHROOM.
- 9 INCOMING 1" D.C.W FROM WELL. WELL BY OTHERS.

PLUMBING LEGEND

—•—•—	D.C.W. LINE
—•—•—	D.H.W. LINE
- - - - -	SANITARY SEWER LINE
COIL	CLEAN OUT
H.D. ♂	HUB DRAIN

- PLUMBING FIXTURE CONNECTIONS -

FIXTURES	WASTE	VENT	COLD WATER	HOT WATER
WATER CLOSET (Tank Type)	3"	1-1/2"	1/2"	-
LAVATORY	1-1/2"	1-1/4"	1/2"	1/2"
SINK	1-1/2"	1-1/4"	1/2"	1/2"
SLOP SINK	2"	1-1/2"	1/2"	1/2"
SHOWER STALL	3"	1-1/2"	1/2"	1/2"
DISHWASHER	2"	1-1/2"	-	1/2"
URINAL	2"	1-1/2"	3/4"	-
GREASE INTERCEPTOR	2"	1-1/2"	-	-
FLOOR DRAIN	3"	1-1/2"	-	-
HUB DRAIN	3"	1-1/2"	-	-
FUNNEL FLOOR DRAIN	3"	1-1/2"	-	-
DRINKING FOUNTAIN	1-1/2"	1-1/4"	1/2"	-



Read this drawing in conjunction with all
Architectural, Structural and Mechanical Drawings



REVISIONS

DATE	DESCRIPTION
2.22.2021	ISSUED FOR PERMIT



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PROJECT:

WORKSHOP/CUSTOM
GARAGE

22575 LAKE RIDGE RD.
PORT BOLSTER, ON

SHEET TITLE:

PLUMBING

DRAWN BY: WK

DATE: 2021-02-22

JOB #: 21-004

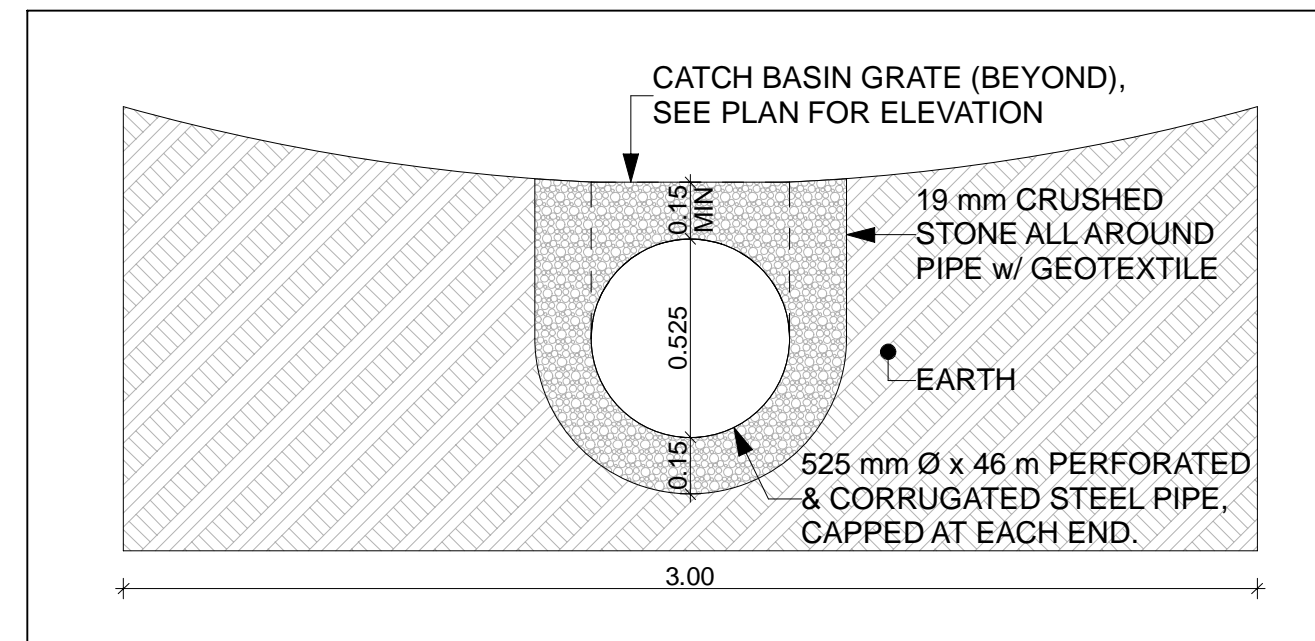
SHEET 4
OF 4

P1

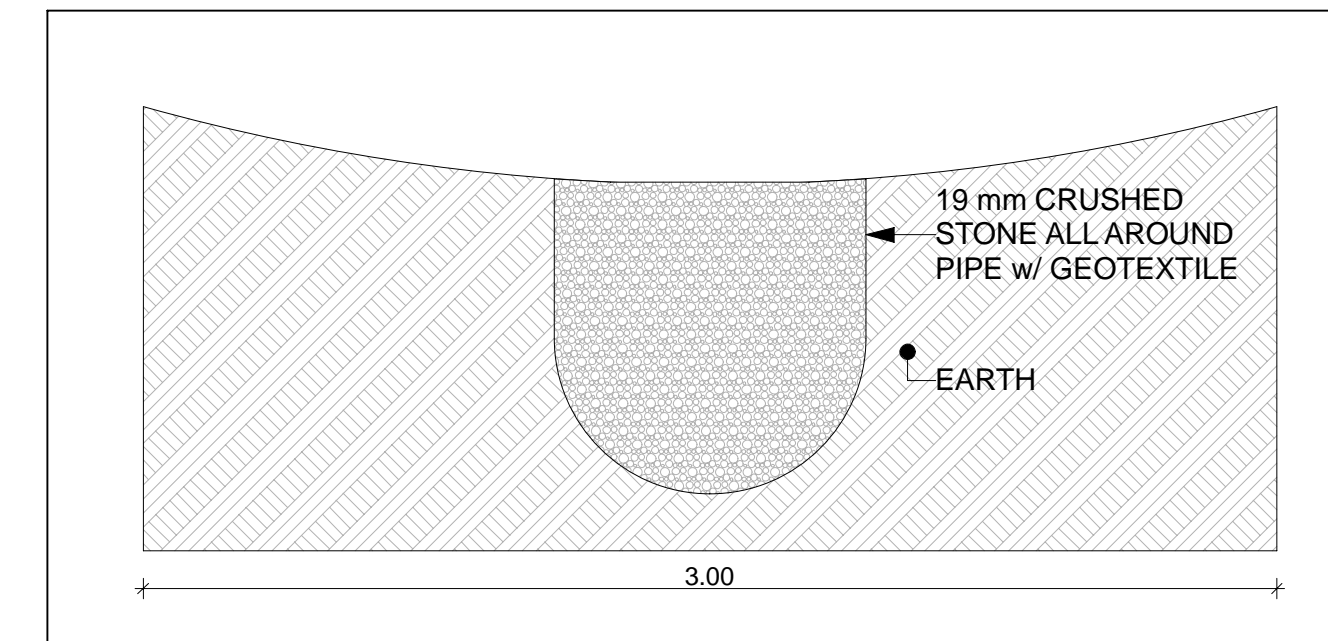
INSTALL TWO 525 mm Ø PERFORATED & CORRUGATED
PIPES TO RETAIN WATER FOR A 100 YEAR STORM.

PART OF LOT 1
CONCESSION 13
TOWNSHIP OF BROCK
REGIONAL MUNICIPALITY OF DURHAM

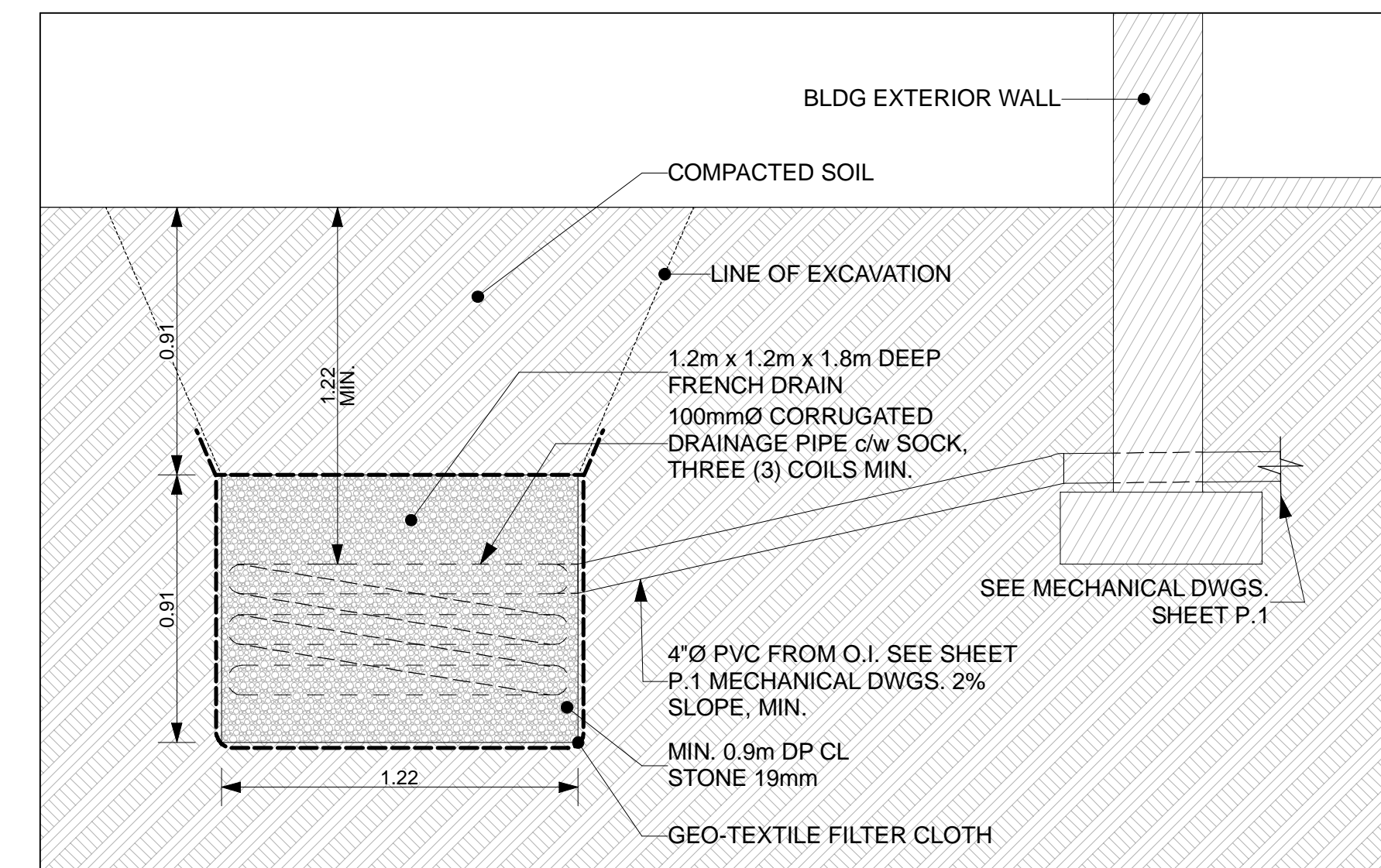
EXISTING ELEVATIONS AND SITE SURVEY ARE FROM
E.R. GARDEN LIMITED DRAWING DATED DECEMBER 2
2020.



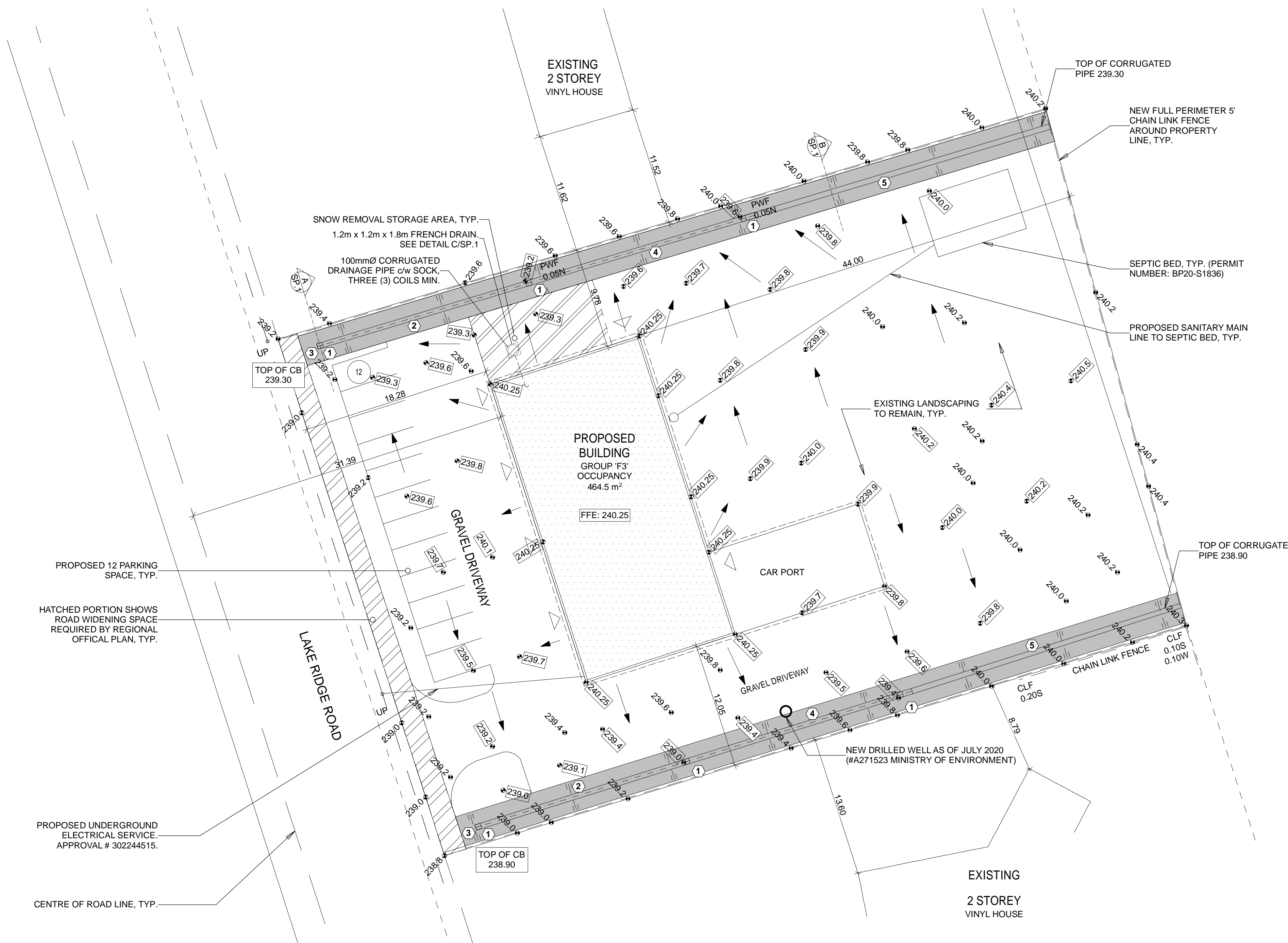
A PLANTING STRIP DETAIL



B PLANT STRIP DETAIL
SCALE: 1:20

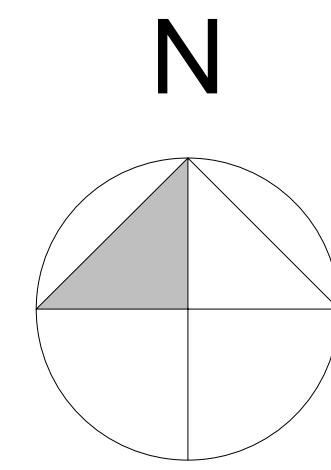
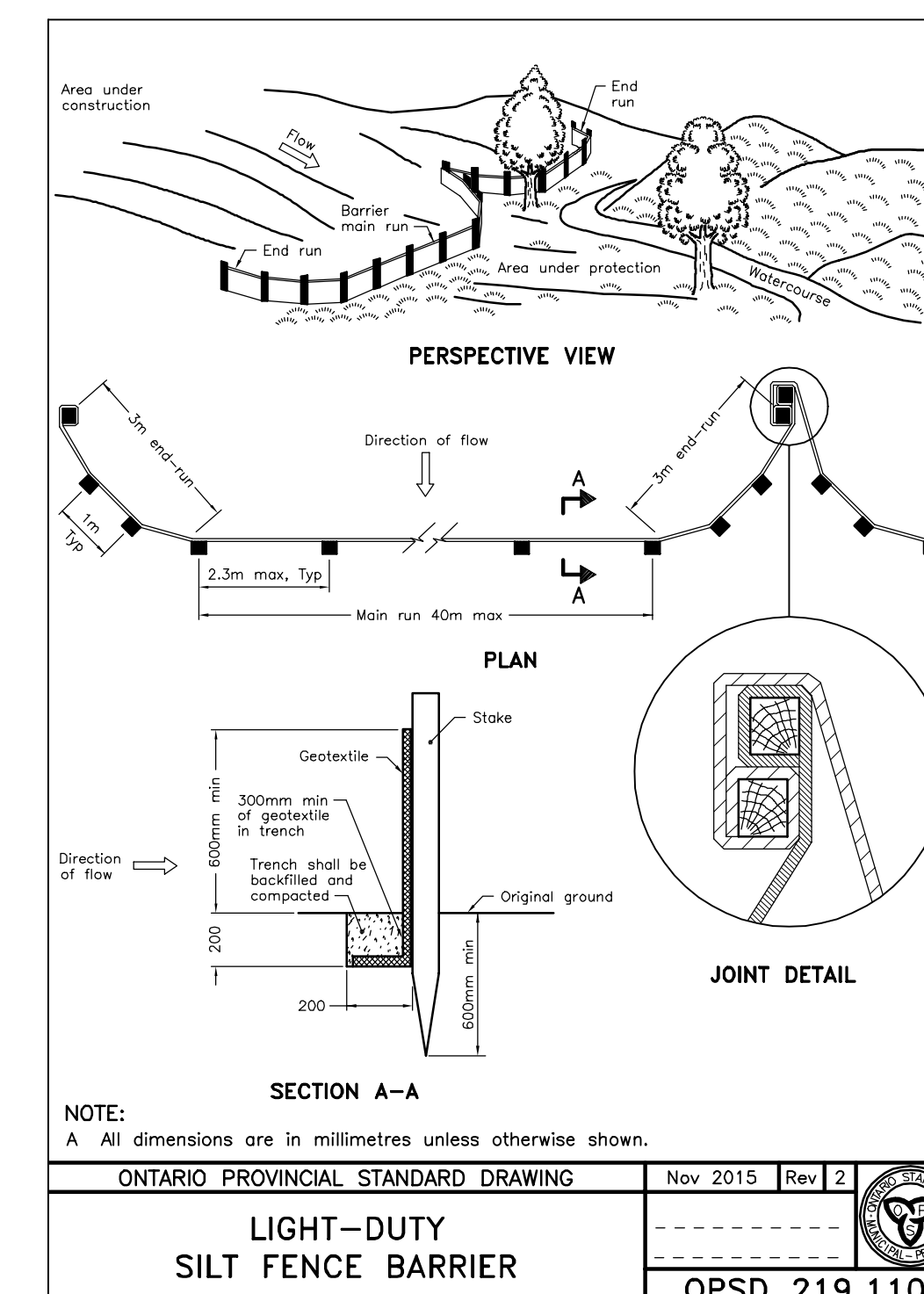


C FRENCH DRAIN SECTION
SCALE: 1:20



- ① INSTALL A 525 mm Ø TEE c/w METAL CATCH BASIN CAP, TYP FOR 6.
- ② INSTALL A 525 mm Ø PERFORATED & CORRUGATED PLASTIC PIPE CAPPED AT EACH END, ENTORRIO AGRÁ CSP CULVERT OR SIMILAR.
- ③ CATCH BASIN TO BE USED AS AN OVERFLOW DEVICE FOR THE RETENTION PIPE.
- ④ INSTALL PLANTING STRIP AS PER DETAIL A/S.P.1.
- ⑤ INSTALL PLANTING STRIP AS PER DETAIL B/S.P.1.

PLAN	DESCRIPTION
239.4	EXISTING GRADES
239.4	PROPOSED GRADES
	DIRECTION OF OVERLAND FLOW (2% TYPICAL)



Read this drawing in conjunction with all
Architectural, Structural and Mechanical Drawings



DATE	DESCRIPTION
------	-------------

2021.03.23	ISSUED FOR PE



1100 Sutton Dr, Burlington, Unit#1
P:905-332-8888
info@lakelandengineering.ca

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PROJECT:

PROPOSED STORMWATER MANAGEMENT PLAN

22575 LAKE RIDGE ROAD,
PORT BOLSTER, ONTARIO

SHEET TITLE:

STORMWATER MANAGEMENT PLAN

DRAWN BY: RM

DATE: 2021-03-24

SCALE: AS SHOWN

PROJECT:	21-018
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SP.1

THE CORPORATION OF THE TOWNSHIP OF BROCK

BY-LAW NUMBER 3042-2021

BEING A BY-LAW TO APPOINT A DEPUTY CLERK FOR THE CORPORATION OF THE TOWNSHIP OF BROCK PURSUANT TO SECTION 228 and 228(2) OF THE MUNICIPAL ACT, S.O. 2001, AS AMENDED

WHEREAS section 228 of the Municipal Act, S.O. 2001, as amended, obligates municipalities to appoint a Clerk to perform such duties as prescribed within the Municipal Act and the other Acts of Revised Statutes of Ontario;

AND WHEREAS section 228(2) of the Municipal Act, S.O. 2001, as amended provides that Council may appoint Deputy Clerks to perform such duties as prescribed within the Municipal Act and other Acts of the Revised Statutes of Ontario;

NOW THEREFORE the Council of the Corporation of the Township of Brock enacts as follows:

1. THAT **Ingrid Svelnis** be and is hereby appointed Deputy Clerk for the Corporation of the Township of Brock whose duties shall be as provided for in the Municipal Act and other Acts of the Revised Statutes of Ontario together with such other duties as may be assigned by Council.
2. THAT this By-law shall come into force and effect on the date of its passage.

THIS BY-LAW READ A FIRST, SECOND AND THIRD TIME THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt