

## The Corporation of the Township of Brock Council Agenda

# Session 4 Monday, April 26, 2021, 5:00 p.m. Virtual Meeting

**Pages** 

- 1. Call to Order
- 2. Disclosure of Pecuniary Interest and Nature thereof in Closed Session
- 3. Closed Session

#### Recommendation:

That Council Proceed to Closed Session to discuss personal matters about an identifiable individual, including municipal employees pursuant to Section 239(2)(b) of the Municipal Act.

- 4. Rise from Closed Session
- 5. Call Open Session to Order & Moment of Silence 5:00 p.m.
- 6. Disclosure of Pecuniary Interest and Nature Thereof
- 7. Matters from Closed Session
- 8. Presentations
- 9. Delegations and/or Petitions
  - 9.1. Allan's Place Petition

Communication No. 464/21

#### Recommendation:

That the petition as contained within communication no. 464 be received for information.

#### 10. Consent Agenda

#### Recommendation:

That the items listed in Section 10, Consent Agenda be approved save and except items.

10.1. Adoption of Minutes of Previous Meetings

8

	10.1.1.	3rd Meeting of Council - March 22, 2021  Recommendation: That the minutes of the 3rd Council meeting, as held on March	16
	10.1.2.	22, 2021, be approved.  3rd Meeting of Council - In Camera Session - March 22, 2021  Recommendation:	
		That the minutes of the 3rd meeting of Council - In Camera Session as held on March 22, 2021 be approved.	
	10.1.3.	11th Meeting of Special Council - April 1, 2021	26
		Recommendation: That the minutes of the 11th Meeting Special Council meeting, as held on April 1, 2021, be approved.	
	10.1.4.	11th Meeting of Special Council - In Camera Session - April 1, 2021	
		Recommendation: That the minutes of the 11th Meeting of Special Council - In Camera Session as held on April 1, 2021 be approved.	
	10.1.5.	5th Meeting of Committee of the Whole - April 12, 2021	29
		Recommendation: That the minutes of the 4th Committee of the Whole meeting as held on April 12, 2021 be approved.	
	10.1.6.	5th Meeting of Committee of the Whole - In Camera Session April 12, 2021	
		Recommendation:	
		That the minutes of the 5th Committee of the Whole Meeting - In Camera Session as held on April 12, 2021 be approved.	
	10.1.7.	2nd Meeting of the Planning and Community Affairs Committee - April 19, 2021	44
		Recommendation: That the minutes of the 2nd meeting of the Planning and Community Affairs Committee, as held on April 19, 2021 be approved.	
10.2.	Reports		
	10.2.1.	Report 2021-CO-12 - Request to Purchase Shoreline Road Allowances Ingrid Svelnis	49
		Communication No. 532/12	
		Recommendation:	
		That Council receive Report 2021-CO-12 for information and that the requests to purchase these lake access points not be	
		approved and that the property owners be so advised.	

	10.2.2.	Report 2021-CO-14 - Fire Safety Grant Program Rick Harrison Communication No. 561/21  Recommendation: That Report 2021-CO-14 be received for information and that Council shall authorize the CAO to execute the Fire Safety Grant Transfer Agreement.	51
	10.2.3.	Report 2021-CO-13 - Site Plan Approval Report for 8-202-SP Mancini (2753883 Ontario Inc.) Debbie Vandenakker Communication No. 572/21  Recommendation: That Site Plan Application 8-2020-SP Mancini be approved and that the Mayor and Deputy Clerk be, and they are hereby authorized to enter into a Site Plan Agreement with 2753883 Ontario Inc. as contained within Communication 572.	53
10.3.	Corresp	ondence	
	10.3.1.	World Elder Abuse Awareness Day - June 15, 2021 Durham Elder Abuse Network Communication No. 398/21  Recommendation: That the Council of the Corporation of the Township of Brock, do hereby proclaim June 15, 2021 as World Elder Abuse Awareness Day in the Township of Brock, Region of Durham, in Ontario, and encourage all of our residents to recognize and celebrate seniors and their ongoing contributions to the	89
	10.3.2.	success and vitality of Ontario.  2021 Durham Region Mayors' Gala - Supporting Ontario Philharmonic	94
		Communication No. 428/21  Recommendation:  That Council endorse the 2021 Durham Region Mayor's Gala supporting Ontario Philharmonic and approve the use of the corporate logo on gala material.	
	10.3.3.	Flag Raising & Proclamation for May 17th, 2021 PFlag Canada Durham Region Communication No. 527/21  Recommendation: That the Township of Brock proclaim May 17th as the International Day Against Homophobia, Transphobia and Biphobia.	97

	10.3.4.	Request for Electronic LED Sign at the Beaverton Town Hall Beaverton Lions Club Communication No. 531/21	98
		Recommendation: That Council has no objection to the requests as outlined in communication no. 531.	
	10.3.5.	Request for Nursing Week Proclamation Registered Nurses' Association of Ontario - Durham Northumberland Chapter Communication No. 545/21	99
		Recommendation: That the Council of Corporation of the Township of Brock do hereby proclaim May 10th - May 16th, 2021 as Nursing Week.	
	10.3.6.	Interoffice Memorandum - Beaverton Harbour Advisory Committee - Updated Terms of Reference Maralee Drake 560/21	101
		Recommendation: That Council approve the updated Beaverton Harbour Advisory Committee Terms of Reference as contained within Communication 560.	
	10.3.7.	Sunderland and District Historical Society Lease Agreement Communication No. 562/21	106
		Recommendation: That the Mayor and Deputy Clerk be, and are hereby authorized to enter into a Lease Agreement with the Sunderland and District Historical Society.	
	10.3.8.	Request for Enbridge Line Chris Terzis Communication No. 564/21	108
		Recommendation: That Council have no objection to the request as contained within Communication 564, provided there is no cost to the Township of Brock	
10.4.	By-Law	S	
	10.4.1.	By-law Number 3032-2021  A By-law to cancel, reduce or refund taxes	112

#### Recommendation:

That By-law Number 3032-2021 being a by-law to cancel, reduce or refund taxes, be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

#### 10.4.2. By-Law Number 3033-2021

114

Being a By-law to amend By-law Number 1977-2006-PP, Being a By-law to regulate and control the use of parks and park buildings under the jurisdiction of the Township of Brock

#### Recommendation:

That By-law Number 3033-2021 Being a By-law to amend By-law Number 1977-2006-PP, Being a By-law to regulate and control the use of parks and park buildings under the jurisdiction of the Township of Brock be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.3. By-law Number 3035-2021

115

Being a By-law to levy and collect taxes for the year 2021.

#### Recommendation:

That By-law Number 3035-2021 being a by-law to levy and collect taxes for the 2021 year be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

#### 10.4.4. By-law Number 3036-2021

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Being a By-law to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock, (Municipally known as B22575 Lakeridge Road, Cannington, ON)

#### Recommendation:

That By-law Number 3036-2021 being a By-law to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock, (Municipally known as B22575 Lakeridge Road, Cannington, ON) be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

#### 10.4.5. By-law Number 3042-2021

Being a By-law to appoint a Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 and 228(2) of the Municipal Act, S.O. 2001, as amended.

#### Recommendation:

That By-law Number 3042-2021 being a By-law to appoint a Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 and 228 (2) of the Municipal Act, S.O. 20021, as amended be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 11. Items Extracted from Consent Agenda

#### 12. Notices of Motions

#### 12.1. Interim Personnel Committee

That an Interim Personnel Committee be established to assist with human resource matters and that Mayor Grant, Regional Councillor Smith and Councillor Doble be appointed to the committee.

Moved by Councillor Claire Doble Seconded by Regional Councillor Ted Smith

#### Recommendation:

That an Interim Personnel Committee be established to assist with human resource matters and that Mayor Grant, Regional Councillor Smith and Councillor Doble be appointed to the committee.

## 12.2. Community Safety Zone - Maple Beach Road

That staff review and investigate the feasibility of a Community Safety Zone along Maple Beach Road from Concession Road 2 to Concession Road 3.

Moved by Councillor Cria Pettingill Seconded by Councillor Mike Jubb

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#### Recommendation:

That staff review and investigate the feasibility of a Community Safety Zone along Maple Beach Road from Concession Road 2 to Concession Road 3.

12.3. Speed Reduction - Cedar Street and Twmarc Avenue
That staff review and investigate the reduction of speed to 30 km/h on
Cedar Street from Regional Road 23 to Twmarc Avenue and on Twmarc
Avenue from dead end to dead end.

Moved by Councillor Cria Pettingill Seconded by Councillor Mike Jubb

#### Recommendation:

That staff review and investigate the reduction of speed to 30 km/h on Cedar Street from Regional Road 23 to Twmarc Avenue and on Twmarc Avenue from dead end to dead end.

#### 12.4. 2021 Harbour Passes

That Harbour Passes be reinstated for the 2021 year, as was done in 2020.

Moved by Councillor Claire Doble Seconded by Regional Councillor Ted Smith

#### Recommendation:

That Harbour Passes be reinstated for the 2021 year, as was done in 2020.

- 13. Council Member Updates
- 14. Other Business
- 15. Public Questions and Clarification
- 16. Closed Session (if required)
- 17. Confirmation By-law

#### Recommendation:

That By-law Number 3041-2021, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 26, 2021, be read a first, second and third time and passed in open Council and that the Mayor and Deputy Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

#### 18. Adjournment

#### Recommendation:

That we do now adjourn at TIME.

## To:

Mr. Dan Carter
Chairman of Durham Region Non-Profit Housing Corporation
City of Oshawa
2<sup>nd</sup> floor, West Wing, City Hall
50 Centre St. S.
Oshawa, ON L1H 3Z7

Mr. Walter Schummer Ward 3 Counsellor, Brock 102 Peace Street Cannington, ON LOE 1E0

Gentlemen,

Please find an attached letter and names/signatures from 100 McKay Street, Cannington, ON

This is a letter of concern from the residents.

Look forward to hearing from you.

Respectfully,

Allan Pepper

MR. JOHN GRANT MAYOR OF TOWNSHIP OF BROCK 447 NORTH ST BEAVERTON, ON LOK 1AO.

DEAR MR.GRANT

"DEJEEN DIXON" ASKED ME TO INCLUDE YOU WITH ALL MY PAPERWORK.

YOU WILL FIND ENGLOSED EVERYTHING THAT I HAVE DONE WITH REGARD TO OUR CONCERNS.

I ALSO HAVE SIGNATURES FROM OUR NEAREST
NEIGHBOURS WHO HAVE SMALL CHILDREN. THEY
SUGGESTED THAT I CANUAS DOWN ADELAIDE (SOME
CHILDREN) AND ONTO CAMERON ST. THAT BACK ONTO
THIS PROPERTY, SDRRY OLD LEGS DON'T DO THAT WELL.
ONE PERSON APPARENTLY HAS REPORTED ITEMS
STOLEN FROM AN OUT BUILDING.

I HOPE THAT YOU DO NOT LET A BUILDING LIKE THIS BE BUILT IN YOUR COMMUNITY IT IS NOT WHAT IS REPRESENTED AS BY DURHAM REGION HOUSING.

THANK YOU

ALLAN PEPDER

March 19, 2021

Mr. Dan Carter Chairman of Durham Region No-Profit Housing Corporation

Mr. Walter Schumer Ward 3 Counsellor, Brock

Gentlemen,

We recently attended meetings here at Street - our home.

It seems that this was a make feel good presentation with good information about COVID and the fact that there are repairs that have to be tended to before our warranty with Gay Construction runs out. Perfectly normal for new construction.

As we got to the last item on the agenda where we were asked about our concerns - they were basically swept under the rug. Citing security help when needed as problems arise, but that only happens after an occurrence.

There are a lot of seniors here and some are quite concerned about our safety. We moved here to make this our home - what a shock! It was only reiterated that everyone is entitled to a roof over their heads. I agree, but some of these people need mental health support. The police are here every time you turn around. I myself had a conversation with an officer, who voiced his concern about what we have been put in the middle of. Indeed you put a quiet little hamlet and us in jeopardy. Hope this is not get repeated in Beaverton. The word around town is not great about this building.

We have a needle drop box at the front door. I raised the fact that at the end of our driveway there are 2 homes with young children. What happens if one of them finds a discarded syringe. Then a photo was shown with a syringe on the ground not in any drop box.

It seems that there was more interest with the presenters about an opening ceremony.

I personally had a chap jump off the roof right in front of me. It was pouring rain and I called 911. The officer answering told me they were already here, I then suggested they

send more help. They apprehended him out near the gazebo. I have never heard a word as to the outcome.

I've already lost a neighbour next door because she was afraid. How terrible.

I hope that something is going to come out of this in our favour and realize that we also wish a roof over our heads as well. One that makes us feel comfortable.

It was suggested to me by a neighbour that the larger cities in our region have just moved their problems out - out of sight, out of mind.

This is just another political wipe away with no future consideration. This is a very nice small town I am sure that they are also wondering what is going on.

Respectfully,

Allan Pepper

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	ALLAN PEPPER	a3
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	GLEN BLACK	Illen Black
	JACK VANLOOD	*60V
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UNIT	PRINTED NAME	SIGNATURES
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	2 HOMES AT THE END.	OF OUR DRIVEWAY
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## The Corporation of the Township of Brock

#### **Council Minutes**

March 22, 2021 Virtual Meeting

Members Present: Mayor John Grant

**Deputy Mayor Ted Smith** 

Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble

Ward 3 Councillor Walter Schummer Ward 4 Councillor Cria Pettingill Ward 5 Councillor Lynn Campbell

Staff Present: Municipal Clerk Becky Jamieson

Deputy Clerk Deena Hunt

Clerks Assistant Maralee Drake

Fire Chief Rick Harrison

Director of Public Works Paul Lagrandeur

Interim Treasurer John Gormaly

Chief Building Official Richard Ferguson

1. Call to Order - 3:00 p.m.

## 2. Disclosure of Pecuniary Interest and Nature thereof in Closed Session

#### 3. Closed Session

a) Employee Matters: To discuss matters relating to employees of the Township as per Section 239(2)(b) of the Municipal Act

Resolution: 1-3

**Moved by** Councillor Schummer **Seconded by** Councillor Doble

That Council move in closed session at 3:02 p.m. to discuss personal matters about an identifiable individual, including municipal or local board employees as per Section 239(2)(b) of the Municipal Act.

**CARRIED** 

#### 4. Rise from Closed Session

Resolution: 2-3

Moved by Councillor Campbell Seconded by Councillor Doble

That we rise from closed session at 4:54 p.m.

**CARRIED** 

#### 4.1 Recess

Resolution: 3-3

Moved by Councillor Jubb

Seconded by Councillor Pettingill

That Council break for a recess at 4:54 p.m.

**CARRIED** 

## 5. Call Open Session to Order & Moment of Silence - 5:00 p.m.

The Fire Chief and the Chief Building Official joined the meeting at 5:00 p.m.

Mayor Grant called the open session to order and requested a moment of silence in honour of the passing of the Fire Chief's Mother in Law and a former employee's Father.

Mayor Grant read the acknowledgement of traditional treaty lands as follows:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

## 6. Disclosure of Pecuniary Interest and Nature Thereof

Mayor Grant advised that he is the Chair of the Brock Community Health Centre Board and would not be declaring a pecuniary interest with respect to item 11.2. Lease Agreement between the Township of Brock and the Brock Community Health Centre.

#### 7. Matters from Closed Session

a) Matters about an identifiable individual, including municipal employees, pursuant to Section 239 (2)(b) of the Municipal Act.

Mayor Grant requested a recorded vote.

Resolution: 4-3

Moved by Councillor Doble

Seconded by Councillor Campbell

THAT Council receive Report 2021-CO-11, for information;

THAT Council authorize the Mayor to hire Ms. Ingrid Svelnis as Interim CAO on a contract basis as per the terms laid out in the staff report and that an appointing by-law be brought forward;

THAT Council hire a consultant on a contract basis as per the terms laid out in this report;

THAT \$125,000 from the modernization reserve be transferred to the CAO operating budget to offset the unexpected costs;

That Council authorize that Ms. Maralee Drake be temporarily promoted to Deputy Clerk and that the appointing by-law be brought forward;

THAT Council authorize the CAO & Clerk to implement the other direction provided during closed session as required; and

FURTHER THAT Council request that the Interim CAO report to Council every two (2) weeks on the status of items as per the schedule in the report during a closed session.

Yes (7): Mayor Grant, Deputy Mayor Smith, Councillor Jubb, Councillor Doble, Councillor Schummer, Councillor Pettingill, and Councillor Campbell

CARRIED (7 to 0)

- 8. Presentations
- 9. Delegations and/or Petitions
- 10. Consent Agenda

Resolution: 5-3

Moved by Councillor Pettingill

Seconded by Deputy Mayor Smith

That the items listed in Section 10, Consent Agenda be approved save and except items 10.2.1. and 10.3.2. as listed on the agenda.

CARRIED

- 10.1 Adoption of Minutes of Previous Meetings
  - 10.1.1 5th Meeting of Special Council In Camera Session February 12, 2021

Resolution: 6-3

That the minutes of the 5th Meeting of Special Council - In Camera Session as held on February 12, 2021 be approved.

10.1.2 2nd Meeting of Council - February 22, 2021

Resolution: 7-3

That the minutes of the 2nd Council meeting, as held on February 22, 2021, be approved.

10.1.3 6th Meeting of Special Council - March 2, 2021

Resolution: 8-3

That the minutes of the 6th Special Council meeting, as held on March 2, 2021, be approved.

10.1.4 6th Meeting of Special Council - In Camera Session - March 2, 2021

Resolution: 9-3

That the minutes of the 6th Meeting of Special Council - In Camera Session, as held on March 2, 2021 be approved.

10.1.5 7th Meeting of Special Council - March 4, 2021

Resolution: 10-3

That the minutes of the 7th Meeting of Special Council as held on March 4, 2021, be approved.

10.1.6 7th Meeting of Special Council - In Camera Session - March 4, 2021

Resolution: 11-3

That the minutes of the 7th Meeting of Special Council - In Camera Session as held on March 4, 2021 be approved.

10.1.7 8th Meeting of Special Council - March 8, 2021

Resolution: 12-3

That the minutes of the 8th Meeting of Special Council as held on March 8, 2021 be approved.

10.1.8 8th Meeting of Special Council - In Camera Session - March 8, 2021

**Resolution: 13-3** 

That the minutes of the 8th Meeting of Special Council - In Camera Session as held on March 8, 2021 be approved

10.1.9 9th Meeting of Special Council - March 15, 2021

Resolution: 14-3

That the minutes of the 9th Meeting of Special Council as held on March 15, 2021 be approved.

10.1.10 1st Meeting of Planning and Community Affairs Committee - March 15, 2021

Resolution: 15-3

That the minutes of the 1st meeting of the Planning and Community Affairs Committee, as held on March 15, 2021 be approved.

10.1.11 10th Special Meeting of Council - March 15, 2021

Resolution: 16-3

That the minutes of the 10th Meeting of Special Council as held on March 15, 2021 be approved.

10.1.12 10th Meeting of Special Council - In Camera Session - March 15, 2021

Resolution: 17-3

That the minutes of the 10th Meeting of Special Council - In Camera Session as held on March 15, 2021 be approved.

10.1.13 4th Committee of the Whole Meeting - March 8, 2021

Resolution: 18-3

That the minutes of the 4th Committee of the Whole as held on March 8, 2021 be approved.

10.2 Reports

See later in the meeting.

- 10.3 Correspondence
  - 10.3.1 2021 COVID-19 Recovery Funding

Ministry of Municipal Affairs and Housing Communication No. 343/21

Resolution: 19-3

That Communication No. 343 be received for information, That the Treasurer be authorized to sign and return the letter to the Ministry of Municipal Affairs and Housing in order to receive an allocation of \$262,400.00 for the purpose of assisting with COVID-19 costs and pressures, and

That staff report back to the province and Council on the 2021 COVID-19 costs and pressures and the use of this funding.

## 10.4 By-Laws

## 10.4.1 By-law Number 2962-2021

Being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O. 1990, as amended, to amend Zoning By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock with respect to certain land located at Part Lot 23, Concession 12, PT 2, 40R-13288, Brock Township (Municipally known as 396 Cameron Street, Cannington), Region of Durham.

#### Resolution: 20-3

That By-law Number 2962-2021 being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O. 1990, as amended, to amend Zoning By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock with respect to certain land located at Part Lot 23, Concession 12, PT 2, 40R-13288, Brock Township (Municipally known as 396 Cameron Street, Cannington), Region of Durham, be read a first, second, and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.2 By-Law Number 3000-2021

A By-law to prescribe a tariff of fees for the processing of applications made in respect of planning matters ("The Planning Fees By-law")

#### Resolution: 21-3

That By-law Number 3000-2021, being a by-law to prescribe a tariff or fees for the processing of applications made in respect of planning matters ("The Planning Fees By-law") be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.3 By-law Number 3014-2021

Being a By-law under the provisions of Section 34 of the *Planning Act, R.S.O.*, 1990, as amended, to amend by-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock, Region of Durham, with respect to Cannabis Product and Processing.

#### Resolution: 22-3

That By-law Number 3014-2021 being a By-law under the provisions of Section 34 of the *Planning Act* R.S.O., 1990, as amended, to amend By-law Number 287-78-PL, as otherwise amended, of the Corporation of the Township of Brock, Region of

Durham, with respect to Cannabis Production and Processing be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.4 By-law Number 3015-2021

Being a By-law passed pursuant to the provisions of Sections 17, 21 and 22 of the *Planning Act*, R.S.O. 1990, as amended.

#### Resolution: 23-3

That By-law Number 3015-2021 being a By-law passed pursuant to the provisions of Sections 17, 21 and 22 of the *Planning Act*, R.S.O. 1990, as amended be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

#### 10.4.5 By-law Number 3024-2021

Being a By-law to provide for the actual cost recovery of the McFeeters Drain in the Township of Brock in the Regional Municipality of Durham.

#### Resolution: 24-3

That By-law Number 3024-2021, being a By-law to provide for the actual cost recovery of the McFeeters Drain in the Township of Brock in the Regional Municipality of Durham be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.6 By-law Number 3025-2021

Being a By-law to amend By-law Number 2915-2021, being a By-law to regulate open air, recreational and agricultural fire and to repeal by-law 2613-2015-PP.

#### Resolution: 25-3

That By-law Number 3025-2021, being a By-law to amend By-law Number 2915-2021, being a By-law to regulate open air, recreational and agricultural fire and to repeal by-law 2613-2015-PP be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 10.4.7 By-law Number 3026-2021

A By-law to re-divide the wards in the Township of Brock

## Resolution: 26-3

That By-law Number 3026-2021, being a by-law to re-divide the wards in the Township of Brock, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

## 11. Items Extracted from Consent Agenda

11.1 Report: 2021-CO-09 - 2020 Council Remuneration and Expense Report

John Gormaly, CPA, CMA Communication No. 376/21

Councillors enquired as to the expense allowance column and were advised that it reflects mileage. Councillors enquired whether funds were allocated annually into Reserves for severance and were advised in the affirmative.

Resolution: 27-3

Moved by Councillor Doble

Seconded by Councillor Pettingill

That Council receive report 2021-CO-09 for information.

**CARRIED** 

#### 11.2 Beaverton Thorah Health Centre Lease

Brock Community Health Centre Communication No. 375/21

Councillors enquired as to the total square footage of the space to which the Clerk advised that the areas require remeasuring as the rooms have changed from what is shown within the attachment. Councillors enquired as to the rent to which the Clerk advised that the BCHC rent increase is based on the Consumer Price Index but only increases when BCHC receives an increase to their base government funding.

Councillors enquired whether it is the intention of the BCHC to retain this space upon completion of their new building and were advised in the affirmative, for use by Nurse Practitioners.

It was noted that the BCHC have submitted their Site Plan Agreement to the Township.

Mayor Grant refrained from discussing and voting on Resolution Number 28-3.

Resolution: 28-3

Moved by Councillor Schummer Seconded by Deputy Mayor Smith

That the Mayor and Clerk be and are hereby authorized to execute a Lease Agreement between the Corporation of the Township of Brock and Brock Community Health Centre.

**CARRIED** 

## 12. Notices of Motions

## 12.1 Cannabis By-law and Controls

That copies of the new cannabis bylaws and controls be distributed to all cannabis production facilities in Brock Township.

Councillors advised that it would be prudent to share the Cannabis By-law with existing grow operations in Brock to provide the opportunity to comply with the requirements.

Resolution: 29-3

Moved by Councillor Pettingill Seconded by Councillor Jubb

That copies of the new cannabis by-laws and controls be distributed to all cannabis production facilities in Brock Township.

CARRIED

## 13. Council Member Updates

Regional Councillor Smith expressed appreciation to staff for their efforts on road grading. He advised that there is a Regional meeting on Wednesday.

Councillor Doble advised that she has been in contact with the By-law department with respect to cleaning up dog waste in the parks.

Councillor Schummer expressed sorrow that the Clerk is leaving the Township noting that she is taking a wealth of experience with her. He expressed appreciation for her continuing efforts within Brock and wished her success in Scugog.

Mayor Grant expressed best wishes to the Clerk on her future endeavours and appreciation for her contributions to the Township of Brock.

Council members wished the Clerk well on her future endeavours.

Councillor Campbell expressed appreciation for the coordination of vaccination clinics in Brock.

Mayor Grant advised that Durham Health is working to address issues with respect to the vaccination clinics.

#### 14. Other Business

## 14.1 By-law Number 3027-2021

To appoint a Chief Administrative Officer for the Corporation of the Township of Brock pursuant to Sections 228(2) and 229 of the Municipal Act, S.O. 2001, as amended.

Resolution: 30-3

Moved by Councillor Doble

Seconded by Deputy Mayor Smith

That By-law Number 3027-2021, being a by-law to appoint a Chief Administrative Officer for the Corporation of the Township of Brock, pursuant to Sections 228(2) and 229 of the Municipal Act, S.O. 2001, as amended, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

#### 14.2 By-Law Number 3029-2021

Being a by-law to appoint Deputy Clerk's and an Acting Deputy Clerk for the Corporation of the Township of Brock pursuant to Section 228 of the Municipal Act, S.O. 2001, as amended. Resolution: 31-3

Moved by Councillor Doble

Seconded by Deputy Mayor Smith

That By-law Number 3029-2021, being a by-law to appoint Deputy Clerk's and an Acting Deputy Clerk for the Corporation of the Township of Brock, pursuant to Sections 228 of the Municipal Act, S.O. 2001, as amended, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

**CARRIED** 

## 14.3 By-law Number 3028-2021

Being a By-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock

Resolution: 32-3

Moved by Councillor Doble Seconded by Councillor Jubb

That By-law Number 3028-2021, being a by-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

**CARRIED** 

#### 15. Public Questions and Clarification

None

16. Closed Session (if required)

## 17. Confirmation By-law

Resolution: 33-3

**Moved by** Councillor Schummer **Seconded by** Councillor Pettingill

That By-law Number 3023-2021, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on March 22, 2021, be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law on behalf of the municipality and to have same engrossed in the by-law book.

**CARRIED** 

## 18. Adjournment

Resolution: 34-3

Moved by Councillor Pettingill Seconded by Councillor Campbell

That we do now adjourn at 5:34 p.m.

CARRIED	
Mayor, John Grant	
Clerk	



## The Corporation of the Township of Brock Special Council Minutes

## April 1, 2021 Virtual Meeting

Members Present: Mayor John Grant

Regional Councillor Smith

Ward 1 Councillor Michael Jubb Ward 2 Councillor Claire Doble Ward 3 Councillor Walter Schummer Ward 4 Councillor Cria Pettingill Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO Ingrid Svelnis

Deputy Clerk Deena Hunt Deputy Clerk Maralee Drake Fire Chief Rick Harrison

Director of Public Works Paul Lagrandeur

Interim Treasurer John Gormaly

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#### 1. Call to Order

Mayor Grant called the meeting to order at 3:00 p.m.

## 2. Disclosure of Pecuniary Interest and Nature Thereof

None

## 3. Closed Session

Staff left the meeting with the exception of the CAO and Deputy Clerks.

Resolution: 1-11

Moved by Regional Councillor Smith

Seconded by Councillor Doble

That Council move in camera at 3:02 p.m. pursuant to Section 239(2)(f) of the Municipal Act, 2001, to discuss advice that is subject to solicitor-client privilege.

**CARRIED** 

#### 4. Rise from Closed Session

Resolution: 2-11

**Moved by** Councillor Schummer **Seconded by** Councillor Campbell

That Council rise from in camera at 3:37 p.m.

**CARRIED** 

#### 5. Matters from Closed Session

The Director of Public Works, Fire Chief, and Interim Treasurer joined the meeting at 3:40 p.m.

Mayor John Grant read the following land acknowledgement:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

#### 6. Delegations

## 7. Consideration of Business for Which Notice was Given

## 7.1 By-law Number 3030-2021

Being a By-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock.

Resolution: 3-11

**Moved by** Councillor Jubb

Seconded by Regional Councillor Smith

That By-law Number 3030-2021 being a by-law to appoint an Interim Treasurer and Deputy Treasurer for the Corporation of the Township of Brock be read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law book on behalf of the municipality and to have same engrossed in the by-law book.

CARRIED

#### 8. Public Questions and Clarification

None

#### 9. Confirmation By-law

<u>By-law Number 3031-2021</u>, being a by-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 1, 2021.

Resolution: 4-11

Moved by Councillor Pettingill
Seconded by Councillor Schummer

That By-law Number 3031-2021 being a By-law to confirm the proceedings of the Council of the Corporation of the Township of Brock at its meeting held on April 1, 2021, was read a first, second and third time and passed in open Council and that the Mayor and Clerk were authorized to sign the by-law book on behalf of the municipality and to have same engrossed in the by-law book.

**CARRIED** 

## 10. Adjournment

Resolution: 5-11

**Moved by** Councillor Campbell **Seconded by** Councillor Pettingill

That we do now adjourn at 3:45 p.m.

CARRIED	
Mayor, John Grant	



## The Corporation of the Township of Brock Committee of the Whole Minutes

## April 12, 2021 Virtual Meeting

Members Present: Mayor John Grant

Regional Councillor Smith

Ward 1 Councillor Michael Jubb
Ward 2 Councillor Claire Doble

Ward 3 Councillor Walter Schummer Ward 4 Councillor Cria Pettingill Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO, Ingrid Svelnis

Deputy Clerk Deena Hunt Deputy Clerk Maralee Drake Fire Chief Rick Harrison

Chief Building Official Richard Ferguson

\_\_\_\_\_

1. Call to Order - 8:30 a.m.

Disclosure of Pecuniary Interest and Nature thereof in Closed Session None.

#### 3. Closed Session

Resolution: 1-5

Moved by Councillor Pettingill

That Council move in camera at 8:30 a.m. pursuant to Sections 239(2)(b) and 239(2)(h) of the Municipal Act, 2001, to discuss matters relating to employees of the Township and information explicitly supplied in confidence to the municipality or local board by Canada, a province or territory or a Crown agency of any of them.

**CARRIED** 

- 3.1 To discuss matters personal matters about an identifiable individual, including municipal employees, pursuant to Section 239 (2)(b) of the Municipal Act.
- 3.2 To discuss information explicitly supplied in confidence to the municipality or local board by Canada, a province or territory or a Crown agency of any of them, pursuant to Section 239 (2)(h) of the Municipal Act.

#### 4. Rise from Closed Session

Resolution: 2-5

Moved by Regional Councillor Smith

That we rise from in camera at 9:50 a.m.

**CARRIED** 

#### 4.1 Recess - Resolution 3-5

that Committee break for a recess at 9:51 a.m. and resume the meeting at 10:00 a.m.

## 5. Call Open Session to Order & Moment of Silence - 10:00 a.m.

The Fire Chief, and the By-law Enforcement/Animal Control Supervisor joined the meeting. The Planner joined the meeting at 10:25 a.m.

Mayor Grant called the meeting to order at 10:00 a.m. and read the following land acknowledgement:

It is important to begin each public gathering with a Land and Territorial Acknowledgement, to recognize the Indigenous people for being good stewards of the land and environment, here where we are meeting today. The Township of Brock has traditionally been a hunting and fishing ground for First Nations people. We reside on and benefit from the Williams Treaty Territories, on the land of the Mississauga's and Chippewas. May we share the land as long as the sun rises, the grass grows and river flows.

Committee paused for a moment of meditation, personal reflection, and moment of silence to honour the passing of Prince Philip.

## 6. Disclosure of Pecuniary Interest and Nature thereof

None.

#### 7. Matters from Closed Session

Resolution: 4-5

Moved by Councillor Doble

That Committee accept the recommendation from the Township solicitor as discussed in closed session.

**CARRIED** 

## 8. Presentations

## 8.1 MPAC's 2020 Municipal Partnership Report

Kevin Yaraskavitch, Account Manager Natasha Dawood, Regional Manager

Mr. Kevin Yaraskavitch, Account Manager, and Ms. Natasha Dawood, Regional Manager, Municipal Property Assessment Corporation (MPAC), provided a slideshow presentation with respect to property assessment within Brock noting that the 2016 valuations have not changed.

Councillors enquired as to the impact on property taxes once MPAC proceeds with re-assessments to which Mr. Yaraskavitch advised that property taxes are proportional to the value of the overall properties in an area and if property values increase equally, the proportions remain the same. Mr. Yaraskavitch advised that, while the next assessment date remains unknown, valuations could be based on 2020 values and any changes in assessment would be phased in over a 4 year period.

Councillors enquired as to Brock properties that fall within the exempt classification and were advised lands used for non-profit long term care, places of worship, charities, municipal properties, schools, and hospitals, all of which are defined in Regulation 282/98 under the Assessment Act. Ms. Dawood advised that she could forward a list of the exemption criteria to Council members.

Councillors enquired as to MPAC inspections during the pandemic and were advised that inspections are not permissible within the grey category and exterior home inspections coupled with building plans, permits, financial statements, and sales data, are sufficient for assessment within the red category.

Councillors enquired with respect to the increased sales values for homes in rural areas and the impact to the future valuation and taxes. Ms. Dawood advised that the valuation process includes analyzing a broad community area, market sales in the community, review of the sales values in shoulder years of that valuation date, continuing to analyze market trends, and noted that increased property sales values do not always result in an increase in taxes. She advised that assessments are averaged for property types and municipal budgets also impact the tax rate.

Councillor Pettingill experienced internet loss and left the meeting at 10:20 a.m.

Ms. Dawood advised that MPAC could provide social media content for the Township's website with respect to assessments and taxes.

#### 9. Delegations

#### 9.1 Durham Environmental Advisory Committee

Richard Dickinson

Mr. Richard Dickinson advised that he is a member of Durham Environmental Advisory Committee (DEAC), the DEAC Environmental Achievement Awards are now listed on the DEAC website and are open to individuals and organizations in the public, private, and non-profit sectors who have achieved an environmental protection/enhancement accomplishment. He noted that there are 8 awards, with 2 designated for schools (one for the school, one for a student), and the deadline to submit is April 30, 2021. He provided an overview of the requirements to apply for an award which would be recognized during a virtual ceremony late fall 2021. He encouraged people to submit a nomination for Brock. He further advised that DEAC would host webinar series in late Spring.

## 9.2 Outer City Arts

Jay Yerema-Weafer

Ms. Jay Yerema-Weafer advised that she was representing the Board of Directors for Outer City Arts, a not for profit organization started in Brock a number of years ago. She advised that the groups intention was to renovate the space above the Timothy Findley Memorial Library Branch in Cannington for use as an arts centre for North Durham. She advised that no income has been generated due to COVID-19 and the organization is in the process of dissolution. She requested that the Committee consider breaking the lease between the Township of Brock and Outer City Arts with no penalty noting that it has been a difficult decision to let go of their

dream. She further advised that anyone interested in picking up this initiative in the future would have access to the documentation and connections that they have put in place.

Councillors enquired as to the achievements which could assist future interested parties and were advised a consultant prepared a feasibility study with respect to the renovations which included preliminary investigation into architectural firms, financial sustainability initiatives were documented, conference notes were documented with respect to rural economic strategies, how to offer courses was documented as well as job descriptions captured. Ms. Yerema-Weafer advised that the priority for renovation was placed on accessible washrooms, repairs to the elevator and retractable theatre seating. She noted that information was gathered on flooring options, lighting, and sound and advised that the organization had made connections with Toronto based SKETCH.

Councillor Pettingill rejoined the meeting at 10:47 a.m.

Councillors enquired as to the impact of the pandemic on funding and were advised that funding was cut and new funding models arising for the Arts would be given to the well established organizations.

Ms. Yerema-Weafer advised that she has paid to maintain their website for the next three years and Mr. Bernard Leroux could be contacted with respect to sharing the gathered information.

Resolution: 5-5

**Moved by** Councillor Campbell

That the lease between Outer City Arts and the Township of Brock be terminated and that residents who donated to the Outer City Arts program be refunded.

**CARRIED** 

#### 10. Sub-Committees

- 10.1 Finance Committee
  - 10.1.1 Staff Reports

10.1.1.1 Report: 2021-FI-06, Annual Building Permit Fee Report - For the 2020 Fiscal Year

> John Gormaly, CPA, CMA Communication No. 392/21

Resolution: 6-5

Moved by Councillor Doble

That the Committee receive Report 2021-FI-06, Annual Building Permit Fee report for 2020 for information.

**CARRIED** 

10.1.1.2 Report: 2021-FI-07, Award of RFP-2020-02 Building Our Best Brock Official Plan Review Study

Debbie Vandenakker Communication No. 510/21

Councillors enquired as to the timeline and processes involved to which the Interim CAO advised that staff would consult with WSP and report back to Council.

The Planner advised that the first two modules of the review would be completed consecutively in order to meet the obligations for the Interim Control Bylaw.

Councillors enquired as to public input and were advised that each module would request public input which would be incorporated into the draft Official Plan (OP).

Councillors enquired as to the OP review considering the expansion of the Community Improvement Plan to which the Planner advised not, that the CIP program could be reviewed following the completion of the OP study.

Councillors enquired as to the Development Charges funding this venture to which staff advised that they would follow up.

Resolution: 7-5

Moved by Councillor Pettingill

That the Committee of the Whole approve staff's recommendation to award the Official Plan Review Study as it is described in RFP-2020-02 to WSP, that the Clerk's Department and CAO be authorized to enter into an agreement based on the submission proposal, and that funding the remainder of the project cost be distributed evenly in the 2022 and 2023 budgets, the details of which will be discussed during the 2022 and 2023 budget deliberations.

**CARRIED** 

#### 10.1.2 Consent Agenda

#### 10.1.3 Items Extracted from Consent Agenda

Interest charged on taxes during COVID-19 pandemic 10.1.3.1

Cedric Baker

Communication No. 390/21

Councillors expressed appreciation for staff's response to this enquiry.

Resolution: 8-5

Moved by Regional Councillor Smith

That communication no. 390/21 be received for information and filed.

**CARRIED** 

10.1.3.2 One Time Doubling of Gas Tax Funds in 2021

**AMO** 

Communication No. 463/21

The Interim CAO advised that staff would provide proposed projects for this funding and follow up with Council.

Resolution: 9-5

Moved by Councillor Jubb

That Communication no. 463/21 be received for information.

**CARRIED** 

#### 10.2 Operations Committee

#### 10.2.1 Staff Reports

10.2.1.1 Report: 2021-OP-01 - Tender B2021-PW-02 -Routing, Hot Lance and Seal Various Streets

Paul Lagrandeur

Communication No. 476/21

Councillors requested that future reports provide how much the proposal represents of the amount allocated in the budget to which the CAO advised in the affirmative.

Resolution: 10-5

Moved by Regional Councillor Smith

That staff Report 2021-OP-01, Tender B2021-PW-02 - Routing, Hot Lance and Seal, Various Streets be received:

And that staff be authorized to proceed with the recommendation of awarding the tender to Northern Sealants Inc. in the amount of \$30,300.00 plus HST.

CARRIED

10.2.1.2 Report: 2021-OP-02 - Tender B2021-PW-03 - One Ton Truck

> Paul Lagrandeur Communication No. 477/21

Resolution: 11-5

Moved by Councillor Campbell

That staff report 2021-OP-02, Tender B2021-PW-03 -

One Ton Truck be received;

And that staff be authorized to proceed with the recommendation of awarding the tender to Jim Wilson Chevrolet in the amount of \$70,000.00 plus HST

**CARRIED** 

- 10.2.2 Consent Agenda
- 10.2.3 Items Extracted from Consent Agenda
- 10.3 Parks, Recreation and Facilities Committee
  - 10.3.1 Staff Reports

## 10.3.2 Consent Agenda

Resolution: 12-5

Moved by Councillor Doble

That the items listed under Section 10.3.2 Parks, Recreation & Facilities Consent Agenda, be approved, save and except item 10.3.2.3. as listed on the agenda.

**CARRIED** 

10.3.2.1 Beaverton Harbour Advisory Committee - Minutes - February 3, 2021

Communication No. 382/21

Resolution: 13-5

That that minutes of the February 3, 2021 Beaverton Harbour Advisory Committee meeting be received for information and approved.

10.3.2.2 Non-Profit Sector Review Committee - Minutes - January 6, 2021

Communication No. 453/21

Resolution: 14-5

That that minutes of the January 6, 2021 Non-Profit Sector Review Committee meeting be received for information and approved.

## 10.3.3 Items Extracted from Consent Agenda

10.3.3.1 Non-Profit Sector Review Committee (NPSRC) - Minutes - February 10, 2021

Communication No. 454/21

Councillor Schummer advised that the NPSRC has launched a second survey to local non profit groups for their comprehensive input with respect to the health of this sector noting that the first survey dealt with gathering information to build a reference database. He encouraged all non profit groups to complete the survey as it would assist the review committee in fulfilling their mandate.

Resolution: 15-5

Moved by Councillor Schummer

That the minutes of the February 10, 2021 Non-Profit Sector Review Committee meeting be received for information and approved.

**CARRIED** 

- 10.4 Tourism & Economic Development Committee
  - 10.4.1 Staff Reports
  - 10.4.2 Consent Agenda

Resolution: 16-5

Moved by Regional Councillor Smith

That items listed under Section 10.4.2, Tourism & Economic Development Consent Agenda, be approved.

**CARRIED** 

10.4.2.1 Brock Economic Development Advisory Committee -Minutes - February 16, 2021

Communication No. 462/21

Resolution: 17-5

That the minutes of the February 16, 2021 Brock **Economic Development Advisory Committee meeting** be received for information and approved.

Extension and Expansion of the Digital Main Street 10.4.2.2 Program

> Town of Whitby Communication No. 503/21

Resolution: 18-5

That Communication No. 503/21 be received for information.

- 10.4.3 Items Extracted from Consent Agenda
- 10.5 Protection Services Committee
  - 10.5.1 Staff Reports
    - 10.5.1.1 Report: 2021-PS-04 - Source Protection-Sewage System Maintenance Agreement

Richard Ferguson Communication No. 474/21

The Interim CAO advised that Durham Region completes the septic inspections on behalf of the municipality.

Resolution: 19-5

Moved by Councillor Doble

That the Committee receive Report: 2021-PS-04 and that the Mayor and Clerk be authorized to sign the agreement with the Durham Region Health Department for the administration and inspection of Septic Systems in the Wellhead Protection Zones within the Township of Brock.

**CARRIED** 

10.5.1.2 Report: 2021-PS-05 - Parks By-law Number 1977-2006-PP - No Fishing

> Sarah Beauregard-Jones Communication No. 475/21

Councillors requested clarification to which the Bylaw Supervisor advised that the amendment is in response to safety concerns at the Township docks where there have been too many people fishing while boats are docking and that the By-law had not addressed fishing in the harbour. She advised that this would not affect fishing from the north beach or break walls.

Councillors enquired as to old no fishing signage and were advised that the signage is not the property of the Township. Discussion ensued with respect to the municipality and the federal government both owning portions of the harbour. The Bylaw Supervisor advised that staff have contacted the Federal government for clarification with respect to enforcement within the harbour noting that staff would provide enforcement within the municipality's jurisdiction.

Councillors enquired as to public education in conjunction with the placement of municipal signage and were advised that staff regularly provide education during their patrols and noted that this amendment is only prohibiting fishing from the Township owned docks.

Councillors enquired as to an update with respect to federal jurisdiction and were advised that staff have not received a response and would only enforce bylaws with respect to municipally owned property.

Resolution: 20-5
Moved by Councillor Jubb

That Report: 2021-PS-05 be received and that By-law Number 1977-2006-PP, as amended be amended to prohibit fishing from public docks and boat launch ramps unless written approval is provided from the Municipal Clerk and that the amending By-law come forward for consideration.

**CARRIED** 

10.5.1.3 Report: 2021-PS-06 - 2021 Fire Department Q1 Responses

Rick Harrison Communication No. 505/21

Councillors enquired as to the dollar value and cause of the 12 property fires within the first quarter of 2021 and were advised that the Fire Chief would follow up and that future reports would provide those details.

Councillors enquired whether COVID-19 had an impact on calls and were advised that the Fire Chief would follow up.

Councillors expressed concern for the cost of false fire calls enquiring whether there was malicious intent involved and were advised not, that most were the result of faulty alarms.

Resolution: 21-5

Moved by Councillor Pettingill

That staff Report 2021-PS-06 Fire Department responses be received.

**CARRIED** 

#### 10.5.2 Consent Agenda

Resolution: 22-5

Moved by Councillor Schummer

That items listed under Section 10.5.2, Protection Services Consent Agenda, be approved, save and except item number 10.5.2.11 as listed on the agenda.

10.5.2.1 Durham Regional Police Services Board - New Collective Agreements for Sworn and Civilian Members of the Durham Regional Police Services

Communication No. 415/21

Resolution: 23-5

That Communication No. 415 be received for information.

10.5.2.2 C.P. Railway Traffic Information and Data Arising from Resolution C-028-21

> Municipality of Clarington Communication No. 423/21

Resolution: 24-5

That Communication No. 423/21 be received for information.

10.5.2.3 Request for an Interim Cap on Gas Plan and Greenhouse Gas Pollution and the Development and Implementation of a Plan to Phase-Out-Gas-Fire **Electricity Generation** 

Town of Ajax

Communication No. 430/21

Resolution: 25-5

That Communication No. 430 be received for information.

10.5.2.4 Unflood Ontario: Call to Action Resolution

> **Durham Region Legislative Services** Communication No. 441/21

Resolution: 26-5

That Communication No. 441/21 be received for information.

10.5.2.5 Highlights from the March 23, 2021 Meeting

Durham Regional Police Services Board Communication No. 445/21

Resolution: 27-5

That Communication No. 445/21 be received for information.

10.5.2.6 Motion to add Pharmacies in Durham Region to the Government of Ontario's Pilot Project to Deliver the AstraZeneca Vaccine

Durham Region Legislative Services Communication No. 451/21

Resolution: 28-5

That Communication No. 451 be received for information.

10.5.2.7 2021 Climate Change Update and Corporate Climate Change Action Plan (2021-A-3)

Durham Region Legislative Services Communication No. 452/21

Resolution: 29-5

That Communication No. 452 be received for information.

10.5.2.8 Covid-19 Vaccination Distribution Task Force

General Rick Hillier
Communication No. 456/21

Resolution: 30-5

That Communication No. 456 be received for information.

10.5.2.9 Community Funding Priorities

Durham Region Social Services Communication No. 480/21

Resolution: 31-5

That Communication No. 480 be received for information

10.5.2.10 Cormorant Shooting Exclusion

Mark-Andre Simard Communication No. 487/21

Resolution: 32-5

That the request as contained within Communication No. 487 be approved.

#### 10.5.3 Items Extracted from Consent Agenda

10.5.3.1 Interoffice Memorandum - The Nourish & Develop Foundation (TNDF) Mobile Food Market

Deena Hunt

Communication No. 508/21

Councillors enquired whether TNDF would be subject to the conditions of points 1 through 6 while they are operating on private property (point 7) and were advised that staff would follow up and respond to Council.

Resolution: 33-5

1: 33-5

**Moved by** Councillor Schummer

That Committee approve the Mobile Food Market project subject to the Nourish and Develop Foundation meeting the requirements as contained within Communication No. 508.

**CARRIED** 

#### 10.6 General Government Committee

#### 10.6.1 Staff Reports

10.6.1.1 Report: 2021-GG-03 - Human Resources

Ingrid Svelnis

Communication No. 511/21

Resolution: 34-5

Moved by Councillor Doble

That Committee receive Report 2021-GG-03 for information.

**CARRIED** 

10.6.1.2 Report: 2021-GG-04 - Committee Continuation

Ingrid Svelnis

Communication No. 512/21

Resolution: 35-5

Moved by Regional Councillor Smith

That Committee receive report 2021-GG-04 and that the advisory committees of Council continue to meet as scheduled.

**CARRIED** 

#### 10.6.2 Consent Agenda

Resolution: 36-5

Moved by Councillor Schummer

That items listed under Section 10.6.2, General Government Consent Agenda, be approved, save and except item numbers 10.6.2.1. and 10.6.2.4. as listed on the agenda.

**CARRIED** 

#### 10.6.2.1 Review of Health and Safety Policy

Stefanie Stickwood
Communication No. 485/21

Resolution: 37-5

That the Mayor and CAO be authorized to sign the Health and Safety Policy as contained within Communication No. 485/21

# 10.6.2.2 Proclamation Request - April 24, 2021 - Human Values Day

Communication No. 499/21

Resolution: 38-5

That April 24th be proclaimed as Human Values.

#### 10.6.3 Items Extracted from Consent Agenda

#### 10.6.3.1 Land Parcel Purchase

Alyson Kea

Communication No. 482/21

Regional Councillor Smith advised that he explained the process to the requestors noting that a staff report would address the issue.

The Interim CAO advised that there are two strategies involved, one to address unopened road allowances at the lake and the other to address rural unopened road allowances. She advised that the lake strategy would take priority.

Resolution: 39-5

Moved by Regional Councillor Smith

That committee refer communication number 582 to staff for a report.

**CARRIED** 

#### 10.6.3.2 McFeeters Drain

Ron & Kelly Jarvis
Communication No. 507/21

Councillor Schummer advised that there is public confusion with the municipal drain charges given the length of time it took to complete the project and expressed concern for charging interest on the invoices during the pandemic. He acknowledged that the Township has no option but to implement the charges under the Drainage Act but recommended interest relief be provided for the 2021 year.

Councillors enquired when bills would be subject to interest and were advised January 1, 2022.

Councillors enquired as to some properties receiving a 1/3 grant to which the Interim CAO advised that

staff would follow up and post information onto the Township website.

Resolution: 40-5

**Moved by** Councillor Schummer

That Communication No. 507 be received for information, and that staff provide an explanation of the Provincial Drainage Legislation and process, and further, that the interest on these bills be waived for the remainder of the 2021 year.

**CARRIED** 

#### 11. Other Business

#### 11.1 COVID-19 Update

The Fire Chief advised that there is a Province-wide Stay at Home Order in place, staff are determining which operations/activities could be opened or closed depending on the colour categories for the pandemic, signage is to be posted at skateboard parks with restrictions for COVID-19, and a forthcoming report for beaches would address operations this season.

The Fire Chief advised that some cases of COVID-19 have been reported in a Brock daycare and that 4 Township staff have tested negative and continue to self isolate for 14 days.

The Fire Chief advised that the vaccine clinic is running well in Brock and the next clinic is scheduled for April 24, 2021. He advised that staff are gathering information to be distributed to local businesses intended to provide education surrounding the safety measure for the pandemic.

Councillors enquired whether contact tracing was implemented for the recent COVID-19 cases and were advised in the affirmative.

Councillors enquired as to the options for booking a vaccination and were advised online or by telephone.

Councillor Doble advised that constituents are expressing an interest in virtual recreation to which the Fire Chief advised that he would follow up.

Regional Councillor Smith advised that Region of Durham Health Department is allotted vaccines on a per capita basis and a vaccination clinic would be opening in the Independent Grocers in Beaverton.

Councillors enquired whether the boat launches are open and were advised in the affirmative.

Councillors enquired as to the number of vaccinations that have been administered to date and were advised approximately 300 per day with 4 clinics completed.

Mayor Grant advised that the Small Urban GTHA Mayors have forwarded a statement to all M.P.P.'s to request that the Provincial government addresses the vaccine supply shortcomings. He advised that Laurie Scott, M.P.P. has enquired as to the vaccination successes and challenges, and that Christine Elliott, Minister of Health, has been invited to attend a meeting of the Small Urban GTHA Mayors.

#### 12. Public Questions and Clarifications

None.

- 13. Closed Session (if required)
- 14. Adjournment

Resolution: 41-5

Moved by Councillor Campbell

That we do now adjourn at 12:41 p.m.

CARRIED	
Mayor, John Grant	



# The Corporation of the Township of Brock Planning and Community Affairs Minutes

### April 19, 2021 Virtual Meeting

Members Present: Mayor John Grant

Regional Councillor Smith

Ward 1 Councillor Michael Jubb Ward 2 Councillor Claire Doble

Ward 3 Councillor Walter Schummer Ward 4 Councillor Cria Pettingill Ward 5 Councillor Lynn Campbell

Staff Present: Interim CAO, Ingrid Svelnis

Deputy Clerk Deena Hunt Deputy Clerk Maralee Drake Fire Chief Rick Harrison

Director of Public Works Paul Lagrandeur Chief Building Official Richard Ferguson

Planner Debbie Vandenakker

\_\_\_\_\_\_

- 1. Call to Order
- 2. Disclosure of Pecuniary Interest and Nature thereof in Closed Session
- 3. Closed Session

There was no closed session.

- 4. Rise from Closed Session
- 5. Call Open Session to Order

Chair/Regional Councillor Smith called the meeting to order at 1:30 p.m.

6. Disclosure of Pecuniary Interest and Nature Thereof

None

- 7. Matters from Closed Session
- 8. Public Meetings

None

9. Presentations

None

10. Delegations

None

#### 11. Staff Reports

None

#### 12. Correspondence

Resolution: 1-2

Moved by Councillor Campbell

That items listed under Section 12, Correspondence, be approved save and except item numbers 12.2, 12.3, and 12.10 as listed on the agenda.

**CARRIED** 

12.1 Endorsement of The Township of Brock's Cannabis Licencing and Enforcement Resolution

Municipality of Southwest Middlesex Communication No. 372/21

Resolution: 2-2

That communication number 372/21 be received for information.

12.2 Support for Township of Brock Resolution - Cannabis Licencing and Enforcement

City of Quinte West Communication No. 413/21

Resolution: 3-2

That communication number 413/21 be received for information.

12.3 Township of Brock - Cannabis Licencing and Enforcement

Town of Fort Erie Communication No. 421/21

Resolution: 4-2

That communication number 421/21 be received for information.

12.4 Growing the Greenbelt

Town of Ajax Communication No. 431/21

Resolution: 5-2

That communication number 431/21 be received for information.

12.5 Board of Directors Special Meeting Agenda and Meeting Agenda - March 26, 2021

Lake Simcoe Region Conservation Authority Communication No. 434/21

Resolution: 6-2

That communication number 434/21 be received for information.

12.6 Appointment to the Lake Simcoe Region Conservation Authority

Durham Region Legislative Services Communication No. 435/21

Resolution: 7-2

That communication number 435/21 be received for information.

12.7 CP Railway Traffic Information and Data

Durham Region Legislative Service Communication No. 439/21

Resolution: 8-2

That communication number 439/21 be received for information.

12.8 Memorandum from Ralph Walton, Regional Clerk/Director of Legislative Services dated February 25, 2021, re: Resolution adopted by Regional Council at its meeting held on February 24, 2021

Durham Region Legislative Services Communication No. 442/21

Resolution: 9-2

That communication number 442/21 be received for information.

**CARRIED** 

12.9 Report PLN 14-21, Environmental Registry Posting 019-3136, Response to consultation regarding growing the Provincial Greenbelt

City of Pickering Communication No. 457/21

Resolution: 10-2

That communication number 457/21 be received for information.

12.10 Cannabis Licencing

Loyalist Township Communication No. 468/21

Resolution: 11-2

That communication number 468/21 be received for information.

12.11 Support Resolution

Township of Armour Communication No.473/21

Resolution: 12-2

That communication number 473/21 be received for information.

12.12 Region of Durham's Soil and Groundwater Assessment Protocol -Commissioner's Report 2021-P-8

Durham Region Planning and Economic Development Department Communication No. 498/21

Resolution: 13-2

That communication number 498/21 be received for information.

12.13 Resolution - Cannabis Licencing and Enforcement

Municipality of Huron East Communication No. 506/21

Resolution: 14-2

That communication number 506/21 be received for information.

12.14 Cannabis Licencing and Enforcement

City of St.Catharines Communication No. 515/21

Resolution: 15-2

That communication number 515/21 be received for information.

12.15 Cannabis Licencing and Enforcement Resolution

Municipality of Faraday Communication No. 524/21

Resolution: 16-2

That communication number 524/21 be received for information.

12.16 Council Resolution - Cannabis Licencing and Enforcement

Municipality of Marmora and Lake Communication No. 530/21

Resolution: 17-2

That communication number 530/21 be received for information.

#### 13. Items Extracted From Consent Agenda

13.1 Shared cost of fencing

Sarah & Graeme Powell

Communication No. 400/21

Councillors enquired as to past practice to which the Deputy Clerk advised that the Township would pay up to 50% of the cost for a chain link fence when municipal property is involved and that the property owner would be responsible for costs above that amount should they opt out of chain link.

Councillors enquired whether the same condition would be offered if there were no existing fence to replace to which staff advised that they would follow up.

Resolution: 18-2

Moved by Councillor Jubb

That committee has no objection to the request for a shared cost of a post and wire fence as contained within communication number 400/21, subject to all requirements being met.

**CARRIED** 

13.2 Street Name Request

Durham Region Planning Division Communication No. 408/21

Councillors advised that they would prefer the street name to be Debbie Bath-Hadden Way.

Councillors requested a list of reserved street names for Brock from the Region.

Resolution: 19-2

Moved by Councillor Campbell

That communication number 408/21 be received for information.

**CARRIED** 

13.3 Regional Submission to the Ministry of the Environment, Conservation and Parks for the Lake Simcoe Protection Plan 10-Year Review

Environmental Registry of Ontario Posting #019-2833, Launching the Minister's 10 Year Review of the Lake Simcoe Protection Plan **Durham Region Legislative Services** Communication No. 472/21

Councillor Pettingill expressed appreciation for the Regional report and recommendations with respect to the Lake Simcoe Protection Plan.

Resolution: 20-2

Moved by Councillor Pettingill

That communication number 472/21 be received for information, and that Brock Township endorse the communication and forward the endorsement to the Honourable Jeff Yurek, Minister of the Environment, Conservation and Parks, and Claire Malcolmson at the Rescue Lake Simcoe Coalition.

**CARRIED** 

14. **Other Business** 

None

**Public Questions and Clarification** 15.

None

- 16. **Closed Session (if required)**
- 17. **Adjournment**

Resolution: 21-2

Moved by Councillor Campbell

That w

<i>r</i> e do now adjourn at 1:41 p.m.	
	CARRIED
	Mayor, John Grant
	Deputy Clerk,





## **Corporation of the Township of Brock**

## Staff Report to the Mayor and Members of Council

From:	Ingrid Svelnis	
Position:	CAO	
Title / Subject:	Request to Purchase Shoreline Road Allowances	
Date of Report: April 13, 2021		
Date of Meeting: April 26, 2021		
Report No:	2021- CO-12	

#### 1.0 Strategic Goal/Priority

To ensure that the Council has options with respect to the identification of shoreline properties which may have potential to facilitate improved public/pedestrian access.

### 2.0 Issue / Origin

The Township has received three individual requests to consider the sale of shoreline properties. In addition, Council has requested a report to identify all shoreline access points and identify those which may have potential to facilitate improved pedestrian access.

The purpose of this report is to address the merits of the specific requests. A subsequent report will be prepared to address those properties which may eligible for enhancements.

### 3.0 Background

The Township has received requests from the following individuals to consider the sale of Township-owned properties as follows:

- a) J. Kouba/S. Sneath a strip of land located between 116 and 126 Morrison Avenue, Ethel Park as they own property on the east side of Morrison Avenue.
- b) C. Terzis a portion of the Concession 3 Thorah road allowance west of Maple Beach Road as they own property north of the road allowance.
- c) J. Besaw a portion of Maplewood road allowance west of Lakeshore Road.

#### 4.0 Analysis

It is a generally accepted planning principal that municipal ownership of unopened road allowances abutting the lake is generally viewed positively as it provides the opportunity for non-waterfront owners to access the lake regardless of whether vehicular access can be provided. This is of particular significance within the Township of Brock as the majority of the shoreline is in private ownership. The municipality has received a number of requests in the past for which all of them have been ultimately denied by Council.

It is acknowledged that not all access points may be suitable for public access. However, it would be difficult for staff to recommend approval of the sale of these unopened road allowances on the basis that it could set a precedent for future requests, each of which would view the sale of these lands as precedent setting as well as advancing arguments related to their own unique circumstances.

My recommendation is that the Township not sell any lake access points and that over time the municipality look at enhancing these points to provide greater opportunities for passive use to residents who do no reside at the lake.

#### 5.0 Related Policies / Procedures

None

#### 6.0 Financial / Budget Assessment

No impact at present.

#### 7.0 Communications

That the respective property owners be advised of Council's position not to entertain requests of this nature at this time.

#### 8.0 Conclusion

That the sale of these properties not be entertained on the basis of accepted planning principles, potential for future requests, and Council's direction to review all lakeshore access points for potential improvement.

#### 9.0 Recommendation

That Council receive this report for information and that the requests to purchase these lake access points not be approved and that the property owners be so advised.

Title	Name	Signature	Date
Chief Administrative Officer	Ingrid Svelnis	Die	April 13, 2021





## **Corporation of the Township of Brock**

## Staff Report to the Mayor and Members of Council

From:	Rick Harrison		
Position:	Fire Chief		
Title / Subject:	Fire Safety Grant Program		
Date of Report: April 19, 2021			
Date of Meeting:	April 26, 2021		
Report No:	2021-CO-14		

#### 1.0 Strategic Goal/Priority

To provide the citizens of Brock Township a safe, progressive, innovative and proactive Fire Department. Through a unified forward-thinking organization, we will create commitment to excellence through professionalism, honesty, integrity and respect for our customers and each other.

#### 2.0 Issue / Origin

The Fire Chief is ultimately responsible for the operation of the fire department, which encompasses the Training Division.

#### 3.0 Background

On March 11, 2021 the Government of Ontario announced a one-time \$5 Million grant to municipal fire services to assist in addressing challenges associated with training and virtual inspections due to the COVID-19 pandemic. Each of the 441 municipal fire departments in the Province is eligible for up to \$4,500 base amount, with the remainder of the \$5 million allocated on a per capita basis.

The Government of Ontario required that all submissions be received no later than March 19, 2021. A further condition is that all projects be completed before August 31, 2021. The local municipality is required to execute a Grant Transfer Payment agreement to receive the funds. The municipality is required to submit a report to the Office of the Fire Marshal confirming the project funds were utilized for the approved purpose no later than September 1, 2021.

Due to the short timelines and the possibility that municipal councils may not have sufficient time to meet and approve the transfer agreement, the Ontario Fire Marshal is prepared to receive notice from the Fire Chief of the acceptance of the funds, conditional on the local municipal council entering into the Transfer Agreement.

The Ontario Fire Marshal advised that a signed Fire Safety Grant Transfer Payment Agreement with a Council resolution must be submitted no later than April 30, 2021.

#### 4.0 Analysis

The Fire Department submitted the required application to the Office of the Fire Marshal. On March 25, 2021, the Municipality was advised that we were approved for the full eligible amount of \$7,400, subject to Council approval of the project submission and execution of Transfer Agreement.

#### 5.0 Related Policies / Procedures

N/A

#### 6.0 Financial / Budget Assessment

N/A

#### 7.0 Communications

N/A

#### 8.0 Conclusion

THAT Report 2021-CO-14 be received for information;

AND THAT Council pass a resolution to direct the CAO to execute the Fire Safety Grant Transfer Agreement.

Title	Name	Signature	Date
Click or tap here to enter text.			
Fire Chief	Rick Harrison	hulloff	April 19, 2021
Chief Administrative Officer	Ingrid Svelnis	Kond onless	April 20, 2021





## **Corporation of the Township of Brock**

## **Staff Report to the Mayor and Members of Council**

From:	Debbie Vandenakker	
Position:	Planner	
Title / Subject:	Site Plan Approval Report for 8-2020-SP Mancini (2753883 Ontario Inc.)	
Date of Report:	April 20, 2021	
Date of Meeting:	April 26, 2021	
Report No:	2021-CO-13	

## 1.0 Strategic Goal/Priority

To provide Council with a staff recommendation of approval for the Site Plan application regarding the property municipally known as B22575 Lakeridge Road in Port Bolster (File No. 8-2020-SP).

## 2.0 Issue / Origin

In September 2020, Township staff received a Site Plan application for B22575 Lakeridge Road in Port Bolster to construct a large workshop on the Commercially zoned property.

#### 3.0 Background

2753883 Ontario Inc. is owned by Tony Mancini. Mr. Mancini's objective for the property is to build a single-story custom workshop for himself. Even though Mr. Mancini does not plan for

the workshop to be used commercially, the commercial zoning and potential future commercial use of the property requires the Site Plan process to be undertaken.

#### 4.0 Analysis

The application and supporting documentation was circulated to the following parties for review and comment:

- · Region of Durham Works Department;
- AECOM to provide engineering review on behalf of Brock Township; and
- Township of Brock Public Works, Clerks, Building, Planning and Fire Departments.

The Site Plan documentation was determined to be acceptable through this review process and the Site Plan Agreement was assembled as shown in **Attachment 1**.

The Site Plan Agreement consists of the following parts:

- By-law 3036-2021 to authorize the Corporation of the Township of Brock to enter into a Site Plan Agreement with the 2753883 Ontario Inc. regarding Part Lot 1, Concession 13, Brock.
- Site Plan Agreement
  - Schedule "A" Legal Description of the Lands
  - o Schedule "B" Site Development Plans
  - o Schedule "C" Special Conditions
  - Schedule "D" Financial Obligations

This project is a relatively simple build with minimal anticipated impacts. The Region of Durham required a road widening along Lakeridge Road as per their standard policy and a permit for the work required in the Regional Right of Way has been issued.

The planning and technical reviews of this application show conformance and compliance with all applicable policies, guidelines and standards.

#### 5.0 Related Policies / Procedures

The signed Site Plan Agreement will be registered on the title of the property.

#### 6.0 Financial / Budget Assessment

N/A

#### 7.0 Communications

The Site Plan Approval process is not public. No external consultation was undertaken on this application.

#### 8.0 Conclusion

This Site Plan application meets all technical standards and guidelines as well as planning policies in the Township of Brock.

#### 9.0 Recommendation

It is recommended that Site Plan application 8-2020-SP Mancini be approved, and that the Council of the Township of Brock authorize the Mayor and Clerk's Department to enter into a Site Plan Agreement as attached with 2753883 Ontario Inc. (the Owner).

Title	Name	Signature	Date
Planner	Debbie Vandenakker	Dandenakker	04.20.2021
Chief Building Official	Richard A. Ferguson, CBCO	Richard Ferguson	
Chief Administrative Officer Ingrid Svelnis		Ingud Sulles	04,20.20

#### **BY-LAW NUMBER 3036-2021**

BEING A BY-LAW TO AUTHORIZE THE CORPORATION OF THE TOWNSHIP OF BROCK TO ENTER INTO A SITE PLAN AGREEMENT WITH 2753883 ONTARIO INC. REGARDING PART LOT 1, CONCESSION 13, BROCK

(MUNICIPALLY KNOWN AS B22575 LAKERIDGE ROAD, CANNINGTON, ON)

**WHEREAS** Section 41 of the Planning Act, R.S.O. 1990 provides that a municipality may enter into agreements dealing with and ensuring the provision of any or all of the facilities, works or matters mentioned therein;

**AND WHEREAS** the Council of the Corporation of the Township of Brock deems it expedient to enter into an agreement with 2753883 Ontario Inc. for the development and use of the lands described therein;

**NOW THEREFORE BE IT ENACTED** by the Council of the Corporation of the Township of Brock as follows:

1. THAT the Mayor and Deputy Clerk are hereby authorized to sign and affix the Corporate Seal to a Site Plan Agreement between the Corporation of the Township of Brock and 2753883 Ontario Inc as contained in Schedule 1 – Site Plan Development Agreement attached to and forming part of this by-law.

THIS BY-LAW READ TWICE THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

THIS BY-LAW READ A THIRD TIME AND FINALLY PASSED THIS 26th DAY OF APRIL, A.D., 2021.

Mayor
John Grant

Deputy Clerk
Deena Hunt

#### SCHEDULE 1 OF BY-LAW NUMBER 3036-20201

#### SITE PLAN DEVELOPMENT AGREEMENT

THIS AGREEMENT made this 26th day of April, 2021

**BETWEEN:** 

#### **2753883 ONTARIO INC.**

(hereinafter called the "Owner")

OF THE FIRST PART.

and

#### THE CORPORATION OF THE TOWNSHIP OF BROCK

(hereinafter called the "Township")

OF THE SECOND PART

**WHEREAS** this Agreement has been entered into pursuant to Section 41 of the Planning Act, R.S.O. 1990, c. P.13, as amended;

**AND WHEREAS** Subsection 10 of Section 41 of the Planning Act, as amended, provides for the registration of Site Plan Development Agreements on the title of the Lands;

**AND WHEREAS** the Owner warrants and represents that there are no encumbrancers of the Lands, save and except the Encumbrancers herein;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that in consideration of mutual covenants herein contained and other good and valuable consideration, the parties hereby covenant and agree as follows:

#### 1. Prohibition

The Owner hereby agrees that no development or redevelopment will proceed or take place on the Lands except as shown on plans, drawings and specifications approved by Council of the Township (hereinafter referred to as the "Site Development Plans"), and without limiting the generality of the foregoing, development or redevelopment shall include the construction, erection or placing of one or more buildings or structures that has the effect of substantially increasing the size or usability thereof, or the laying out and establishment of a commercial parking lot, or the construction, erection, installation or placement on the Lands of any loading spaces, parking areas, garbage container areas, landscaping, lighting, drainage facilities, access driveways or fencing.

#### 2. Completion and Security

a) The Owner agrees that it shall construct and provide the structures, buildings, facilities, services or works shown on the Site Development Plans within two years of approval by Council of the Site Development Plans.

#### 3. <u>Construction</u>

The Owner shall undertake all construction activity on the Lands in such a manner so as not to unreasonably interfere with adjoining lands or traffic on adjacent roadway. The Owner shall control all dust, mud and debris resulting from any construction activities and remove the same promptly from any municipal catch basin, manhole, sewer, ditch, culvert, roadway, boulevard or sidewalk. The Owner shall reimburse the Township for any damage to any municipal services, facilities or works resulting from the development or redevelopment of the Lands, howsoever caused and the determination of the Director of Public Works or his designate with respect to whether or not said damage was caused by the

owner or with respect to the extent of the damage shall be final and binding on all parties.

#### 4. Maintenance

The Owner shall maintain, in good repair and in a safe and clean condition, the Lands and Boulevard, vegetation, structures, buildings, facilities, services, works and landscaping improvements on the Lands and Boulevard at his own expense and shall do all acts necessary to comply with and properly carry out and provide for the maintenance and use thereof, including the replacement or repair of broken, damaged or worn material or parts and the replacement of dead or deceased vegetation. The Owner shall further keep the Lands and Boulevard free and clear of all refuse, debris and obstructions.

#### 5. Building or Demolition Permits

Notwithstanding the provisions of this agreement, the Owner hereby acknowledges that the Township is not obligated to issue any building permits or demolition permits or grant any other permits or consents with respect to any development or redevelopment on the Lands unless:

- a) all federal, provincial and municipal statutes, regulations, by-laws, ordinances, orders and requirements have been complied with;
- b) any other agreements with the Township, the Regional Municipality of Durham or any other governmental body or agency are not in default; and
- c) all property and business taxes with respect to the Lands have been paid in full.

In the event the development or redevelopment of the Lands herein contemplated requires any other municipal or other governmental approvals, including but not limiting the generality of the foregoing, a building permit, a consent for a severance or rezoning or a variance pursuant to the provisions of the Planning Act, R.S.O. 1990, a permit for access, ingress or egress, approvals pursuant to the provisions of the Environmental Assessment Act, R.S.O. 1990, or the Environmental Protection Act, R.S.O. 1990, the approval of the Medical Officer of Health, the approval of the Conservation Authority having jurisdiction, the approval of the Minister of Health or the approval of any other governmental body or agency, then in such event the Owner hereby agrees not to commence any work on the Lands or demolish or alter any structures on the Lands unless all such approvals, permits or rezoning have been obtained.

#### 6. <u>Landscaping</u>

Landscaping shall be completed in accordance with the site development plans as set out in Schedule "B" attached and those special conditions set out in Schedule "C" attached. All approved landscaping shall be maintained in a healthy growing condition at all times.

#### 7. Garbage

The Owner shall store all garbage in the garbage storage facilities as shown on the Site Development Plans. If the garbage storage facilities are designed for the use of a bulk lift container, it shall be the Owner's responsibility to provide for such container and for the regular removal and replacement of the same as may be reasonably required. In the event no garbage storage facilities are shown on the Site Development Plans, all garbage shall be stored indoors.

#### 8. <u>Hydro</u>

The Owner shall, at its sole cost, comply with the requirements of Ontario Hydro, or its successor, and Veridian Connections, including bearing the cost of the relocation of existing hydroelectric facilities if applicable.

#### 9. Costs

The Owner shall pay to the Township, forthwith upon demand, all reasonable costs and expenses incurred by the Township, whether directly or indirectly, in connection with this Agreement and the approval of any Site Development Plans. Without limiting the generality of the foregoing, such costs and expenses shall include a charge for the processing of the Site Development Plans by the consultants retained by the Township incurred in connection with this Agreement, the supervision of all of the works undertaken in connection therewith or in ensuring compliance with this agreement and the registration thereof on title to the Lands.

#### 10. Fire Access Routes

The Owner shall designate such driveways as shown on the Site Development Plans as fire access routes (if applicable) or hereafter so designated by the Fire Chief for the Township and shall keep them clear and unobstructed at all times. The Owner shall erect and maintain signs approved by the Chief Building Official for the Township designating the fire access routes.

#### 11. Lighting

The Owner agrees that any lights used for the illumination of the building or parking areas shall be so arranged by diverting the lights away from adjoining lands so as to minimize the light affecting adjoining lands.

#### 12. Owner's Expense

The Owner acknowledges that where this Agreement obliges the Owner to perform any work or do anything it is to be done at the Owner's expense and not at the Township's expense.

#### 13. Registration

The Owner hereby consents to the registration of this Agreement on the title of the Lands.

#### 14. Acknowledgment by Encumbrancers

The Encumbrancers (if applicable) hereby acknowledge that they are aware of all of the terms, covenants and conditions contained in this Agreement and agrees to be bound by such terms, covenants and conditions in the event that it should obtain control, possession or equitable ownership of the Lands.

#### 15. Indemnification by Owner

The Owner shall defend, indemnify and save harmless the Township against all actions, causes of action, suits, claims and demands whatsoever which may arise directly or indirectly by reason of this agreement or the Owner undertaking the development or redevelopment herein referred to.

#### 16. Insurance

Prior to the commencement of any construction of any Services or grading on the Lands or issuance of any building permit for the Lands, the Owner shall maintain commercial general liability insurance, and continue to maintain such insurance until the Chief Building Official for the Township certifies that any building or structure located on the Lands is fit for occupancy and has issued an unconditional Lot Clearance Certificate therefore, against all damages or claims for damage with an insurance company satisfactory to the Township. Such policy or policies shall include the Township as an additional insured and a certificate of insurance shall be delivered to the Township and be in full force and effect until such certification by the Township's Engineer. Such certificate of insurance shall be in a form acceptable to the Township's Solicitor and without limiting the generality of the foregoing, such insurance shall provide:

- (a) that the minimum limits shall be not less than \$5,000,000.00 for any single occurrence;
- (b) that it includes a cross-liability and completed operation coverage;
- (c) that it shall not contain an exclusion for blasting, shoring, underpinning raising or demolition of any building or structure, collapse of any structure or subsidence of any structure or land from any cause;
- (d) that the insurance premium has been prepaid for a period of not less than one year;
- (e) that the policy will provide that it is not cancellable unless prior notice by registered mail has been received by the Township from the insurer not less than thirty (30) days prior to the cancellation date;
- (f) in the event of claims made against the Township to which the deductible applies, the Owner shall be solely responsible for paying the deductible; and
- (g) Where a subcontractor is retained for work where Professional Liability coverage is a contract requirement, the Owner must ensure that the Professional Liability insurance is in an amount not less than two million dollars (\$2,000,000) per claim.

#### 17. Right of Entry

The Owner covenants and agrees with the Township to grant and hereby grants to the Township or its authorized representatives the right to enter upon the Lands or any part thereof in order to ascertain whether or not the provisions of this Agreement have been complied with in full.

#### 18. Default

In the event of any default by the Owner pursuant to any of the terms of this Agreement, in addition to any other remedies available to the Township and without any limitation thereof, the Township may:

- a) undertake or compete any obligation of the Owner hereunder;
- b) enter upon the Lands through its servants or agents for any purpose whatsoever;
- c) issue a stop work order with respect to any further development, redevelopment or work upon the Lands; and
- d) recover from the Owner all costs and expenses incurred by the Township whether directly or indirectly, with respect to the default or the remedy thereof and collect such costs and expenses in like manner as municipal taxes.

#### 19. Drainage

The Owner shall not take any action or cause any work to be done that will adversely affect drainage from or onto properties adjoining the Lands, and the Owner shall with the prior approval of the Township, at the Owner's expense, construct such drainage works as may be required. Notwithstanding the aforesaid, the Owner shall indemnify and save harmless the Township with respect to drainage from or onto lands adjoining the Land as a result of the development or redevelopment hereby contemplated and the construction of any works, facilities or structures on the Lands.

#### 20. Occupancy

The Owner covenants and agrees that there shall be no occupancy of buildings until all requirements of this Agreement have been complied with and the Chief Building Official has issued an Occupancy Certificate. The Chief Building Official may, however, issue a conditional Occupancy Certificate provided the Letter of Credit is sufficient to cover any outstanding works.

#### 21. Successors and Assigns

The parties hereto hereby covenant and agree that this Agreement shall be binding upon them, their respective heirs, executors, administrators, successors and assigns. In the event that the Lands are sold, conveyed, assigned, or transferred, or otherwise parted with possession or ownership, the proposed purchaser, successor or assignee ("Successor") shall, prior to closing, execute an assumption agreement acceptable to the Township's Solicitors which provides that all provisions of this Agreement will continue to be binding on the Successor to the Owner as if such Successor had entered into this Agreement in the place of the Owner and in the event of more than one Successor all of the parties collectively shall be deemed to be the Owner pursuant to the terms hereof. Further, the Owner shall be released and discharged from the obligations and provisions of this Agreement upon the execution of an assumption agreement by the Successor.

#### 22. Invalidity

If a Court of competent jurisdiction should declare any section or part of a section of this Agreement to be invalid or unenforceable, such section or part of a section shall not be construed as being an integral part of the Agreement or having persuaded or influenced a party to this Agreement to execute the same, and it is hereby agreed that the remainder of the Agreement shall be valid and in full force and effect.

#### 23. Counterparts

This Agreement may be executed electronically and in one or more counterparts, which together shall be deemed to be an original and such counterparts together shall constitute but one and the same instrument. Such counterparts may be delivered by electronic transmission.

#### 24. Interpretation

In construing this Agreement, words in the singular shall include the plural and vice versa and words importing the masculine shall include the feminine, and the neuter and vice versa, and words importing persons shall include corporations and vice versa. In the event of any conflict or ambiguity in the Site Development Plans or Schedules to this Agreement, the decision of the Township shall be final and binding.

#### 25. Notice

All notices, demands or requests provided for or permitted to be given pursuant to this agreement shall be made in writing as follows:

- a) if made to the Township, shall be addressed to the CAO & Municipal Clerk, The Corporation of the Township of Brock, P.O. Box 10, Cannington, Ontario, L0E 1E0;
- b) if made to the Owner, at his respective address for service shown on the Document General attached to this Agreement in the Registry Office in which this Agreement is registered;

All notices, demands or requests shall be deemed to have been properly delivered personally or by prepaid and registered mail, return receipt guaranteed. If notice is given by mail, the same shall be effective five (5) business days of being deposited with the post

office, or upon proof of delivery by return receipt. However, in the event of a postal interruption, the notice shall be deemed to have been given during such period of interruption, unless such notice has actually been received.

IN WITNESS WHEREOF, the individual parties hereto have hereunto set their hands and seals and the Corporate parties have hereunto affixed their Corporate Seal as attested to by the hands of their proper signing officers in that behalf duly authorized.

SIGNED, SEALED AND DELIVERED in the presence of

	) THE CORPORATION OF THE TOWNSHIP OF BROCK
Authorized to be executed by By-law No.	) ) Per: ) Mayor – John Grant
3036-2021 enacted on The 26th day of April, 2021.	) Mayor – John Grant ) )
	) Per:
	) ) )
	) ) ) 2753883 ONTARIO INC. )
	) ) Per:
Witness	) Tony Mancini
	) I have authority to bind the Corporation.
	) )
	) )
	) )

#### SCHEDULE "A" OF SITE PLAN AGREEMENT

#### LEGAL DESCRIPTION OF THE LANDS

ALL AND SINGULAR that certain parcel or tract of land and premises situated, lying and being in the Township of Brock, in the Regional Municipality of Durham and being composed of:

**DESCRIPTION:** Part Lot 1, Concession 13 Brock, as in D217665; Brock. (Municipally known as B22575 Lakeridge Road, Cannington ON L0E 1E0.)

**PIN**: 720230016

OWNER: 2753883 Ontario Inc.

18 Lakeshore Road, Pefferlaw, ON L0E 1N0



#### SCHEDULE "B" OF SITE PLAN AGREEMENT

#### SITE DEVELOPMENT PLANS

Name of Drawing or Specification	Number of Sheet or Page & Project Number	Date of Plan Drawing or Specification	Prepared By	Date of Acceptance by Township
Plan 40R-31314	1 page	April 2, 2021	E.R. Garden	April 16, 2021
Topographic Sketch	1 page	December 2, 2020	E.R. Garden	April 16, 2021
Plan of Survey	1 page		E.R. Garden Limited	April 16, 2021
General Notes, Site Plan and OBC Matrix	16 pages	July 2020	Paul Marques Architect Inc.	April 16, 2021
Stormwater Management Plan	1 page	March 24, 2021	Lakeland Engineering	April 16, 2021
Culvert Permit	1 page	March 29, 2021	Region of Durham	April 16, 2021

#### SCHEDULE "C" OF SITE PLAN AGREEMENT

#### **SPECIAL CONDITIONS**

- 1. The Owner shall comply with all of the terms and conditions imposed by the Regional Municipality of Durham Works Department. The Township's Chief Building Official (the "CBO") will withhold the issuance of a building permit until such time as all approvals and permits are issued by the Regional Municipality of Durham Works Department. The Owner shall provide copies of all permits received to the Township prior to building permit issuance.
- 2. The Owner agrees and warrants that all works shall be constructed and maintained in accordance with the Site Development Plans contained within Schedule "B" of this Agreement and in accordance with the Township of Brock Design Criteria and Standard Drawings.
- 3. The Owner acknowledges and agrees that prior to the occupancy of any buildings or structures provided under the approval, the CBO shall be satisfied with respect to fire safety and emergency services requirements of the Township's Fire Chief, including the provisions of an adequate water supply for fire-fighting purposes are provided.
- 4. The Owner agrees that the Fire Access Route is to be designed to meet the requirements of Section 3.2.5.6 of the Ontario Building Code. The Owner also agrees that the placement of Fire Hydrants shall meet the requirements of Section 3.2.5.7 of the Ontario Building Code.
- 5. The Owner agrees that the earthworks and grading associated with this Agreement are to take place only between the hours of 7:00 a.m. and 7:00 p.m. and shall not take place on Sundays and Statutory Holidays.
- 6. The Owner shall maintain the Lands in a tidy condition and free from the accumulation of waste products and debris and shall cut all grasses and weeds at any time and from time to time to prevent growth in excess of six (6) inches in height. When all work is substantially performed pursuant to this Agreement, the Owner shall remove surplus products, tools, construction machinery, equipment, waste products and debris from the Lands, including any waste products caused by Third Parties.
- 7. The Owner acknowledges that fires shall not be set on the Lands. Should an illegal fire be set, the Owner hereby agrees to pay any costs which may be incurred as a result of the illegal fire.

#### Landscaping

- 8. The Owner is solely responsible for ensuring that sufficient topsoil is available for the Lands. All areas shall be sodded and/or seeded as soon as possible and by no later than October 31, 2022 as indicated on the Site Development Plans identified on Schedule "B" of this Agreement.
- 9. The trees, shrubs, and other groundcover required, as noted on Schedule "B" shall be planted no later than October 31, 2022 and the trees, shrubs, and other groundcover shall thereafter continuously be maintained in a healthy living state by the Owner, and shall be replaced if necessary to ensure that at all times healthy living plants. If the Owner fails to complete or maintain the landscaping in accordance with this condition, the Township may undertake to do so, and the Letter of Credit may be drawn on to the extent necessary to complete or maintain the landscaping.

#### Stormwater Management

10. The Owner shall construct all storm drainage and stormwater management facilities in accordance with the Site Development Plans and with the approval of the Township or the Lake Simcoe Region Conservation Authority ("LSRCA").

- 11. The Owner covenants and agrees to keep in a proper state of repair all storm drainage systems, Stormwater management facilities, and to do all maintenance and repairs as the Owner may be directed to do in writing by the Township.
- 12. The Owner shall inspect all erosion and sedimentation control measures weekly and after each rainfall event and twice per day during prolonged rainfall events. Sediment accumulation of more than one-half the height of the sedimentation control device will require the contractor to remove the sediment or install a second sediment control device.
- 13. The Owner agrees to maintain all erosion and sedimentation control measures until such time that all disturbed areas have received a healthy growth of vegetation. The Owner acknowledges and agrees that they are solely responsible for repairing off-site sedimentation damage resulting from the failure of the erosion and sedimentation control measures.
- 14. The Owner agrees to implement all of the recommended inspection and maintenance measures as contained within Schedule "B".

#### **Drainage & Servicing Easements**

15. The Owner covenants and agrees that such drainage and servicing easements as may be required for utilities, servicing, and drainage purposes shall be obtained and granted at the sole cost and expense of the Owner to the appropriate authority and shall be in the form as may be required by the appropriate authority or the Township's solicitor.

#### Lighting

- 16. The Owner acknowledges and agrees that full cut-off (FCO) lighting fixtures shall be used to ensure that all site lighting shall be directed to the ground so as to ensure that lighting does not trespass onto adjacent lands.
- 17. The Owner shall be responsible for all financial arrangements and obligations with Veridian Connections or Hydro One for the installation of the below ground electrical distribution system and site lighting and agrees to submit proof of this arrangement to the Township.

#### **Pre-Construction Meeting**

18. The Owner shall convene a meeting, prior to commencement of construction to be attended by the Owner's consulting engineer, all contractors to be employed on the site to construct the services, such persons as the Township may direct, and the Township's Director of Public Works, where involved, to review the schedules of construction.

#### Construction Access

- 19. The Owner agrees that any damage to public roads and services as a result of the works provided in this Agreement shall be repaired by the Owner at their sole cost and to the satisfaction of the Township. The Owner further agrees it is the sole responsibility of the Owner to control mud-tracking, dust and debris from the Lands, and shall undertake whatever remedies are required by the Township at the sole cost of the Owner, forthwith upon notification by the Township.
- 20. The Owner shall not be permitted to store any materials and/or equipment on opened and maintained public road allowances.

#### **Architectural**

21. The Owner agrees that the exterior finish of the building shall be consistent with the renderings provided as noted within Schedule "B".

#### SCHEDULE "D" OF SITE PLAN AGREEMENT

#### FINANCIAL OBLIGATIONS

#### 1. **Development Charges**

The Owner hereby agrees to pay a Development Charge for the structure to be constructed, at the time of issuance of a building permit for that structure. The amount of the Development Charge payable shall be the Development Charge in effect at the time of the issuance of a building permit. The Owner acknowledges and agrees that the Development Charge has been set pursuant to The Township's current Development Charges By-Law. The Owner further acknowledges and agrees that said By-law provides for an indexing of the Development Charge, annually on July 1.

The Owner hereby covenants and agrees that if the payment described above is not paid on the due date, the Township may, in its sole discretion, place the total amount due, plus any administrative charges, on the taxes of the Lands.

ROAD ALLOWANCE BETWEEN CONCESSIONS 13 AND 14 NORTHWEST CORNER OF LOT 1, CONCESSION 13 PIN 72023-0015 PART 1, PLAN 40R-3232  $C^{*}$ N7377'40"E (N73'23'00"£ P1) (N73'17'40"E P4) 3.05 (78.18 P1) N72"01"50"E (MEAS) (78.33 DEED) 77.95 (P4MMEAS) *7*5.95 - 2.00  $\geq$ ORP B 13.11  $\langle O \rangle$  $\langle f \rangle$ PIN 72023-0016 (LT) PART 1 OA 73.55 GEN71\*30'40"E (MEAS) 75.55 (P2,P48MEAS) (1727)(N72'45'10'E P2) (78.33 DEED) RIIPIN 72023-0017 ---LORP A См (мто) TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

ONTARIO LAND SURVEYOR

REGISTRAR FOR THE LAND TITLES DIVISION OF DURHAM (No 40)

SCHEDULE PART PART OF LOT CONCESSION PART OF PIN AREA 13 105.54 SQ.M 72023-0016 (LT)

PART 1 CONSISTS PART OF PIN 72023-0016 (LT)

PLAN OF SURVEY OF

# PART OF LOT 1 **CONCESSION 13**

## TOWNSHIP OF BROCK REGIONAL MUNICIPALITY OF DURHAM

SCALE 1: 300

20 metres E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

<u>LEGEND</u>

- DENOTES SURVEY MONUMENT FOUND
- ☐ DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CM DENOTES CONCRETE MONUMENT
- (917) DENOTES R.A. GARDEN, O.L.S.
- (1727) DENOTES E.R. GARDEN, O.L.S. (OU) DENOTES ORIGIN UNKNOWN
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- P1 DENOTES PLAN 40R-3232
- P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991
- P3 DENOTES HWY PLAN 135 (MTO FILE P-2800-49)
- P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
- DEED DENOTES INSTRUMENT 0217665 PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4910982.473	644375.265
ORP B	4911097.450	644417.856

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

#### BEARING REFERENCE

BEARINGS ARE UTW GRID, DERIVED FROM OBSERVED REFERÊNCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999819.

#### SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 26TH DAY OF MARCH, 2021.

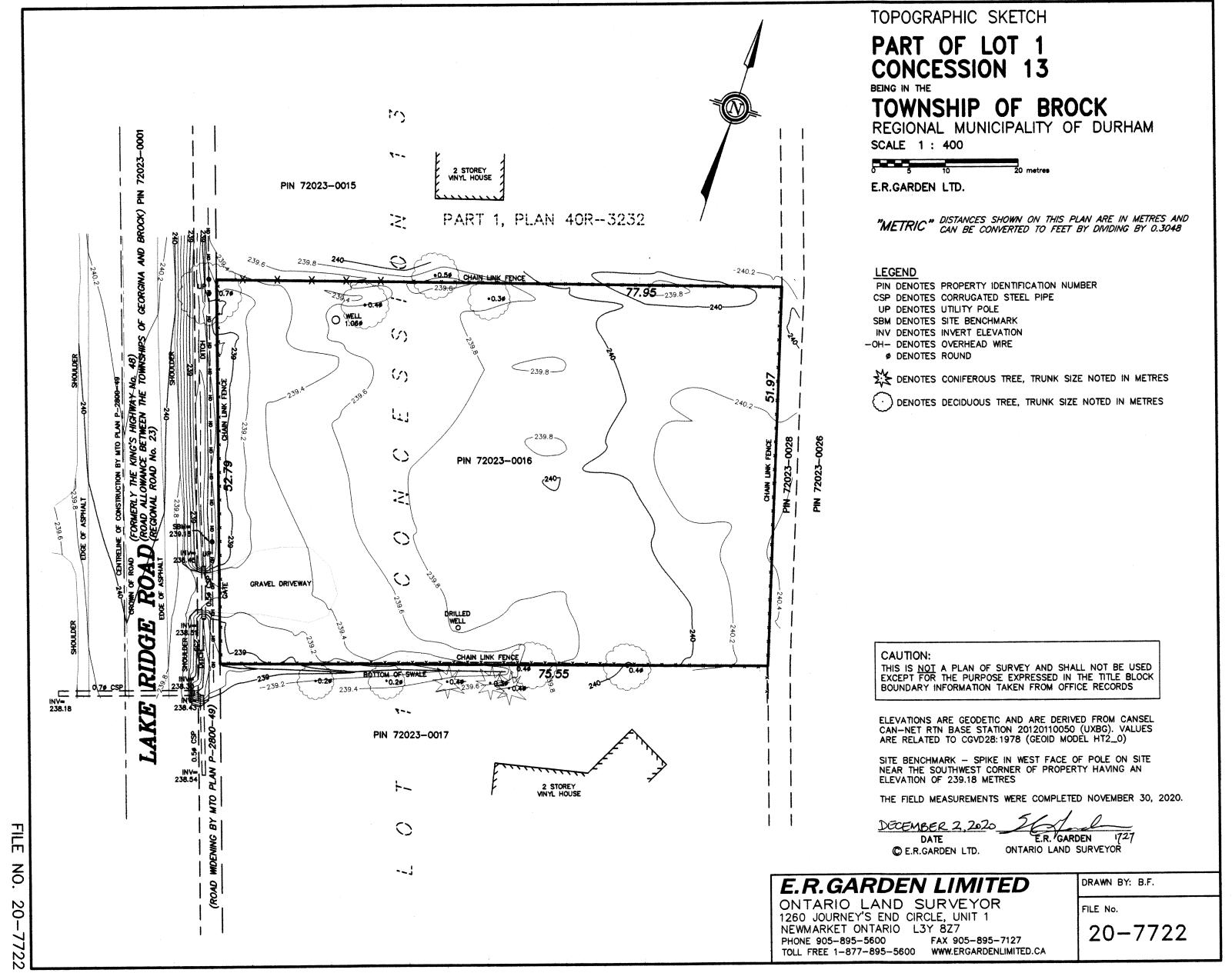
## E.R.GARDEN LIMITED

ONTARIO LAND SURVEYOR 1260 JOURNEY'S END CIRCLE, UNIT 1 NEWMARKET ONTARIO L3Y 8Z7 PHONE 905-895-5600 FAX 905-895-7127 FIELDWORK BY: B.F.

DRAFTING BY: R.D.

FILE NUMBER:

21 - 7776



ROAD ALLOWANCE BETWEEN CONCESSIONS 13 AND 14 NORTHWEST CORNER OF LOT 1, CONCESSION 13 PIN 72023-0015 PART 1, PLAN 40R-3232 14 N73°17'40"E *3.05* -(N73°23'00"E P1) (78.18 P1) N73°17'40"E (P4&MEAS) (78.33 DEED) 77.95 (P4&MEAS) *75.95* - 2.00 13.11 (f)PIN 72023-0016 (LT) PART 1 ROA. - 2.00 *73.55* RIDG **75.55** (P2,P4&MEAS) (1727) (78.33 DEED) PIN 72023-0017 N17.52'00"W 43.46

E.R. GARDEN
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND
REGISTRAR FOR THE LAND TITLES
DIVISION OF DURHAM (No 40)

SCHEDULE

PART PART OF LOT CONCESSION PIN AREA

PLAN 40R-

RECEIVED AND DEPOSITED

72023-0016 (LT)

105.54 SQ.M

PLAN OF SURVEY OF

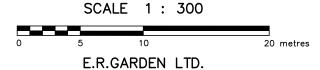
13

# PART OF LOT 1 CONCESSION 13

EING IN THE

## TOWNSHIP OF BROCK

REGIONAL MUNICIPALITY OF DURHAM



"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

#### LEGEND

■ DENOTES SURVEY MONUMENT FOUND

I REQUIRE THIS PLAN TO BE DEPOSITED

UNDER THE LAND TITLES ACT

- ☐ DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
  CM DENOTES CONCRETE MONUMENT
- (917) DENOTES R.A. GARDEN, O.L.S.
- (1727) DENOTES E.R. GARDEN, O.L.S.
- (OU) DENOTES ORIGIN UNKNOWN
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER P1 DENOTES PLAN 40R-3232
- P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991
- P3 DENOTES MTO PLAN P-2800-49
- P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
- DEED DENOTES INSTRUMENT D217665
  PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF 0.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4XXXXXXXXX	6XXXXXXXX
ORP B	4XXXXXXXXX	6XXXXX.XXX

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

#### BEARING REFERENCE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999XXX.

#### SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 17TH DAY OF JULY, 2020.

DATE	E.R. GARDEN
	ONTARIO LAND SURVEYOR

## E.R.GARDEN LIMITED

ONTARIO LAND SURVEYOR

1260 JOURNEY'S END CIRCLE, UNIT 1

NEWMARKET ONTARIO L3Y 8Z7

PHONE 905-895-5600 FAX 905-895-7127

TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

FIELDWORK BY: X.X.

DRAFTING BY: R.D.

FILE NUMBER: 21-7776

## **GENERAL NOTES**

### **GENERAL REQUIREMENTS (01001)**

PART 1 - GENERAL

1.1 GENERAL

2.1 GENERAL

- .1 VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- .2 THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT. PART 2 - PROJECT CO-ORDINATION
- CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.
- PART 3 CUTTING AND PATCHING
- 3.1 APPROVALS
- .1 SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING
  - INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS
- VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR WORK OF OWNER OR SEPARATE CONTRACTOR.
- 3.2 INSPECTION
- INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
  BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.
- 3.3 EXECUTION
- PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK. REMOVE AND REPLACE DEFECTIVE AND NON-CONFORMING WORK. PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND
- ROOFING CONTRACTOR PRESENT
- PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
  PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING
- EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT
- EMPLOY ORIGINAL INSTALLER TO PERFORM COTTING AND PATCHING FOR WEATHER EXPOSED AND MODIFICE RESISTANT ELEMENTS, AND SEXPOSED SURFACES.

  7. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.

  8. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.

  9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.

  10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL
- THICKNESS OF THE CONSTRUCTION ELEMENT. .11 REFINISH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.
- PART 4 SUBMITTALS
- 4.1 ADMINISTRATIVE
- SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.

  WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.

  REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS. .4 VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.
- 4.2 SHOP DRAWINGS AND PRODUCT DATA
- THE TERM "SHOP DRAWNO" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.

  INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES
- AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
- ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
- SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLE REQUEST. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT. 4.3 OPERATING MAINTENANCE MANUALS
- TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE
- MANUALS.
  MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
  BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.

AREA OF WORK

- 4.4 RECORD DRAWINGS
- AFTER AWARD OF CONTRACT; G.C., WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.
   RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES.
- IDENTIFY DRAWINGS AS "PROJECT RECORD COPY". MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE FOR INSPECTION ON SITE BY .4 ON COMPLETION OF WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO ARCHITECT.

## PART 5 - REPORTS

SITE PLAN

SCALE: NTS

SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.

- PART 6 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS
- 6.1 INSTALLATION AND REMOVAL
- PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. .2 REMOVE FROM SITE ALL SUCH WORK AFTER USE.
- 6.2 SITE STORAGE AND OVERLOADING PROPERTY
- REFER TO CC 33 PROTECTION OF WORK AND.
  CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS .3 DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDANGER THE WORK.
- 6.3 SANITARY FACILITIES PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
- .2 MAINTAIN IN CLEAN CONDITION.
- .1 PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
  .2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
  .3 PAY FOR UTILITY CHARGES AT PREVAILING RATES.
- 6.5 TEMPORARY POWER .1 PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.

  2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
- 6.6 TEMPORARY TELEPHONE .1 PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.
- .1 PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH
- MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
  REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
  CLEAN TOTAL OF THE CONTAMINANTS DURING FINISHING AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING
- PART 7 MATERIAL AND EQUIPMENT
- 7.1 PRODUCT AND MATERIAL QUALITY
- .1 REFER TO CC 39- LABOUR AND PRODUCTS. PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE
- PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS INFOODMOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PROVIDED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
- CAUSED BY REJECTION.

  SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- .1 HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOILING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
  STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
  STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

- UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
- NOTIFY ARCHITECT IN WRITING, OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.

  IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.
- WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS.
   DO NOT EMPLOY ANY UNFIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.
   DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS
- .1 IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
  .2 BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS DIRECTED BY ARCHITECT.
- PART 8 PROJECT CLOSEOUT
- 8.1 FINAL CLEANING
- REFER TO CC 42 CLEAN UP AND FINAL CLEANING OF THE WORK.

  WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.

  REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.

  LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.

  CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.

  REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.

  VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVRES AND SCREENS.

  WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATIONS.

  BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.

- PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT ON POSSESSION DAY: INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.

- COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
  SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.
  SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
  PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
  EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY PERIOD REQUIREMENTS.
  SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
  CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.
- .1 PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY.
- DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED. CORRECT SAME.

  WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.

  MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT. CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

## **DEMOLITION NOTES**

- 1. DEMOLITION WORK WILL NOT AFFECT ADJACENT AREAS OR SPACES , TENANCIES, SURFACES, STRUCTURES ETC. ANY DAMAGE
- CAUSED TO THE ABOVE RESULTING FROM DEMOLITION SHALL BE MADE GOOD AT NO EXTRA COS 2. CONTRACTOR TO PROVIDE ALL REQUIRED HOARDING, BRACING, BARRICADES, SHORING, SIGNAGE ETC. DURING DEMOLITION.
- 3. ACCESS TO SITE IS TO BE MAINTAINED AT ALL TIMES. PROVIDE PROTECTION TO ALL EXISTING SURFACES TO REMAIN IE. SIDEWALKS, CURBS, ASPHALT, ETC. MAKE GOOD ANY DAMAGE AT NO EXTRA COST
- 4. CONTRACTOR MUST TAKE ALL MEASURED TO PREVENT COLLAPSE, MOVEMENT, SETTLEMENT OF ALL ADJACENT PROPERTY,
- 5. ALL AUTHORITIES HAVING JURISDICTION TO BE NOTIFIED PRIOR TO CUTTING, CAPPING OR DISCONNECTING UTILITIES & SERVICES.
- 6. ALL ELECTRICAL TO BE REMOVED BY A LICENSED ELECTRICAL TRADE. MAKE SAFE PRIOR TO REMOVAL. 7. ALL MECHANICAL TO BE REMOVED BY A LICENSED MECHANICAL TRADE.
- 8. EQUIPMENT & MATERIAL FROM DEMOLITION BECOMES PROPERTY OF THE CONTRACTOR.
- 9. REMOVE ALL ABANDONED CONDUIT, PIPE, WIRES, DUCTS ETC. CONTRACTOR SHALL NOT AFFECT ALL OPERATING SYSTEMS IN THE PREMISES (AND ADJACENT) AT ANY TIME. UNDERGROUND PIPES TO BE CAPPED.

## LIST OF DRAWINGS:

**ARCHITECTURAL** 



## architect inc

TEL. (647) 352-2121 FAX (647) 352-2122

## **ARCHITECTURAL**

- AO GENERAL NOTES, SITE PLAN
- & OBC DATA MATRIX A1 SITE PLAN
- CONSTRUCTION PLAN
- ROOF PLAN
- A4 ELEVATIONS
- A5 ELEVATION & SECTIONS A6.0 GENERAL NOTES
- A6.1 GENERAL NOTES
- A6.2 GENERAL NOTES

## **STRUCTURAL**

- SO FOOTING DESIGN
- S2 ROOF FRAMING

## **MECHANICAL**

- H.V.A.C.
- M2 NOTES NOTES М3

STRUCTURE FRAMING

- P1 PLUMBING

# ETR = EXISTING TO REMAIN This drawing, as an instrument of service, is provided by and is the property of Paul marques Architect Building Code Reference 3.00 Building Code Version: O. Reg. 332/12 Last Amendment O. Reg. 191/14

Firm Name: PAUL MARQUES ARCHITECT INC.

⊠ No □Yes

Ontario Building Code Data Matrix Parts 3

\_\_\_\_1 \_\_\_ Storeys above grade

GROUP F, DIVISION 3, 1STOREY

⊠Not Required □ Required

⊠Not Required □ Required

3.14 Water Service/
Supply is Adequate New DRILLED WELL AS OF JULY 2020(#A271523 MINISTRY OF ENVIRONMEN

Heavy Timber Construction: ☑ No ☐ Yes

mportance Category: □Low ⊠Low human occupancy □Post-disaster shelter

3.21 Required Fire Resistance Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating?

Compliance Path:

Climatic Zone:

3.17 Seismic Hazard Index: (IE Fa Sa (0.2)) = \_\_\_\_

⊠ No □Yes

\_\_\_\_1 \_\_\_ Street(s)

☑ New ☐ Addition ☐ Renovation ☐ Change of Use ☐ Addition and renovation

Occupancy Use
GROUP F DIV. 3 STORAGE GARAGE

Existing

<u> N/A</u>

□ selected floor areas □ basement

□High □Minor storage building □Explosive or hazardous substances

Seismic design required for Table 4.1.1.18. items 6 to 21: ( (IE Fa Sa (0.2)) ? 0.35 or Post-disaster) 図 No □Yes

Floor Level/Area Occupancy Type Based On Occupant Load (Persons)

223.7 SM F3 46 SQM/PERSON 5

116.1 SM F3 46 SQM/PERSON 3 101.1 SM F3 46 SQM/PERSON 3

| Wall EBF L.D. L/H Required Construction Cladding FRR (H) Type Required Type Required Type Required

WEST 167.2 18.3 1:5.6 100% □Noncombustible□Noncombustib

NORTH 83.6 12.2 1:2.8 100% Noncombustible Noncombustible

EAST 167.2 44 1:5.5 100% | Noncombustible | Noncombustible

SOUTH 83.6 9.8 1:2.8 79% □Noncombustible □Noncombustible

| Floor Level/Area | Occupant Load | Companie | Compani

All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.

\*TENANT FIT-UP WORK INCLIDING WASHROOM FACILITIES AND BARRIER-FREE REQUIREMENTS TO BE SUBMITTED FOR PERMIT UNDER SEPARATE APPLICATION

□No □Yes □N/A □No □Yes □N/A

□ No □Yes □N/A

☐ in lieu of roof rating ☐ none

Proposed: □Single stage □ Two stage □None

Existing New Total
- 464.5 464.5

\_\_0\_\_\_

A] 1.4.1.2.& 3.2.1.1.

3.2.2.10. & 3.2.5.

2.1.5. & 3.2.2.17.

1.2.1.(3) & T4.1.2.1.B

1.2. & 3.3.1.19.

2.20. - 83. & 3.2.1.4.

4.1.8.18.(2)

Certificate of Practice Number: 4602

LANDLORD'S WORK STORAGE GARAGE

2610 WESTON ROAD TORONTO, ON TEL (647) 352-2121

22575 LAKE RIDGE ROAD.

Name of Project:

3.02 Major Occupancy

3.03 Superimposed Major Classification:

3.06 Mezzanine Area (m)

3.07 Building Height

3 08 High Bulding

3.09 Number of streets/

3.11 Sprinkler System

3.19 Barrier-free Design:

3.20 Hazardous Substances:

3.24 Energy Efficiency:

Firfighter access

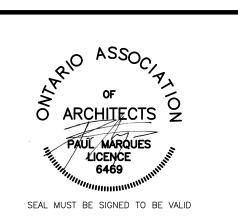
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2610 WESTON ROAD, #207 NORTH YORK, ONTARIO M9N 2B1 TEL: 647.352.2121



<sup>o</sup>roj no.: 20-914

Drawn by: JK

WORKSHOP / CUSTOM GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

Drawing Name: GENERAL NOTES SITE PLAN AND **OBC MATRIX** 

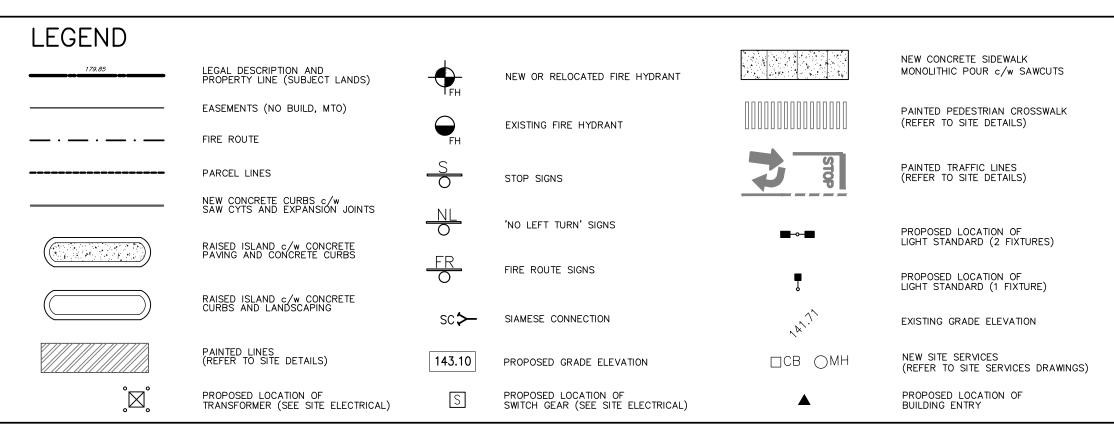
Checked by: PM Drawing No:

Date: JULY 2020

Scale: AS NOTED

**NOT USED** SCALE: NTS

## Page 71 of 151



A1 / SCALE: 1:250

TOTAL SITE AREA:	0.96 ACRES (0.39 Ha)
BUILDING AREA:	464.5 SM (5,000 SF)
GROUND FLOOR AREA:	464.5 SM (5,000 SF)
GROSS FLOOR AREA:	464.5 SM (5,000 SF)
LOT COVERAGE	11.84% (464.5 SM)
LANDSCAPE AREA	85.19%
NUMBER OF UNITS:	3
HEIGHT OF BUILDING:	8.36m
PARKING:	12
BARRIER-FREE PARKINGS	-
FRONT YARD SETBACK	16.39m
REAR YARD SETBACK	44.00m
INTERIOR YARD SETBACK	
NORTH PROPERTY LINE	9.81m
SOUTH PROPERTY LINE	12.19m

EXISTING LINES AND SITE CONDITIONS SHOWN ON THIS DRAWING WERE TAKEN FROM OWNER'S INFORMATION. SITE PLAN PROVIDED BY OWNER AND THE ACCURACY OF THE EXISTING INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY.

THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR, LICENSED IN THE PLACE OF WORK, TO:

1. ESTABLISH PERMANENT BENCH MARKS, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE;

2. VERIFY POSITIONING OF EXISTING BUILDINGS IF/WHEN USED TO ESTABLISH LOCATION OF NEW SITE ELEMENTS: 3. ESTABLISH LOCATION OF NEW BUILDINGS AND OTHER SITE ELEMENTS SUCH AS CURBS, SIDEWALKS, DRIVEWAYS, LIGHT POSTS, ETC. ALL NEW BUILDINGS TO BE POSITIONED USING DIMENSIONS FROM PROPERTY LINES ONLY, AND/OR FROM ADJACENT EXISTING BUILDINGS WHERE INDICATED (AND VERIFIED AS PER #2 ABOVE).

ALL OTHER NEW SITE ELEMENTS TO BE POSITIONED FROM NEW BUILDINGS AND/OR PROPERTY LINES USING WRITTEN DIMENSIONS ONLY. 3a.THE CONTRACTOR IS TO ESTABLISH THE LOCATION OF ALL NEW BUILDINGS, STRUCTURES, CURBS ETC. PRIOR TO COMMENCING WORK. CONTRACTOR TO PROVIDE WRITTEN CONFIRMATION BY THE LAND SURVEYOR THAT THE ESTABLISHED LOCATIONS OF NEW & EXISTING BUILDINGS MATCH THE SITE PLAN. 3b.CONSTRUCTION CANNOT COMMENCE UNTIL ALL BUILDINGS HAVE BEEN STAKED OUT BY A LAND SURVEYOR.

4. VERIFY LOCATION OF PROPERTY LINES AND MAINTAIN THROUGHOUT DURATION OF CONSTRUCTION:

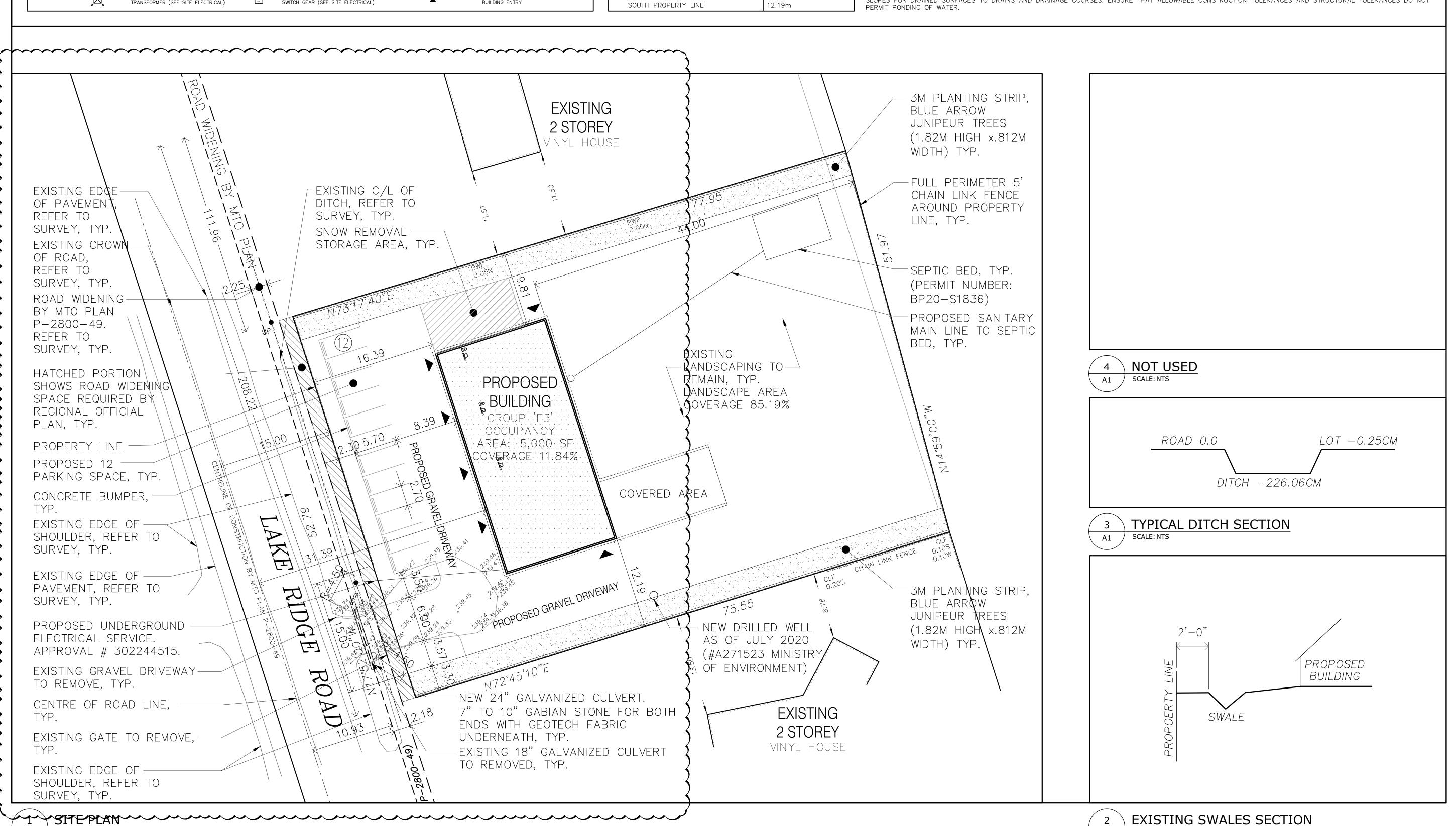
5. VERIFY ELEVATIONS OF FLOOR LEVELS AS CONSTRUCTION PROCEEDS, AND RELATE TO BENCH MARK DATUM; 6. VERIFY THAT PRESENT, OR KNOWN FUTURE RESTRICTIONS, ARE NOT VIOLATED BY CONSTRUCTION ON SITE OR LINES OF TRAVERSE TO ALL PUBLIC UTILITIES;

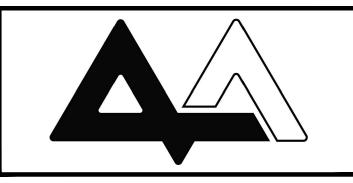
7. CORRELATE GEODETIC ELEVATION OF BENCH MARK DATUM WITH ELEVATIONS IN USE BY PUBLIC UTILITIES ADJACENT TO PROJECT; 8. VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWINGS;

9. PROVIDE AS BUILT SITE PLAN SHOWING NEW BUILDING(S) LOCATION (PART OF CONTRACT CLOSEOUT);
BEFORE COMMENCING WORK AT ADJACENT PUBLIC PROPERTY, THE CONTRACTOR SHALL VERIFY THAT NO PLANS FOR ALTERING CLEARANCES, SET—BACKS,
EASEMENTS, GRADES, OR OTHERWISE HAVE BEEN MADE BY LOCAL AUTHORITIES, SUBSEQUENT TO THEIR APPROVAL OF CONTRACT DOCUMENTS, AND WHICH WOULD AFFECT THE ORIGINAL INTENT.

SCALE: 1:500

CONTRACTOR TO ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ALL SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITION. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES. ENSURE THAT ALLOWABLE CONSTRUCTION TOLERANCES AND STRUCTURAL TOLERANCES DO NOT



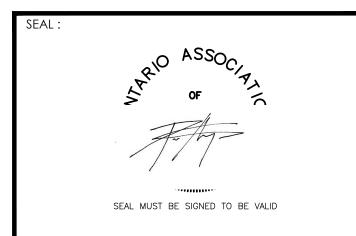


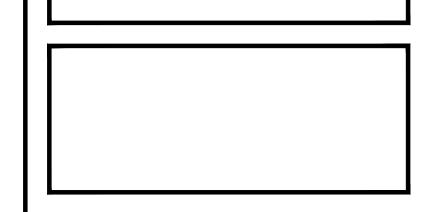
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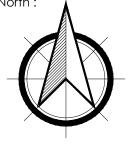








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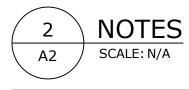
# GENERAL CONSTRUCTION NOTES

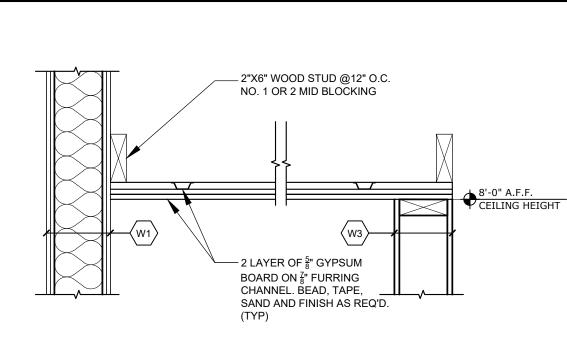
- ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT. TYP.
- 2. PROVIDE SLIDING CONNECTION TO U/S OF BEAMS, DECK OR JOIST FOR ROOF DEFLECTION AS
- 3. FIRE SEAL AT ROOF DECK, FLOOR AND ALL WALL PENETRATIONS TO SUIT RATING OF WALL. APPLICATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND TO THE SATISFACTION OF ALL AUTHORITIES HAVING JURISDICTION FOR ALL RATED WALLS.
- 4. CUT DRYWALL TO SUIT STRUCTURE, CAULK AND SEAL ROOF DECK, FLOOR AND ALL WALL PENETRATIONS, TYP.
- 5. ALL DIMENSIONS TO THE FACE OF GWB UNLESS NOTED OTHERWISE
- $6. \hspace{0.5cm} \hbox{FOR LOCATIONS OF UNDER FLOOR CONDUITS REFER TO ELECTRICAL DRAWINGS}. \\$
- 7. FOR LOCATIONS OF UNDER FLOOR PLUMBING REFER TO MECHANICAL DRAWINGS.
- 8. FOR DOOR SCHEDULE REFER TO DRAWING A7
- 9. PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 09250, TYP.)
- 10. PROVIDE 'BACKSTOP NT' AIR BARRIER AT ALL AREAS WHERE PLYWOOD SHEATHING IS INDICATED.

	LEGEND		
	NEW SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.		
D1	NEW 3'-2" X 7'-0" 45MIN FIRE RATED HOLLOW METAL DOOR AND FRAME PAINTED MIN. 2 COATS C/W HINGES, LEVER LOCKSET, CLOSER, DOOR STOP, ETC. ALL DETAILS TO SUIT OBC AND TENANTS REQUIREMENTS, TYP.		
D2	MANUALLY OPERATED 10'-4"W X 14'-0"H EXTERIOR ROLLING SERVICE DOOR 610 BY OVERHEAD DOOR C/W FLAT SLATS SECURITY BARS AND LOCKING HARDWARE. ALL COMPONENTS TO BE FINISHED WITH POWDERGUARD ZINC FINISH. OMIT BOTTOM WEATHERSEAL FOR DRAINAGE.		
GL1	FIXED TEMPERED SAFETY GLASS IN ANODIZED ALUMINUM FRAME OPTOS LOW PROFILE BY TEKNION OR APPROVED EQUAL. SIZE AS PER PLAN.		

	WALL TYPES
W1	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -3" Z-BAR AT 24" O.C. VERTICAL OR HORIZONTAL TO SUITE SIDING WITH 3" SEMI-RIGID INSULATION(MIN. R-15) -7/16" WALL SHEALTHING -TYVEK AIR BARRIER -R24 SPRAY FOAM CLOSED CELL 2LB -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. WITH 1/2" PLYWOOD SHEATHING ON BOTH SIDE
W2	1 HR FIRE RATED PARTITION TO U/S OF DECK: SIMILAR TO ULC W310  -5/8" GYPSUM BOARD 'TYPE C' TAPED AND SANDED, READY FOR TENANT FINISHES ON, -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF STRUCTURE ABOVE, FILLED WITH BATT INSULATION BETWEEN STUDS. PROVIDE SLIDING CONNECTION AT U/S OF ROOF DECK OR JOIST FOR DEFLECTION ON, -5/8" GYPSUM BOARD 'TYPE C' TAPED AND SANDED, READY FOR TENANT FINISHES ON, -FIRE SEAL TO FIRE STOP SYSTEM WH DESIGN No. AD/PV 60-01 AT ROOF DECK AND FLOOR TO SATISFACTION OF AUTHORITIES HAVING JURISDICTION -CUT DRYWALL TO SUIT ROOF DECK FLUTES -PROVIDE FIRE STOP AT ALL WALL PENETRATIONS
W3	1 HR FIRE RATED PARTITION TO 8'-0" AF.F.: SIMILAR TO ULC W310 -SAME CONSTRUCTED AS WALL W2
W4	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C1 LAYERS OF STEEL SLIDING

	CONSTRUCTION NOTES		
	1 NEW 2 PIECE WASHROOM. REFER TO MECHANICAL DRAWINGS, TYP.		
2	ALL GLAZING TO BE OF TYPE GL1 UNLESS NOTED OTHERWISE. REFER TO DOOR AND FRAME SCHEDULE, TYP.		
3	STRUCTURAL WOOD POST COLUMN. REFER TO ELEVATION DRAWING, SECTION AND STRUCTURAL DRAWINGS, TYP.		
4	SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.		
5	INSTALL NEW SUSPENDED 1HR FIRE RATED DRYWALL CEILING AT 8'-0" A.F.F. REFER TO 3 / A2 DETAIL DRAWINGS, TYP.		

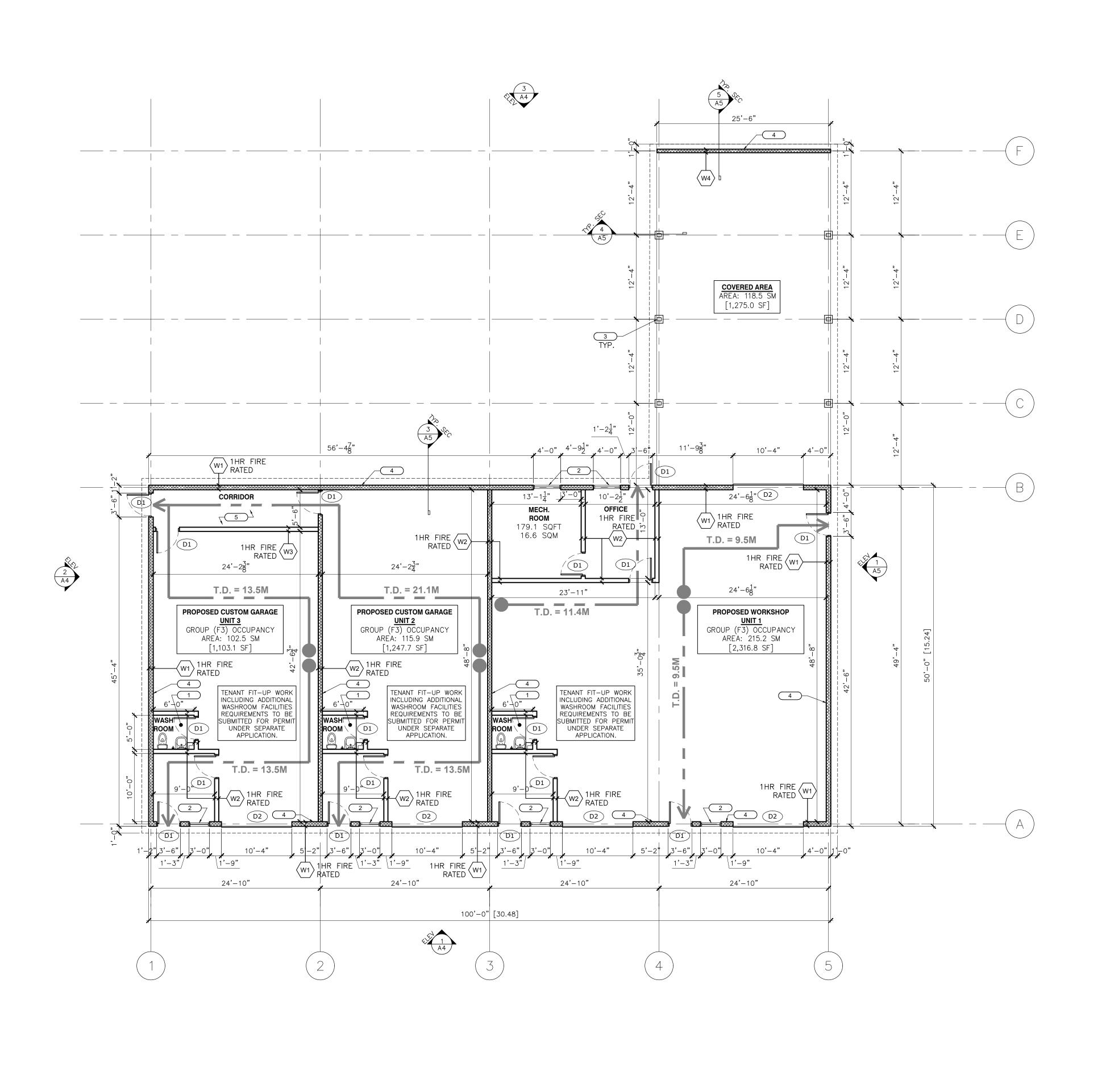


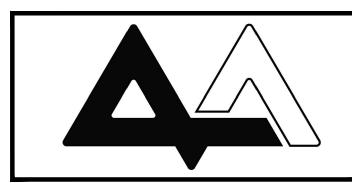


3 TYPICAL DRYWALL CEILING DETAIL
SCALE: NTS

CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

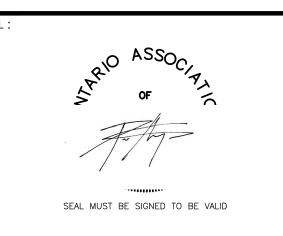


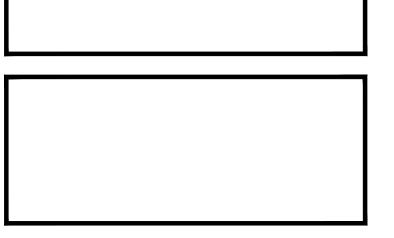


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Project:

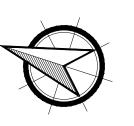
WORKSHOP / CUSTOM GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

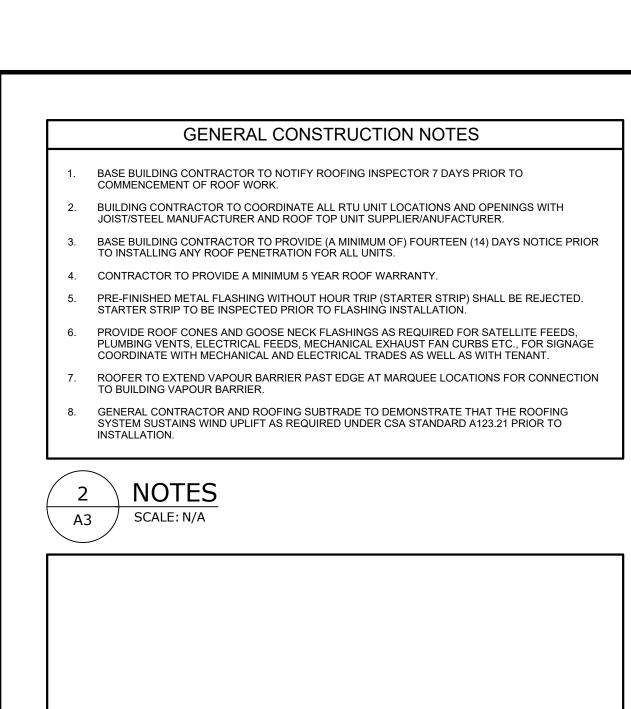
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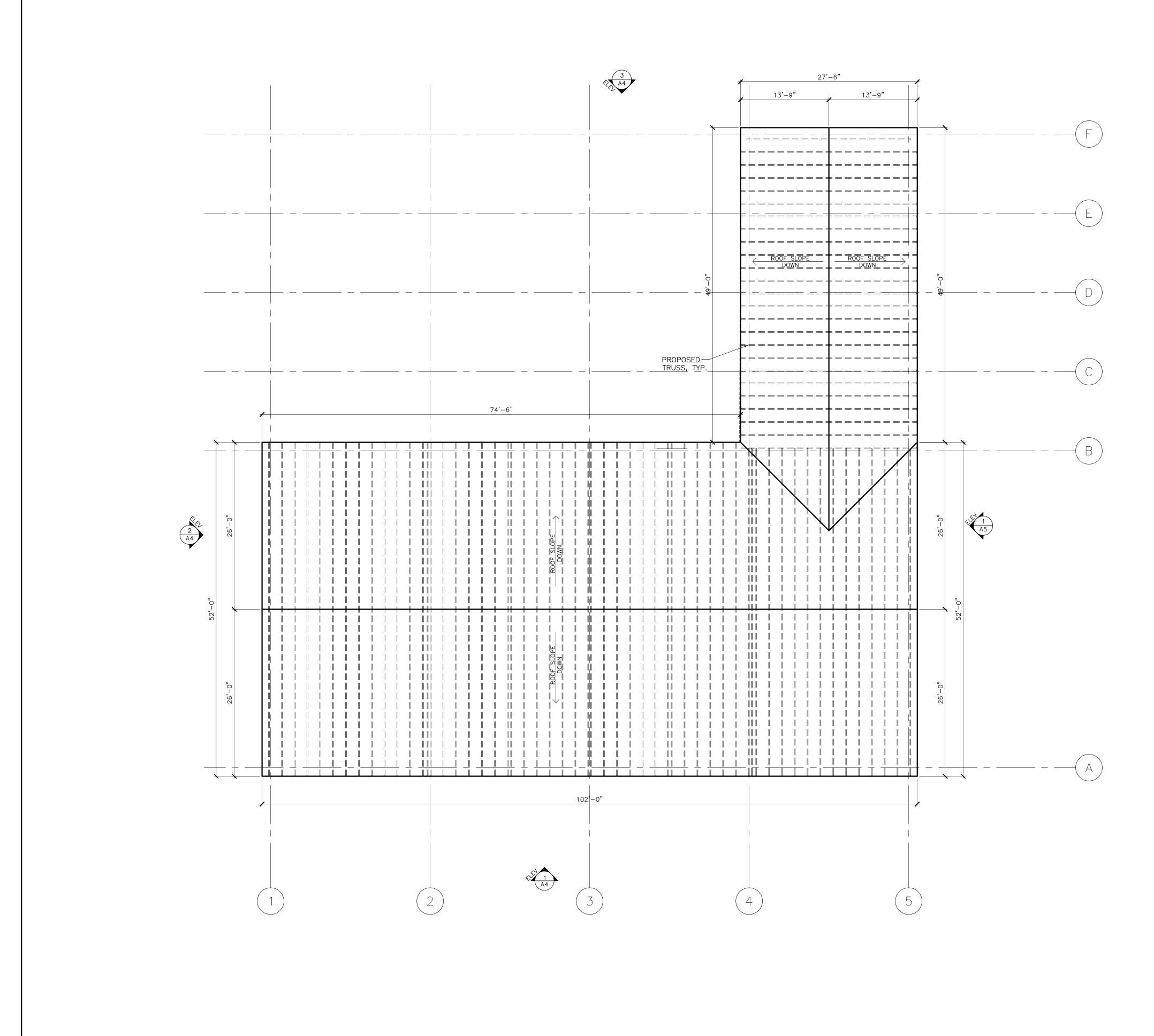
CONSTRUCTION PLAN

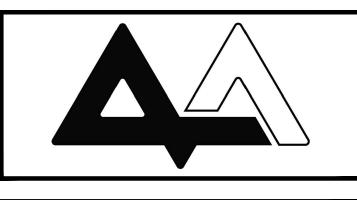
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A2



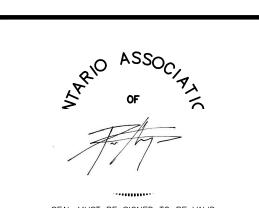




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	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021





Project:

WORKSHOP / CUSTOM GARAGE

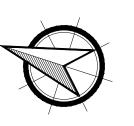
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name :

**ROOF PLAN** 

Drawing No:

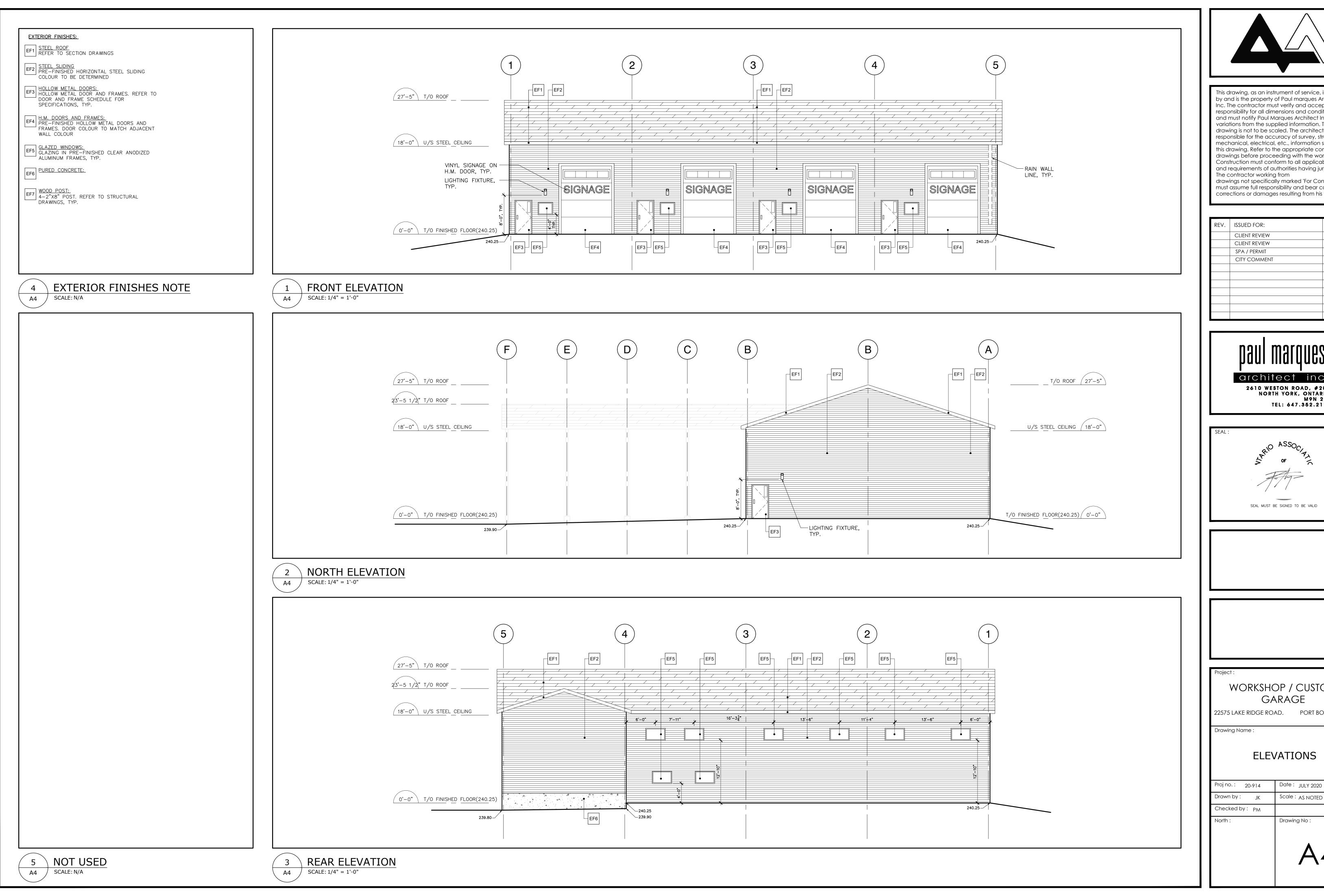
Proj no.: 20-914	Date: JULY 2020
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**ROOF PLAN** 

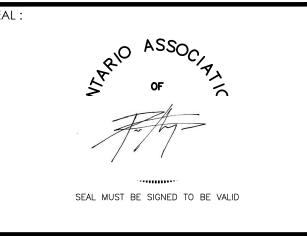
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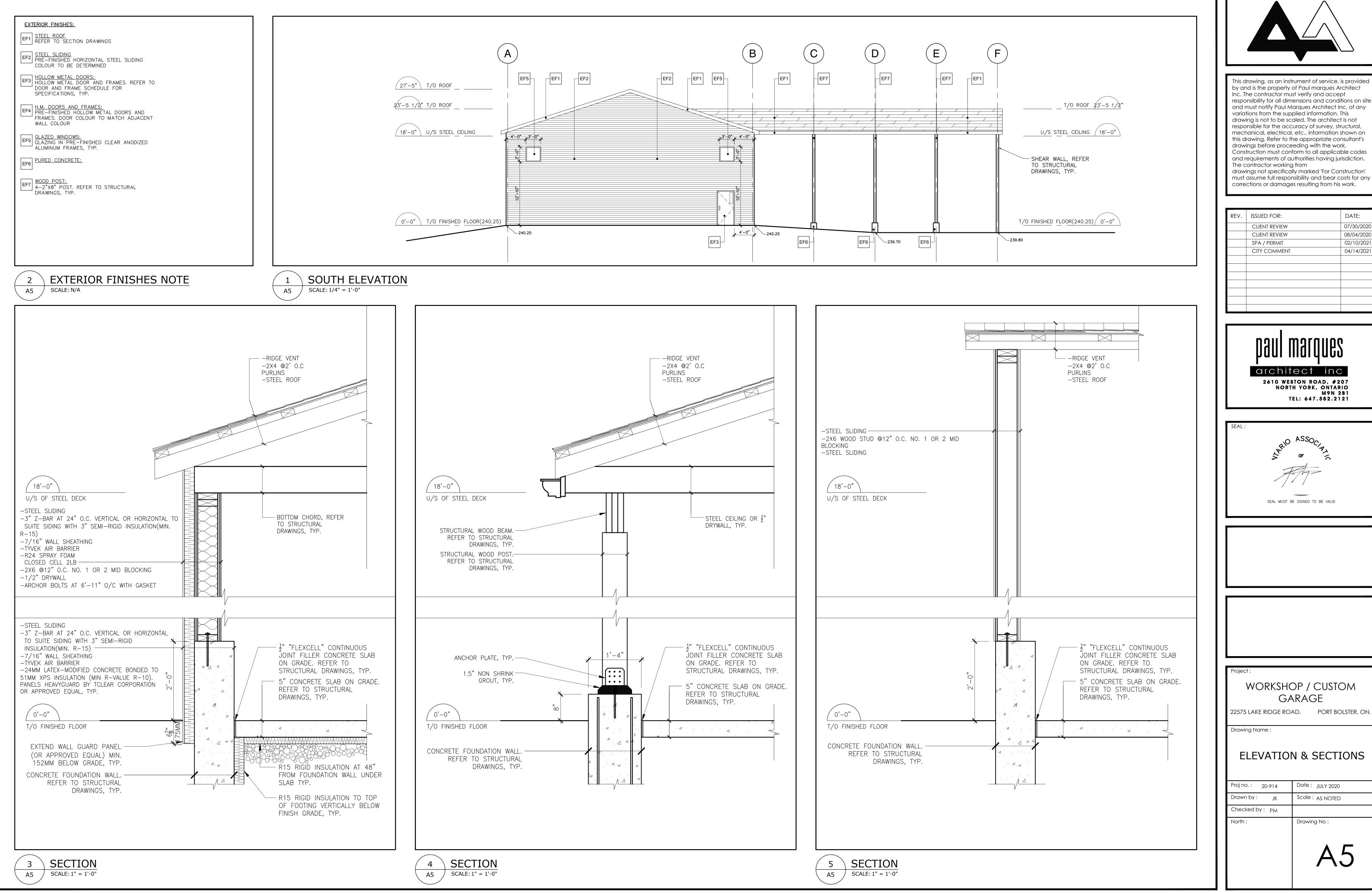
WORKSHOP / CUSTOM

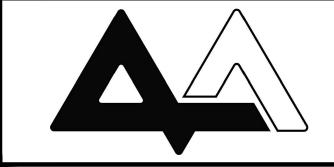
GARAGE 22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

Drawing Name:

**ELEVATIONS** 

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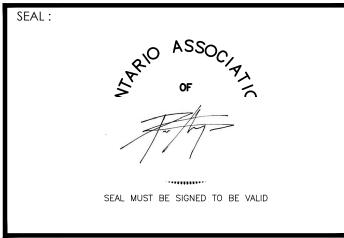


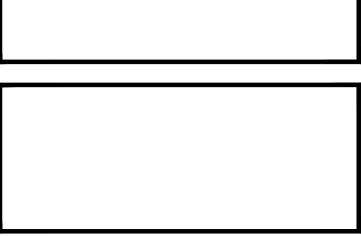


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WORKSHOP / CUSTOM

**ELEVATION & SECTIONS** 

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North:	Drawing No :
	A5

# **GENERAL NOTES**

# GENERAL REQUIREMENTS (01001) PART 1 - GENERAL 1.1 GENERAL VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND .2 THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT. PART 2 - PROJECT CO-ORDINATION 2.1 GENERAL CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS. PART 3 - CUTTING AND PATCHING 3.1 APPROVALS .1 SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENT EFFICIENCY, MAINTENANCE, OR SAFETY OF ANY OPERATIONAL ELEMENT, VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR WORK OF OWNER OR SEPARATE CONTRACTOR. 3.2 INSPECTION INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK. 3.3 EXECUTION .1 PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PERFORM WORK TO AVOID DAMAGE TO OTHER WORK. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES. 10 AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT. 11 REFINISH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT. PART 4 - SUBMITTALS 4.1 ADMINISTRATIVE SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK. WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE. REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE

VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.

THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.

SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLE REQUEST.

SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP

SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.

MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE

BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER.
ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.

AFTER AWARD OF CONTRACT; G.C., WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE

PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.

IDENTIFY DRAWINGS AS "PROJECT RECORD COPY". MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE

SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED

.1 PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK

2 CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS.

3 DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDAUGED THE WORK.

.1 PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH

PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR

.1 PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.

.2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL

PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR

MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND

REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE

PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE

SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PROVIDED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND

REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES

HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION

UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.

NOTIFY ARCHITECT IN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.

NOTIFY ARCHITECT IN WRITING, OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION. IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

CAUSED BY REJECTION.

SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS

STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AND SOILING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE. STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH

MANUFACTURER'S SEALS AND LABELS INTACT.

.3 STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

END OF EACH WORKING DAY.

3 CLEAN INTERIOR AREAS PRIOR TO START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS.

STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.

2 LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.

.1 PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.

RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES

.4 ON COMPLETION OF WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO

.2 PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.

PART 6 - CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS

ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE.

DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

4.2 SHOP DRAWINGS AND PRODUCT DATA

4.3 OPERATING MAINTENANCE MANUALS

4.4 RECORD DRAWINGS

PART 5 - REPORTS

6.1 INSTALLATION AND REMOVAL

WILL ENDANGER THE WORK.

.2 MAINTAIN IN CLEAN CONDITION

6.3 SANITARY FACILITIES

6.4 WATER SUPPLY

6.5 TEMPORARY POWER

6.6 TEMPORARY TELEPHONE

6.8 PROJECT CLEANLINESS

.2 REMOVE FROM SITE ALL SUCH WORK AFTER USE.

INSTALLATION, MAINTENANCE AND REMOVAL

.3 PAY FOR UTILITY CHARGES AT PREVAILING RATES.

INSTALLATION, MAINTENANCE AND REMOVAL.

6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE

PART 7 - MATERIAL AND EQUIPMENT

7.2 STORAGE, HANDLING AND PROTECTION

7.3 MANUFACTURER'S INSTRUCTIONS

REFER TO CC 39- LABOUR AND PRODUCTS

7.1 PRODUCT AND MATERIAL QUALITY

6.2 SITE STORAGE AND OVERLOADING PROPERTY

5.1 REPORTS

I.1 RELATED WORK

WHERE SPECIFIED OTHERWISE.

1.3 PRODUCT DELIVERY, STORAGE & HANDLING

KEEP MATERIALS DRY UNTIL USE.

STORE UNDER WATERPROOF COVER ON PALLETS OR PLANK PLATFORMS HELD OFF GROUND BY MEANS
OF PLANK OR TIMBER SKIDS.

.1 SUPPLEMENT CLAUSE 5.15.2 OF CAN3-A371-M84, OR LATEST RELEVANT CODES, WITH THE FOLLOWING .1 MAINTAIN TEMPERATURES OF MORTAR BETWEEN 5 ° CELSIUS AND 50° CELSIUS UNTIL USED.

PART 2 - PRODUCTS

2.1 MATERIALS

.1 MASONRY MATERIALS ARE SPECIFIED IN RELATED SECTIONS INDICATED IN 1.1.

3.3 EXPOSED MASONRY

UNIFORM DEPTH WHERE RAKED JOINTS ARE INDICATED

STRIKE FLUSH ALL JOINTS CONCEALED IN WALLS AND JOINTS IN WALLS TO RECEIVE PLASTER, TILE, INSULATION, OR OTHER APPLIED MATERIAL EXCEPT PAINT OR SIMILAR THIN FINISH COATING.

CUT OUT NEATLY FOR ELECTRICAL SWITCHES, OUTLET BOXES, AND OTHER RECESSED, OR BUILT-IN

BRACE DOOR JAMBS TO MAINTAIN PLUMB. FILL SPACES BETWEEN JAMBS AND MASONRY

.1 USE PARGING MORTAR SPECIFIED IN SECTION 04100 - MORTAR AND GROUT FOR MASONRY.
.2 APPLY PARGING IN UNIFORM COATING NOT LESS THAN 10MM THICK, WHERE INDICATED.

.1 USE 14 MPA CONCRETE TO SECTION 03300 - CAST IN PLACE CONCRETE, WHERE CONCRETE FILL IS .2 USE GROUT TO CSA A170-M1976, OR LATEST RELEVANT DOES, WHERE GROUT IS USED IN LIEU OF

3.8 PROVISION FOR MOVEMENT

.1 INSTALL LOOSE STEEL LINTELS. CENTRE OVER OPENING WIDTH.

3.11 EXISTING WORK .1 MAKE GOOD EXISTING WORK. USE MATERIAL TO MATCH EXISTING. 3.12 TESTING

MASONRY, MORTER & GROUT (04100)

WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS. DO NOT EMPLOY ANY UNFIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.

DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS FINAL.

.1 IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.

2 BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS

PART 8 - PROJECT CLOSEOUT 8.1 FINAL CLEANING

REFER TO CC 42 — CLEAN UP AND FINAL CLEANING OF THE WORK.
WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION
MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE
OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.

ARCHITECT IN WRITTEN FORM.

LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.

CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.

REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.

VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVRES AND SCREENS.
WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND .9 BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
.10 REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

GENERAL REQUIREMENTS (01001) CONT.

8.2 SYSTEM DEMONSTRATION

PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT ON POSSESSION DAY: INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR

.1 COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
.2 SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.

SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY PERIOD REQUIREMENTS.
SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE

CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE. 8.4 INSPECTION/TAKEOVER PROCEDURES

PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR

DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED.

.3 WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.

MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

# MASONRY PROCEDURES (04050)

PART 1 - GENERAL

MORTAR AND GROUT FOR MASONRY: - SECTION 4100 MASONRY ACCESSORIES: — SECTION 04150
MASONRY REINFORCING AND CONNECTORS: — SECTION 04160
BRICK UNIT MASONRY: — SECTION 04210

CONCRETE UNIT MASONRY: - SECTION 04220

1.2 REFERENCE STANDARDS

.1 DO MASONRY WORK IN ACCORDANCE WITH CAN3-A371-M84, OR LATEST RELEVANT CODES, EXCEPT

DELIVER MATERIALS TO JOB SITE IN DRY CONDITION.

1.4 COLD WEATHER REQUIREMENTS

1.5 HOT WEATHER REQUIREMENTS

.1 PROTECT FRESHLY LAID MASONRY FROM DRYING TO RAPIDLY, BY MEANS OF WATERPROOF, NON-STAINING COVERINGS.

KEEP MASONRY DRY USING WATERPROOF, NON-STAINING COVERINGS THAT EXTEND OVER WALLS AND DOWN SIDES SUFFICIENT TO PROTECT WALLS FROM WIND DRIVEN RAIN, UNTIL MASONRY WORKS IS COMPLETED AND PROTECTED BY FLASHINGS OR OTHER PERMANENT CONSTRUCTION. PROTECT MASONRY AND OTHER WORK FROM MARKING AND OTHER DAMAGE. PROTECT COMPLETED WORK FROM MORTAR DROPPINGS. USE NON-STAINING COVERINGS.

PROVIDE TEMPORARY BRACING OF MASONRY WORK DURING AND AFTER ERECTION UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE.

BUILD MASONRY PLUMB, LEYEL, AND TRUE TO LINE, WITH VERTICAL JOINTS IN ALIGNMENT. LAYOUT COURSING AND BOND TO ACHIEVE CORRECT COURSING HEIGHTS AND CONTINUITY OF BOND ABOVE AND BELOW OPENINGS, WITH MINIMUM OF CUTTING.

3.2 TOLERANCES .1 TOLERANCES IN NOTES TO CLAUSE 5.3 OF AN3-A371-M84 APPLY, OR LATEST RELEVANT CODES.

REMOVE CHIPPED, CRACKED, AND OTHERWISE DAMAGED UNITS IN EXPOSED MASONRY AND REPLACE WITH UNDAMAGED UNITS.

ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN TOOL WITH ROUND JOINTER TO PROVIDE SMOOTH, COMPRESSED, UNIFORMLY CONCAVE JOINTS WHERE CONCAVE JOINTS ARE INDICATED. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN RAKE JOINTS UNIFORMLY TO 6MM DEPTH AND COMPRESS WITH SQUARE TOOL TO PROVIDE SMOOTH COMPRESSED, RAKED JOINTS OF

3.5 CUTTING

OBJECTS.

MAKE CUTS STRAIGHT, CLEAN AND FREE FROM UNEVEN EDGES BUILDING—IN

1 BUILD IN ITEMS REQUIRED TO BE BUILT INTO MASONRY.

2 PREVENT DISPLACEMENT OF BUILT—IN ITEMS DURING CONSTRUCTION, CHECK PLUM, LOCATION AND ALICNMENT FREQUENTLY, AS WORK PROGRESSES.

.3 INSTALL BUILDING PAPER BELOW VOIDS TO BE FILLED WITH CONCRETE OR GROUT, KEEP PAPER 25 MM

LEAVE 3 MM SPACE BELOW SHELF ANGLES. LEAVE 6 MM SPACE BETWEEN TOP OF NON-LOAD BEARING WALLS AND PARTITIONS AND STRUCTURAL

3.9 LOOSE STEEL LINTELS

.1 PROVIDE CONTINUOUS CONTROL JOINTS AS INDICATED OR AS RECOMMENDED BY REFERENCE STANDARDS OR REQUIRED FOR GOOD CONSTRUCTION PRACTICE.

.1 INSPECTION AND TESTING WILL BE CARRIED OUT BY TESTING LABORATORY DESIGNATED BY CONSULTANT.
.2 COST OF TESTING WILL BE PAID BY OWNER.

PART 1 - GENERAL

1.1 RELATED WORK

.1 MASONRY PROCEDURES: - SECTION 04050 1.2 REFERENCE STANDARD

.1 DO MASONRY MORTAR AND GROUT WORK IN ACCORDANCE WITH CSA A179-M94 (R1999), OR LATEST EDITION, EXCEPT WHERE SPECIFIED ELSEWHERE.

PART 2 - PRODUCTS 2.1 MATERIALS

MORTAR AND GROUT: CSA A179-M1976, OR LATEST EDITION. USE AGGREGATE PASSING 1.18 MM SIEVE WHERE 6MM THICK JOINTS ARE INDICATED.

2.2 MATERIAL SOURCE .1 USE SAME BRANDS OF MATERIALS AND SOURCE OF AGGREGATE FOR ENTIRE PROJECT.

2.3 MORTAR TYPES MORTAR FOR EXTERIOR MASONRY ABOVE GRADE: CSA 179

LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS. NON-LOAD BEARING: TYPE N BASED ON PROPORTION SPECS. PARAPET WALLS, UNPROTECTED WALLS: TYPE N BASED ON PROPORTION WALLS .4 MORTAR FOR FOUNDATION WALLS, MANHOLES, SEWERS, PAVEMENTS, WALKS, AND OTHER EXTERIOR MASONRY AT OR BELOW GRADE: TYPE M BASED ON PROPORTION SPECIFICATIONS.

.5 MORTAR FOR INTERIOR MASONRY:

.1 LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.

NON-LOAD BEARING: TYPE O BASED ON PROPORTION SPECIFICATIONS.

FOLLOWING APPLIES REGARDLESS OF MORTAR TYPES AND USES SPECIFIED ABOVE.

MORTAR FOR CALCIUM SILICATE BRICK AND CONCRETE BRICK. TYPE O BASED ON PROPORTION

2.4 GROUT .1 GROUT: TO CSA A179-M94 (R1999) , TABLE 3, OR LATEST EDITION.

PART 3 - EXECUTION

MIX GROUT TO SEMI-FLUID CONSISTENCY
PRE-HYDRATE POINTING MORTAR BY MIXING INGREDIENTS DRY, THEN MIX AGAIN ADDING JUST ENOUGH WATER TO PRODUCE DAMP UNWORKABLE MIX THAT WILL RETAIN ITS' FORM WHEN PRESSED INTO A BALL. ALLOW STANDING FOR NOT LESS THAN ONE (1) HOUR AND NOT MORE THAN TWO (2) HOURS, AND THEN REMIXING WITH SUFFICIENT WATER TO PRODUCE MORTAR OF PROPER CONSISTENCY FOR

# MASONRY ACCESSORIES (04150)

PART 1 - GENERAL

1.1 RELATED WORK

MASONRY PROCEDURES: SECTION 04050
MASONRY REINFORCING AND CONNECTORS — SECTION 04160

PART 2 - PRODUCTS 2.1 MATERIALS

CONTROL JOINT FILLER: PURPOSE-MADE ELASTOMER TO ASTM D2240-81, OR LATEST EDITION, OF SIZE AND SHAPE INDICATED. NAILING INSERTS: 0.6 MM THICK PURPOSE-MADE GALVANIZED STEEL INSERTS FOR SETTING IN MORTAR MASONRY FLASHING: ONE OF THE FOLLOWING: USE SPECIFIED MATERIAL WHERE INDICATED ON

GRACE BITUTHENE 3000 (INCL. PRIMER P3100)
LAP ADHESIVE: RECOMMENDED BY MANUFACTURER OF FLASHING MATERIAL.
WEEP HOLE VENTS: PURPOSE MADE PVC OR GALVANIZED STEEL, DESIGNED TO DRAIN
CAVITIES TO EXTERIOR.

PART 3 - EXECUTION

3.4 MASONRY FLASHING

3.1 CONTROL JOINTS .1 INSTALL CONTINUOUS CONTROL JOINT FILLERS IN CONTROL JOINTS AT LOCATIONS INDICATED.

INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY OVER FLASHINGS, IN EXTERIOR WYTHES OF CAVITY WALL AND MASONRY VENEER WALL CONSTRUCTION, AT MAXIMUM HORIZONTAL SPACING OF INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY BELOW THE TOP RECESS BRICK TO VENT THE CAVITY IN EXTERIOR WYTHES OF CAVITY WALLS AT 32" O.C.

INSTALL NAILING INSERTS IN MORTAR JOINTS AT 400 MM O.C. EACH WAY FOR ATTACHMENT OF ALL STRAPPING, WHERE INDICATED OR REQUIRED.

INSTALL FLASHING IN MASONRY IN ACCORDANCE WITH CAN3 A371-M94, OR LATEST EDITION, AS FOLLOWS: INSTALL FLASHINGS UNDER EXTERIOR MASONRY BEARING ON FOUNDATIONS. WALLS SLABS, SHELF ANGLES AND STEEL ANGLES OVER OPENINGS. INSTALL FLASHINGS UNDER WEEP HOLE COURSES AND AS INDICATED. .2 IN DOUBLE WYTHE WALLS AND VENEERED WALLS, CARRY FLASHING FROM FRONT EDGE OF MASONRY, UNDER OUT WYTHE, THEN UP BACKING NOT LESS THAN 150 MM AND AS FOLLOWS:

FOR MASONRY BACKING EMBED FLASHING 2.5 MM IN JOINT. FOR CONCRETE BACKING INSERT FLASHING INTO REGLETS. FOR GYPSUM BOARD BACKING, BOND TO WALL USING MANUFACTURER'S RECOMMENDED

ADRESIVE.

4. LAP JOINTS 150 MM AND SEAL WITH ADHESIVE.
INSTALL BITUTHENE FLASHING ABOVE EACH COURSE OF RECESSED BRICK AS WELL TO ALLOW WATER

# MASONRY REINFORCING AND CONNECTORS (04160)

PART 1 - GENERAL

I.1 RELATED WORK MASONRY PROCEDURES: — SECTION 04050
MASONRY MORTAR AND GROUT — SECTION 04100 MASONRY ACCESSORIES: - SECTION 04150 BRICK UNIT MASONRY: - SECTION 04210

.5 CONCRETE UNIT MASONRY: - SECTION 04220 1.2 REFERENCE STANDARDS

.1 DO REINFORCING AND CONNECTING OF MASONRY IN ACCORDANCE WITH CAN3-A370-M94, AND CAN3-A371-M94, OR LATEST EDITION UNLESS SPECIFIED OTHERWISE.

PART 2 - PRODUCTS

ONNECTORS: TO CAN3-A370-M94, OR LATEST EDITION REINFORCEMENT: TO CANS—A371—M94, OR LATEST EDITION.

EXTERIOR MASONRY ANCHORS TO STEEL STUD TIES TO BAILEY ADJUSTABLE VENEER ANCHORS. NO SUBSTITUTES WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT. ANCHORS TO BE HOT DIPPED AND

PART 3 - EXECUTION

3.1 INSTALLATION

INSTALL MASONRY CONNECTORS AND REINFORCEMENT IN ACCORDANCE WITH CAN3-A370-M94 AND CAN3-A371-M94, OR LATEST EDITION UNLESS INDICATED OTHERWISE.

# MASONRY BRICK UNITS (04210)

PART 1 - GENERAL

I.1 RELATED WORK MASONRY PROCEDURES: SECTION 04050
MASONRY MORTAR AND GROUT: SECTION 04100
MASONRY ACCESSORIES: SECTION 04150
MASONRY REINFORCING AND CONNECTORS: SECTION 04160

PART 2 - PRODUCTS 2.1 BRICK SELECTION

.1 TO MATCH EXISTING UNLESS OTHERWISE SPECIFIED. PART 3 - EXECUTION 3.1 LAYING

.1 CLEAN IN ACCORDANCE WITH BRICK SUPPLIER'S RECOMMENDATIONS.

BOND: RUNNING.
COURSING HEIGHT: 200 MM FOR THREE BRICKS AND THREE JOINTS UNLESS OTHERWISE INDICATED.
JOINTING: CONCAVE UNLESS OTHERWISE INDICATED. MIXING AND BLENDING: MIX UNITS WITHIN EACH PALLET AND WITH OTHER PALLETS TO ENSURE UNIFORM BLEND OF COLOUR AND TEXTURE. 3.2 CLEANING MASONRY

MASONRY CONCRETE UNITS (04220)

PART 1 - GENERAL 1.1 RELATED WORK

3.2 CLEANING

1 MASONRY PROCEDURES: SECTION 04050
2 MASONRY MORTAR AND GROUT: SECTION 04100
3 MASONRY ACCESSORIES: SECTION 04150
4 MASONRY REINFORCING AND CONNECTORS: SECTION 04160

PART 2 - PRODUCTS

2.1 MATERIALS .1 STANDARD CONCRETE MASONRY UNITS: TO CAN3—A165 SERIES M94 (R2001) (CAN3—A165.1), OR LATEST EDITION. THICKNESS AS REQUIRED TO MATCH EXISTING OR TO MEET MORE STRINGENT STRUCTURAL REQUIREMENTS. .2 200 MM THICK, 75% SEMI-SOLD CONCRETE BLOCK FOR 2 HR ULC FIRE RATING.

PART 3 - EXECUTION 3.1 LAYING CONCRETE MASONRY UNITS

DONE: NONTING:

COURSING HEIGHT: 200 MM FOR ONE BLOCK AND ONE JOINT.

JOINTING: CONCAVE WHERE EXPOSED OR WHERE PAINT OR OTHER FINISHING COATING IS SPECIFIED.

1 ALLOW MORTAR DROPPINGS ON UNGLAZED CONCRETE MASONRY TO PARTIALLY DRY THEN REMOVE BY MEANS OF TROWEL, FOLLOWED BY RUBBING LIGHTLY WITH SMALL PIECE OF BLOCK AND FINALLY BY

# MISCELLANEOUS METALS (05500)

1.1 RELATED WORK MASONRY: SECTIONS 4120, 04220

PART 1 - GENERAL

ROUGH CARPENTRY: SECTION 06200
BOARD INSULATION: SECTION 07212

SIMULATED MASONRY (04700)

.4 EFS: SECTION 07245 .5 SEALANTS: SECTION 07900 .6 METAL STUD SYSTEM: SECTION 09111 1.2 REFERENCES:

> 1 GENERAL: STANDARDS LISTED BY REFERENCE, INCLUDING REVISION BY ISSUING AUTHORITY, FORM A PART OF THIS SPECIFICATION SECTION TO EXTENT INDICATED. STANDARDS LISTED ARE IDENTIFIED BY ISSUING AUTHORITY, .1 CSA A82.2-M78 AND CSA A82.4/A82.5/A82.6-M1978 (R1998) STANDARD TEST METHODS FOR SAMPLING AND TESTING BRICK AND STRUCTURAL CLAY TILE.

ASTM C177 — STANDARD TEST METHOD FOR STEADY—STATE HEAT FLUX MEASUREMENTS AND THERMAL TRANSMISSION PROPERTIES ASTM C207 - STANDARD SPECIFICATION FOR HYDRATED LIME FOR MASONRY PURPOSES. 5 ASTM C270-02 - STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY. 6 ASTM C482 - STANDARD TEST METHOD FOR BOND STRENGTH OF CERAMIC TILE TO

.7 ASTM C567 - STANDARD TEST METHOD FOR DENSITY STRUCTURAL LIGHTWEIGHT CEMENT.

CSA A362/A5/A8-93 - STANDARD SPECIFICATION FOR MASONRY AND PORTLAND CEMENT.

.2 NATIONAL FIRE PROTECTION ASSOCIATION NFPA (NFPA) NFPA 255 - STANDARD FOR SAFETY FOR SURFACE BURNING CHARACTERISTICS OF BUILDING .3 NATIONAL BUILDING CODE (NBC)
.1 WATER ABSORPTION

.2 KRAFT WATERPROOF BUILDING PAPER 1.3 PRODUCT DELIVERY STORAGE & HANDLING

PORTLAND CEMENT

BRICK & BLOCK - 905-457-3654.

DELIVERY MATERIALS TO JOB SITE IN DRY CONDITION. KEEP MATERIALS DRY UNTIL USE.
STORE UNDER WATERPROOF COVER ON PALLETS OR PLANK PLATFORMS HELD OFF GROUND BY MEANS OF PLANK OR TIMBER SKIDS.

PART 2 - PRODUCTS MANUFACTURED STONE VENEER - DETAILS AS PER DRAWINGS. AVAILABLE FROM COMMONWEALTH

PREMIXED: TYPE N PREMIXED MORTAR. MORTAR COLOR: IRON OXIDE COLOUR. 1 MINIMUM 2.5 LB. EXPANDED METAL LATH (DIAMOND MESH) GALVANIZED. BLACK METAL LATH (RUST INHIBITIVE) MAY BE USED FOR INTERIOR APPLICATIONS.

2 OR 18 GAUGE GALVANIZED WOVEN WIRE MESH.

FOR METAL BUILDINGS & OPEN STUD CONSTRUCTION, MINIMUM 3.4 LB. 3/8" RIB EXPANDED GALVANIZED METAL LATH. .4 FASTENERS: GALVANIZED NAILS, STAPLES, CONCRETE NAILS. 2 1-1/4" TYPE S-12 PANCAKE HEAD SUPER TITE SCREWS. (USED FOR INSTALLATION TO METAL

.5 MASONRY SEALERS: .1 SILANE BASED BREATHER TYPE SEALER (IF REQUIRED). DEPENDING ON LOCAL BUILDING CODE REQUIREMENTS, BARRIER SHOULD BE EQUAL TO NBC

STANDARD FOR KRAFT WATER-PROOF PAPER OR ASPHALT SATURATED RAG FELT OR ASTM D226, TYPE 1, NO. 15 FELT. NOTE: WEATHER-RESISTANT BARRIER MUST BE USED ON ALL EXTERIOR AND INTERIOR MORTAR APPLICABLE EXCEPT FOR THOSE OVER MASONRY, CONCRETE OR STUCCO. PART 3 - EXECUTION

3.1 SURFACE PREPARATION FOR MORTAR INSTALLATIONS RIGID BACKWALL, WALLBOARD, PLYWOOD, PANELING, WALL SHEATHING, CONCRETE BOARD OR POLYSTYRENE INSULATION BOARD INSTALLED OVER A RIGID BACKWALL a: COVER SHEATHING WITH A BREATHER TYPE WEATHER RESISTANT BARRIER, LAP
JOINTS 4" SHINGLE FASHION. THEN, IN ACCORDANCE WITH LOCAL BUILDING CODE, LAP AND INSTALL LATH OR MESH USING GALVANIZED NAILS OR STAPLES 6"ON CENTRE VERTICALLY, PENETRATING STUDS A MINIMUM OF 1". CONTINUOUSLY WRAF WEATHER-RESISTANT BARRIER AND METAL LATH A MINIMUM OF 16" AROUND ALL

.2 CLEAN & UNTREATED: CONCRETE, MASONRY AND STUCCO.

G: NO PREPARATION REQUIRED. EXAMINE NEWLY POURED CONCRETE CLOSELY TO ENSURE THAT ITS FINISHED SURFACE CONTAINS NO RELEASE AGENTS (FORM OIL).

IF IT DOES CONTAIN FORM OIL, ETCH SURFACE WITH MURIATIC ACID, RINSE HOROUGHLY AND/OR SCORE WITH A WIRE BRUSH. .3 DIRTY, PAINTED OR SEALED: CONCRETE, MASONRY OR STUCCO

a: SANDBLAST OR WATER BLAST TO ORIGINAL SURFACE (REMOVE SANDBLASTING DUST BY WASHING) OR SECURELY ATTACH LATH. .4 METAL BUILDINGS: a: LAP AND INSTALL 3/8" RIB EXPANDED METAL LATH TO METAL CLADDING SUPPORTS OF 20 GA. TO 12 GA. USING 1-1/4" TYPE S-12 PANCAKE HEAD SUPER TITE SCREWS. SCREWS MUST PENETRATE 3/8" BEYOND THE INSIDE FACE OF METAL SURFACE. SCREWS ARE TO BE INSTALLED ON CENTERS EQUAL TO 1 SCREW/SQ.

T. AND SHALL NOT EXCEED 6" ON CENTRE IN ONE DIRECTION. APPLY 1/2" TO 3/4"

a: LAP AND INSTALL PAPERBACK METAL LATH TO STUDS USING NAILS WHICH PENETRATE A MINIMUM OF 1" AT 4" ON CENTRE. APPLY  $\frac{1}{2}$ " TO  $\frac{1}{2}$ " SCRATCH COAT AND ALLOW TO DRY 48 HOURS.

3.2 WATERTABLE/SILL INSTALLION 1 PROVIDE A TRANSITION PIECE BETWEEN A STONE WAINSCOT AND OTHER EXTERIOR FINISHES AND FOR WATER RUNOFF. THEY CAN ALSO BE USED AS A WINDOWSILL. INSTALL USING GALVANIZED METAL SUPPORT BRACKETS OR SUPPORT STRIP FASTENED WITH GALVANIZED NAILS OR SCREWS PENETRATING STUDS 1" AT A MINIMUM OF 16" O.C. CAULK TOP OF WATERTABLE/SILL AS REQUIRED.

SCRATCH COAT AND ALLOW TO DRY 48 HOURS.

.1 KEEP THE FINISHED EDGE OF THE CULTURED STONE® PRODUCT A MINIMUM OF 4" ABOVE GRADE. USE OF 2"X 4"LEVELLING STRIP (STRAIGHT EDGE). THIS WILL PROVIDE A MEANS OF DRAINAGE, AVOID POSSIBLE STAINING OF THE STONE BY SOILS CONTAINING ALKALI OR OTHER MINERALS AND ACHIEVE THE LOOK OF NATURAL STONE THAT HAS BEEN INSTALLED ON A FOOTING OR FOUNDATION. 3.4 WORK AREA PREPARTION

.1 SPREAD CULTURED STONE® WALL VENEER OUT AT THE JOB SITE SO YOU HAVE A GOOD VARIETY OF SIZES, SHAPES AND COLOURS TO CHOOSE FROM. PLAN FOR SOME VARIETY AND CONTRAST IN THE OVERALL DESIGN. USE SMALL STONES NEXT TO LARGE STONES, HEAVY TEXTURED PIECES NEXT TO

DIFFERENT BOXES DURING APPLICATION WILL ALLOW YOU TO ACHIEVE A DESIRABLE BALANCE OF STONES ON YOUR FINISHED PROJECT.

3.6 STARTING POINT

3.3 GROUND LEVEL INSTALLATION

3.5 MORTAR a. IF STONE IS BEING APPLIED IN HOT OR DRY WEATHER, THE BACK OF EACH PIECE SHOULD BE MOISTENED WITH A FINE SPRAY OF WATER OR A WET BRUSH TO ADEQUATELY PREVENT EXCESSIVE ABSORPTION OF MOISTURE FROM THE MORTAR. IF BEING INSTALLED OVER CONCRETE, MASONRY OR SCRATCH COAT SUBSTRATE, THE SUBSTRATE SURFACE AREA SHOULD ALSO BE DAMPENED BEFORE APPLYING MORTAR.

b. APPLICATIONS SHOULD BE PROTECTED FROM TEMPERATURES BELOW FREEZING AS MORTAR WILL HAD SET JUB PROPERTY LINDER SICKLY OF THE PROPERTY.

b. APPLICATIONS SHOULD BE PROTECTED FROM TEMPERATURES BELOW FREEZING AS MORTAR WILL NOT SET UP PROPERLY UNDER SUCH CONDITIONS. DO NOT USE ANTIFREEZE COMPOUNDS TO LOWER THE FREEZING POINT OF MORTAR.

2 MIXING: PREMIXED TYPE N OR USED A PORTLAND OR BLENDED CEMENT, MIX TO A FIRM, MOIST CONSISTENCY: MORTAR THAT IS TOO DRY AND CRUMBLY WILL NOT PROVIDE PROPER BOND. MORTAR THAT IS TOO WET WILL BE WEAK AND MESSY.

3 MORTAR COLOUR: TINTING MORTAR COMPLEMENTS THE COLOUR OF THE STONE BEING INSTALLED. THIS WILL GREATLY ENHANCE THE APPEARANCE OF THE FINISHED INSTALLATION. REGULAR MORTARS CAN BE TINTED USING IRON OXIDE PIGMENTS AVAILABLE FROM YOUR DEALER.

4 APPLYING MORTAR TO PREPARED SURFACE AREA.

.4 APPLYING MORTAR TO PREPARED SURFACE AREA: a: USING A PLASTERER'S OR MASON'S TROWEL, APPLY MORTAR 1/2" TO 3/4" THICK TO PREPARED SURFACE AREA. DO NOT SPREAD MORE THAN A WORKABLE AREA (5 TO 10 SQ. FT.) SO THAT MORTAR WILL NOT "SET UP" BEFORE STONE IS APPLIED.

.1 IN ORDER TO OBTAIN THE MOST NATURAL LOOK, JOINTS SHOULD BE AS NARROW AS POSSIBLE, AVERAGE SHOULD NOT EXCEED 1/2" IN WIDTH

.1 PRODUCTS ARE APPLIED STARTING FROM THE BOTTOM (FIRST COURSE) AND WORKING UP.

SIMULATED MASONRY (04700) CONT.

.1 PRESS EACH STONE INTO THE MORTAR BED FIRMLY ENOUGH TO SQUEEZE SOME MORTAR OUT AROUND THE STONE'S EDGES. APPLY PRESSURE TO THE STONE TO ENSURE A GOOD BOND. ENSURE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND BACK SURFACE OF THE STONE. MORTAR MAY ALSO BE APPLIED TO THE ENTIRE BACK OF THE STONE.

NOTE: CARE MUST BE TAKEN TO AVOID SMEARING MORTAR ON SURFACE OF STONE. ACCIDENTAL

SMEARS SHOULD BE REMOVED USING A WHISKBROOM ONLY AFTER MORTAR HAS BECOME CRUMBLY. INSTALL CORNER PIECES FIRST. NOTICE THAT THE CORNER PIECES HAVE A LONG AND A SHORT LEG.

ALTERNATE THESE IN OPPOSITE DIRECTIONS.
AFTER THE CORNER PIECES ARE IN PLACE, FLAT PIECES ARE APPLIED WORKING TOWARD THE CENTRE OF THE WALL.

.4 PLACE THE INDIVIDUAL STONES CLOSE TOGETHER CREATING UNIFORM JOINTS BETWEEN THEM. CUT

PLACE THE INDIVIDUAL STONES CLOSE TOGETHER CREATING UNIFORM JOINTS BETWEEN THEM. CUT AND TRIM AS REQUIRED TO ACHIEVE CONSISTENT WIDTH IN THE MORTAR JOINTS. THEN TRIM AND FIT SMALL PIECES INTO ANY REMAINING VOIDS.

STONES CAN BE CUT AND SHAPED FOR FIT. USE WIDE MOUTH NIPPERS OR A HATCHET. SOME BROKEN STONES MAY BE FOUND IN THE BOX. FOR BEST-FINISHED APPEARANCE, COAT CUT OR BROKEN EDGES WITH MORTAR. IF POSSIBLE, POSITION CUT EDGES UP WHEN THEY ARE ABOVE EYE

LEVEL, DOWN WHEN BELOW EYE LEVEL.

.1 IF ADDITIONAL MORTAR IS REQUIRED, USE A GROUT BAG TO FILL IN JOINTS. CARE MUST BE TAKEN TO AVOID SMEARING MORTAR ON THE SURFACE OF STONE. .2 WHEN THE MORTAR JOINTS HAVE BECOME FIRM OR THUMBPRINT DRY (SETTING TIME WILL VARY

DEPENDING ON WALL SURFACE AND CLIMATIC CONDITIONS), THEY SHOULD BE POINTED UP WITH A WOOD STICK OR METAL JOINTING TOOL. RAKE OUT EXCESS MORTAR, COMPACT AND SEAL EDGES AROUND STONES. CAREFUL ATTENTION TO PROPER AND EVEN JOINTING.
AT THE END OF THE WORKDAY, OR WHEN MORTAR IS SUFFICIENTLY SET UP, THE FINISHED JOB SHOULD BE BROOMED OR BRUSHED TO REMOVE LOOSE MORTAR AND TO CLEAN THE FACE OF THE STONE. NEVER USE A WET BRUSH AS THIS WILL CAUSE STAINING THAT WILL BE DIFFICULT OR IMPOSSIBLE TO REMOVE. DO NOT USE ACID OR ACID BASE PRODUCTS.

PART 1 - GENERAL

.1 REFERENCE STANDARDS .1 DO WELDING WORK IN ACCORDANCE WITH CSA W59-1989 (R2001) OR LATEST EDITION, UNLESS SPECIFIED OTHERWISE.

1.2 SHOP DRAWINGS SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH SUBMITTALS INDICATE MATERIALS, CORE THICKNESSES, FINISHES, CONNECTIONS, JOINTS, METHOD OF ANCHORAGE, NUMBER OF ANCHORS, SUPPORTS, REINFORCEMENT, DETAILS AND ACCESSORIES.

CAREFULLY EXAMINE ALL DRAWINGS INCLUDE FOR ALL METAL ITEMS OF MISCELLANEOUS NATURE REQUIRED FOR FULL AND COMPLETE INSTALLATION OF ALL ITEMS SUPPLIED TO THE WORK.

PART 2 - PRODUCTS 2.1 MATERIALS STEEL SECTIONS AND PLATES: TO CAN/CSA-G40.20/G40.21, OR LATEST EDITION, GRADE 300W. STEEL PIPE: TO ASTM A53/A 53M-02, OR LATEST EDITION, STANDARD WEIGHT, GALVANIZED FINISH.

WELDING MATERIALS: TO CSA W59-1989 (R2001), OR LATEST EDITION. BOLTS AND ANCHOR BOLTS: TO ASTM A307-84A, OR LATEST EDITION. .5 GALVANIZING: HOT DIPPED GALVANIZING WITH ZINC COATING 600 G/M2 TO CSA G164-M1992, OR LATEST EDITION. .6 SHOP PRIMER: TO CAN/CSA 1.40M, OR LATEST EDITION.
.7 ZINC PRIMER: ZINC RICH, READY MIX TO CGSB.
.8 GROUT: NON-SHRINK, NON-METALLIC, FLOWABLE, 24H, MPA 15, PULLOUT STRENGTH 7.9 MPA.

2.2 FABRICATION FABRICATE WORK SQUARE, TRUE, STRAIGHT AND ACCURATE TO REQUIRED SIZE, WITH JOINTS CLOSELY

TABRICATE WORK SQUARE, INCE, STRAIGHT AND ACCURATE TO REQUIRED SIZE, WITH JOINTS CLOSELY
FITTED AND PROPERLY SECURED.

USE SELF-TAPPING SHAKE PROOF FLAT-HEADED SCREWS ON ITEMS REQUIRING ASSEMBLY SCREWS OR
AS INDICATED. USE SCREWS FOR INTERIOR METAL WORK. USE WELDED CONNECTIONS EXTERIOR
METAL WORK UNLESS OTHERWISE APPROVED BY CONSULTANT.
WHERE POSSIBLE, FIT AND SHOP ASSEMBLE WORK, READY FOR ERECTION. ENSURE EXPOSED WELDS ARE CONTINUOUS FOR LENGTH OF EACH JOINT. FILE OR GRIND EXPOSED WELDS SMOOTH AND FLUSH. SEAL EXTERIOR STEEL FABRICATIONS TO PROVIDE CORROSION PROTECTION IN ACCORDANCE WITH CAN3-S16-O1, OR LATEST EDITION. ENSURE ALL EXPOSED EDGES AND CORNERS OF METAL FABRICATIONS. INCLUDING BUT NOT LIMITED TO

METAL CORNER GUARDS, ARE SMOOTH AND FREE FROM BURRS OR NICKS. THIS IS TO PREVENT ANY POSSIBLE OCCURRENCE OF INJURY FROM HANDLING OR CONTACT WITH SUCH FABRICATION. 2.3 SHOP PAINTING APPLY ONE SHOP COAT OF PRIMER TO METAL ITEMS, WITH EXCEPTION OF GALVANIZED OR CONCRETE

FLANGE OR POST BASED IS TO BE CONCEALED

ENCASED ITEMS.

USE PRIMERS UNADULTERATED, AS PREPARED BY MANUFACTURER. PAINT ON DRY SURFACES, FREE FROM RUST, SCALE, AND GREASE. DO NOT PAINT WHEN TEMPERATURE IS LOWER THAN 7 DEGREES .3 CLEAN SURFACES TO BE FIELD WELDED; DO NOT PAINT

PART 3 - EXECUTION 3.1 ERECTION ERECT METALWORK SQUARE, PLUMB, STRAIGHT, AND TRUE, ACCURATELY FITTED, WITH TIGHT JOINTS AND INTERSECTIONS.
PROVIDE SUITABLE MEANS OF ANCHORAGE ACCEPTABLE TO CONSULTANT SUCH AS DOWELS, ANCHOR CLIPS, BAR ANCHORS, EXPANSION BOLTS AND SHIELDS, AND TOGGLES.
MAKE FIELD CONNECTIONS WITH HIGH TENSILE BOLTS TO CAN3—S16—O1 OR LATEST EDITION, OR WELD.
HAND ITEMS OVER FOR CASTING INTO CONCRETE OR BUILDING INTO MASONRY TO APPROPRIATE
TRADES TOGETHER WITH SETTING TEMPLATES.

TOUCH-UP RIVETS, FIELD WELDS, BOLTS AND BURNT OR SCRATCHED SURFACES AFTER COMPLETION OF ERECTION WITH PRIMER.

.6 TOUCH-UP GALVANIZED SURFACES WITH ZINC RICH PRIMER WHERE BURNED BY FIELD WELDING. 3.2 ANGLE LINTELS

 SUPPLY MASON WITH LOOSE ANGLE LINTELS OF SIZES INDICATED, FOR OPENINGS IN MASONRY WALLS UNLESS OTHERWISE NOTED. PRIME PAINT.
 PROVIDE 150 MM MINIMUM BEARING AT ENDS. WELD OR BOLT TOGETHER WHERE INSTALLED BACK—TO—BACK. 3.3 PIPE RAILINGS

.1 PIPE RAILINGS: 40 MM NOMINAL OUTSIDE DIAMETER STEEL TO STAIRS. RAILINGS TO BE SUPPLIED WITH ALL NECESSARY SUPPORTS AND BRACKETS.
.2 EXTERIOR PIPE RAILINGS AT TRUCK DOCK AND SIDE RETAINING WALLS: GALVANIZED, DIAMETER 40 MM UNLESS OTHERWISE NOTED. SHOPPING CART CORRALS: 1-3/4"BRUSHED DIAMETER STAINLESS STEEL PIPE; BRUSHED STAINLESS STEEL FINISH (INCL. FLANGE), 3'2-1/2"IN HEIGHT, VERTICALS SPACED APPROX. 4'0"O.C., WITH A SECONDARY HORIZONTAL RAIL 1'- 8-3/4"A.F.F. TO CENTER; ALL POSTS TO BE CORED INTO FLOOR;

MANUFACTURERS FOR MODULAR RAILING SYSTEM BY GALLERY BRASSWORKS (905) 795-0808 SHOP DRAWINGS TO BE PROVIDED WITH PROFESSIONAL ENGINEERS' SEAL FOR ALL ITEMS NOTED ABOVE.

3.6 ROOF ACCESS HATCH

3.4 STEEL STAIRS .1 SUPPLY AND INSTALL STEEL STAIRS, LANDING AND HANDRAILS AS SHOWN ON THE DRAWINGS. A STAIRS TO HAVE 250 MM (10 INCH.) STEEL CHANNEL STRINGERS, 50 MM (1-1/2 INCH) DEEP MASTIC FILLED 12-GAUGE PAN TREADS; 14-GAUGE STEEL RISERS.

B TREAD PANS TO BE FILLED WITH CONCRETE WHERE FINISHED WITH RESILIENT TILES, VINYL

SHOP DRAWINGS TO BE PROVIDED WITH PROFESSIONAL ENGINEER'S SEAL FOR ALL ITEMS NOTED

.3 PAINT STEEL STAIRS AND HANDRAILS, BENJAMIN MOORE # 2120-10 JET BLACK. 3.5 ACCESS LADDERS FABRICATE LADDER FROM 2-1/2"X 3/8"STEEL FLAT BAR WITH 3/4"DIAMETER RODS WELDED IN

POSITION. RUNGS AT 12°C/C. LADDER BRACKETS 3"X 8"ANGLE STRAPS, BOLTED TO WALL WITH 3/" DIAMETER GALVANIZED BOLTS AT 36"O.C. GALVANIZE FINISH FOR EXTERIOR, PRIME PAINT FOR INTERIOR; FINISH PAINT BENJAMIN MOORE GALVANIZE EXTERIOR LADDERS AFTER FABRICATION INSTALL SECURITY HOOPS WHERE REQUIRED DUE TO HEIGHT IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS. FLAT METAL 75 MM WIDE, 6 MM THICK WELDED TO VERTICALS.

START HEIGHT AT NO MORE THAN 2.2M (7 FT.) FROM FLOOR OR BOTTOM OF LADDER AND EXTEND 3

SUPPLY AND INSTALL PREFABRICATED ROOF ACCESS HATCH AS INDICATED ON DRAWINGS. PAINT FINISH GREY #9- BENJAMIN MOORE #1473. SUPPLY AND INSTALL 200 MM DIAMETER STEEL PIPE, CONCRETE FILLED BOLLARDS AT GRADE LEVEL RECEIVING DOORS, COMPACTOR SLABS, AND PROTECTION AROUND ANY EQUIPMENT OR BUILDING COMPONENT SUBJECT TO DAMAGE BY TRUCKS. PROVIDE AND INSTALL SIMILAR AT EXTERIOR

STOREFRONT AS INDICATED ON DRAWINGS. 3.8 FRAMES AND COVERS SUPPLY STEEL ANGLE OR CHANNEL FRAMES REQUIRED FOR ANY OPENINGS, VANITIES, AND SHELVES NOT SPECIFIED ELSEWHERE AND FOR EXTENSIONS AND FRAMING FOR OVERHEAD DOORS.
PROVIDE 50 X 50 X 6MM STEEL ANGLE FRAMES WITH 10 X 10 MM STOP WELDED TO THE TOP OF THE ANGLE FOR ALL FLOOR OPENINGS SUCH AS CATCH BASINS, SUMP PUMPS, ETC. COVERS SHALL BE 6

MM CHECKERED PLATE COMPLETE WITH HANDLES, FOR BACKSTORE AREAS AND TILE-COVERED COVERS 3.9 EXTERIOR RECEIVING DOOR FRAMES

# EXTERIOR INSULATION AND FINISH

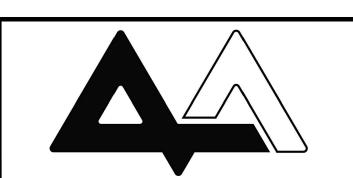
.1 SUPPLY AND INSTALL EXTERIOR RECEIVING DOOR FRAMES

.1 RELATED SECTIONS SECTION 07900 - SEALANTS .2 REFERENCED DOCUMENTS

SYSTEM (EIFS) (07240)

PART 1 — GENERAL

DS107 INSTALLATION DETAILS DSC131 DRYVIT SPECIFICATION FOR EPS DS204 OUTSULATION APPLICATION INSTRUCTIONS DS152 CLEANING AND RECOATING DS153 EXPANSION JOINTS AND SEALANTS DS410 COLOR PRIME DS435 BACKSTOP TM PRODUCT SHEET. 2 NATIONAL BUILDING CODE OF CANADA .1 PART 3 SECTIONS: 3.1.4., 3.1.5., & 3.2.3. .2 PART 9 SECTION 9.27 .3 UNDERWRITERS LABORATORIES OF CANADA .1 CAN/ULC-S134 .4 AMERICAN SOCIETY OF TESTING AND MATERIALS .1 ASTM C79, C1117, 84 AND C150



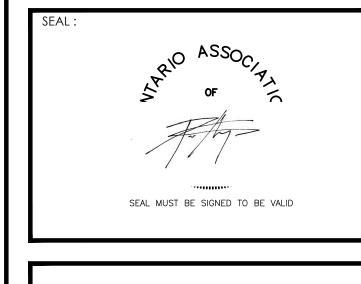
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	CLIENT REVIEW	07/30/2020
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GARAGE 22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

GENERAL NOTES

WORKSHOP / CUSTOM

Project:

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# **GENERAL NOTES** EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT PART 1 - GENERAL 1.3 SYSTEM DESCRIPTION: DUAL BARRIER, DRAINING SYSTEM 1. THE DRYVIT OUTSULATION SYSTEM IS CONSIDERED A COMBUSTIBLE WALL CLADDING THAT MAY BE USED IN A NON-COMBUSTIBLE CONSTRUCTION AS IT IS DEFINED IN THE NATIONAL BUILDING CODE OF CANADA, PART 3, SECTION 3.1.5. THE OUTSULATION SYSTEM MAY ALSO BE USED IN COMBUSTIBLE CONSTRUCTION AS PER SECTION 3.1.4. 2. THE DRYVIT OUTSULATION SYSTEM HAS BEEN EVALUATED BY CCMC AND IS LISTED TO PERFORM AT A LEVEL EQUAL TO OR GREATER THAN THAT REQUIRED BY PART 9, SECTION 9.27. FOR NOTE: A SECONDARY MOISTURE BARRIER IS PART OF ALL CCMC EIFS EVALUATIONS AND IS REQUIRED (WHERE A CCMC LISTING OF SYSTEMS AND MATERIALS IS CODE ENFORCED). ON THIS PROJECT 1.4 DESIGN REQUIREMENTS 1. SUBSTRATE/SUBSTRATE SYSTEMS SHALL BE ENGINEERED BY OTHERS THE MAXIMUM DEFLECTION UNDER FULL FLEXURAL DESIGN LOADS OF THE SUBSTRATE SHALL NOT EXCEED 1/240 TIMES THE SPAN. THE SUBSTRATE SHALL BE FLAT WITHIN $\pm 1/8$ " IN A 4' RADIUS. .3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBSTRATE SURFACE IS OF A TYPE AND CONDITION ACCEPTABLE FOR THE PROPOSED SUBSTRATE IS ACCEPTABLE FOR APPLICATION. APPLICATION OF OUTSULATION SHALL BE TO THE FOLLOWING RECOMMENDED SUBSTRATE: 1. PROPIETARY TREATED CORE, FIBRE—FACED GYPSUM SHEATHING MEETING ASTM C1177. 2. POURED CONCRETE, CLEAN OF ALL DUST, FORM AGENTS, AND OTHER DELETERIOUS 3. UNIT MASONRY AND VENEER (UNGLAZED) MEETING THE INSPECTION REQUIREMENTS OF A DRYVIT REPRESENTATIVE. 4. EXTERIOR CEMENT BD. APPROVED BY DRYVIT. 2. AIR/MOISTURE BARRIERS AIR MOISTURE BARRIER OR "SECONDARY BARRIER" IS A DESIGN REQUIREMENT. LINE OF AIR TIGHTNESS IS LOCATED WITHIN THE WALL ASSEMBLY. THIS BARRIER ALSO FUNCTIONS AS THE AIR BARRIER SYSTEM. DRYVIT SECONDARY BARRIERS MEET NBCC REQUIREMENT FOR AIR BARRIERS HAVING AN AIR LEAKAGE RATE OF <0.05 L/s.m2 @ 75 Pa. BARRIER MATERIALS FOR DRYVIT SYSTEMS. .1 BACKSTOP, A WATER RESISTANT AIR BAR- RIER MEMBRANE HAVING A WATER VAPOUR PERMEANCE OF >1000 Ng/Pa.S.M.2, FIELD MIXED 1:1 WITH CEMENT. DRYVIT GRID TAPE, DRYVIT FLASHING TAPE AND FLASHING TAPE PRIMER SHALL BE USED IN CONJUNCTION WITH THE AIR BARRIER MATERIALS LISTED ABOVE FOR MAINTAINING BARRIER CONTINUITY THROUG- OUT THE WALL SYSTEM WHEN REQUIRED. .3WHERE POSSIBLE, FIT AND SHOP ASSEMBLE WORK, READY FOR ERECTION. BACKSTOP-FOR DENSGLASS GOLD SHEATHING BACKSTOP NT-FOR PLYWOOD SHEATHING INSTALLATION OF AIR BARRIERS TO PROCEED IMMEDIATELY AFTER INSTALLATION OF SHEATHING. .4 SEAL AROUND PROJECTING MASONRY TIES WHERE APPLICABLE. 1. THE INSULATION BOARD EDGE SHALL BE COMPLETELY ENCAPSULATED WITH DRYVIT BASE COAT MATERIAL AND MESH AT ALL SYSTEM TERMINATIONS 2. THE LENGTH AND SLOPE OF INCLINED SURFACES SHALL FOLLOW THE GUIDELINES LISTED BELOW: 1. MINIMUM SLOPE: 6"(152mm) OF RISE IN 12" (305mm) OF HORIZONTAL PROJECTION. 2. MAXIMUM LENGTH OF SLOPE: 10"(254mm) 3. OUTSULATION SHALL NOT BE USED IN AREAS DEFINED AS ROOFS BY BUILDING CODES GROUND FLOORS AND HIGH TRAFFIC AREAS SHALL BE REINFORCED WITH A DOUBLE LAYER OF RE-INFORCING MESH CONSISTING OF PANZER MESH AS A MINIMUM FIRST LAYER AND STANDARD R STANDARD PLUS MESH AS THE SECOND LAYER. LOCATION OF HIGH IMPACT AREAS SHALL BE CORNERS SHALL BE REINFORCED BY DOUBLE WRAPPING THE REINFORCING MESH OR BY INSTALLING CORNER MESH. REFER TO DRYVIT DETAIL DDS107 CORNERS OF OPENINGS SHALL BE REINFORCED USINNG A 9.5" (241mm) WIDE STRIP OF DETAIL MESH LAID AT 45° ANGLE. REFER TO INSTALL- ATION DRYVIT DETAIL DS107. 6. THE INSULATION BOARDS AT CORNERS OF OPEN- INGS SHALL BE CUT L-SHAPED SO THAT THEIR EDGES DO NOT ALIGN WITH THE CORNER. TERMINATION OF THE SYSTEM AT TOPS OF WALLS SHALL BE COVERED WITH A CONTINUOUS METAL CAPPING. REFER TO INSTALLATION DRYVIT DETAIL DS107 DRYVIT MATERIALS SHALL BE COMPLETELY DRY PRIOR TO THE INSTALLATION OF SEALANT (24-48 HOURS MINIMUM DRYING TIME). SEALANT PRIMERS ARE RECOMMENDED FOR SURFACE TREATMENT ON ALL SEALANT APPLICATIONS. SEALANTS APPROVED FOR USE WITH THE DRYVIT OUTSULATION SYSTEM ARE LISTED IN DS153, EXPANSION JOINTS AND SEALANTS. 3. SEALANT SYSTEM: INCLUDES THE SEALANT, CLOSED CELL BACKER ROD OR EQUIVALENT, BOND BREAKER TAPE, PRIMER AND ACCESSORIES WHICH ARE MANUFACTURED BY OTHERS. 5. EXPANSION JOINTS 1. PROVIDE A MINIMUM OF 3/4" (19mm) WIDTH FOR ALL EXPANSION JOINTS. 2. CONTINUOUS EXPANSION JOINTS IN OUTSULATION SHALL BE INSTALLED AT, BUT NOT LIMITED TO WHERE EXPANSION JOINTS OCCUR IN THE SUBSTRATE SYSTEM. WHERE BUILDING EXPANSION JOINTS EXIST. WHEN OUTSULATION ABUTS DISSIMILAR MATERIALS. AT FLOOR LINES IN WOOD FRAME CONSTRUCTION OOR LINES WHERE A NESTED STUD ASSEMBLY IS USED WHERE SUBSTRATE SYSTEM MATERIALS CHANGE AT CHANGES IN ROOF LINES, BUILDING SHAPE, OR STRUCTURAL SYSTEM. 1.5 SUBMITTALS 1. SUBMIT COPIES OF MANUFACTURER'S SPECIFICA- TIONS AND INSTALLATION INSTRUCTIONS. 2. SUBMIT COPY OF MANUFACTURER'S CURRENT ISO 9001 REGISTRATION AND COMPLIANCE. 3. TRAINED APPLICATOR SHALL SUBMIT TWO 8"x8" (204x204mm) SAMPLE FOR EACH FINISH, 4. IN FABRICATION, THE TRAINED APPLICATOR SHALL SUBMIT COMPLETE SHOP DRAWINGS INCLUDING ERECTION SCHEDULES AND DETAILS. 1.6 QUALITY ASSURANCI SYSTEM MANUFACTURER SHALL BE DRYVIT SYSTEMS CANADA. BE MEMBER IN GOOD STANDING WITH EIFS COUNCIL OF CANADA AND EIMA. TO HAVE CURRENT CCMC LISTING AND LISTING NUMBER ON PRODUCTS SUPPLIED THE INSULATION BOARD MANUFACTURER SHALL BE RECOGNIZED BY DRYVIT SYSTEMS 1. THE TRAINED APPLICATOR OR PANEL FABRI- CATOR SHALL BE RECOGNIZED BY DRYVIT SYSTEMS CANADA. TO HAVE REQUIRED AMOUNT OF EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND SCOPE. NUMBER ON PRODUCTS SUPPLIED. TO EMPLOY NECESSARY AMOUNT OF QUALIFIED PERSONNEL TO COMPLETE PROJECT IN

1.7 MOCK-UPS ONCE ACCEPTED MOCK-UP WILL DEMONSTRATE MINIMUM STANDARD FOR ACCEPTABLE WORK. IT IS RECOMMENDED THAT IS MOCK-UP BE CONS- TRUCTED FOR PROJECTS WHERE THE FOLLOWING

 a) SEQUENCE OF AIR BARRIER SYSTEM INSTAL— LATION, AND SHOULD SHOW TYPICAL AIR BARRIER CONNECTIONS WHERE DISSIMILAR AIR BARRIER MATERIALS WILL BE USED (e.g. WINDOWS AND THROUGH SYSTEM PENETRATIONS.)

b) SEQUENCE OF WALL SYSTEM COMPONENTS SUCH AS EIFS SYSTEM, FENESTRATIONS, FLASHINGS, SEALANTS, ETC. 1.8 DELIVERY, STORAGE AND HANDLING

1. DELIVER ALL MATERIALS IN ORIGINAL, UNOPENED PACKAGES WITH LABELS INTACT.

PROTECT ALL DRYVIT MATERIALS FROM WEATHER AND DIRECT SUNLIGHT.

3. STORE ALL DRYVIT MATERIALS IN A COOL, DRY LOCATION AT A TEMPERATURE NOT LESS THAN 4°C (40°F) 1.9 PROJECT CONDITIONS

EXISTING CONDITIONS THE CONTRACTOR SHALL HAVE ACCESS TO ELECTRICAL POWER. CLEAN POTABLE WATER, AND A CLEAN WORK AREA IN IMMEDIATE AREA OF SYSTEM INSTALLATION. 2. ENVIRONMENTAL CONDITIONS THE AMBIENT AIR AND WALL SURFACE TEMPERA- TURE SHALL BE A MINIMUM OF 4°C (40°F) DURING AND FOLLOWING INSTALLATION OF DRYVIT MATE- RIALS FOR A MINIMUM OF 24 HOURS OR UNTIL MATERIALS ARE FULLY DRY.

PROTECTION ADJACENT AREAS AND MATERIALS SHALL BE PROTECTED FROM DAMAGE, DROPS, AND SPILLS DURING THE APPLICATION OF THE DRYVIT MATERIALS. 2. DRYVIT MATERIALS SHALL BE PROTECTED BY PERMANENT OR TEMPORARY MEANS FROM WEATHER AND OTHER DAMAGE PRIOR TO, DURING AND IMMEDIATELY AFTER APPLICATION. CARE MUST BE TAKEN TO PREVENT CONDEN- SATION AND/OR HEAT BUILT-UP, WHEN USING A HEATED ENCLOSURE IN INCLEMENT WEATHER.

1. INSTALLATION OF OUTSULATION SHALL BE COORDINATED WITH OTHER CONSTRUCTION

SUFFICIENT PERSONNEL AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC.

1.10 LIMITED MATERIALS AND LABOUR WARRANTY

DRYVIT SYSTEMS CANADA SHALL PROVIDE A 5 (FIVE) YEAR LIMITED MATERIALS WARRANTY. RECEIPT OF A PROPERLY EXECUTED WARRANTY REQUEST AND COMPLETED PROJECT FORM IS REQUIRED. NO WARRANTY IS ISSUED UNLESS ALL MATERIALS ARE PAID FOR IN FULL.

THE EIFS ASSEMBLY INCLUDING THE AIR BARRIER (MARKED ALSO AS 'STUCCO FINISH') DESIGNED AS DUAL BARRIER DRAINING SYSTEM. IT IS THE RESPONSIBILITY OF DRYVIT SYSTEMS CANADA TO CARRY OUT PERIODIC ON—SITE INSPECTIONS TO ENSURE THAT SYSTEM INSTALLATION COMPLIES AND MEETS THE DESIGN CRITERIA, DRYVIT STANDARDS AND THE PERFORMANCE REQUIREMENTS. FINAL CERTIFICATION TO THIS EFFECT TO BE ISSUED BY DRYVIT AT COMPLETION OF

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT

PART 2 - PRODUCTS

1 ALL COMPONENTS OF THE OUTSULATION SYSTEM SHALL BE SUPPLIED BY AND/OR OBTAINED FROM DRYVIT SYSTEM CANADA (OR APPROVED EQUAL) OR ITS AUTHORIZED DISTRIBUTORS.

2.2 MATERIALS ADHESIVE MATERIAL

> . PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 Ib.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE 10 PORT— LAND CEMENT.

> 1. THE OUTSULATION INSULATION BOARD SHALL BE AGED. EXPANDED POLYSTYRENE WITH AN AVERAGE NOMINAL DENSITY OF 1.0 P.C.F (16 kg/SM) BUT NOT LESS THAN 0.95 P.C.F. (15 kg/sm) MEETING THE CURRENT PUBLISHED SPECIFICATIONS OF DRYVIT'S PUBLICATION DSC131, AND SHOULD APPLY TO EACH AND EVERY BOARD SUPPLIED, NOT

2. THE OUTSULATION INSULATION BOARD SHALL MEASURE A MINIMUM OF 24" (610mm) BY 48" (1220 mm), MINIMUM THICKNESS OF 1" (25mm). 3. DRYVIT REINFORCING MESH

 STANDARD MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq/yd (154 (g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 200 lb/in (890 N/2.54cm) WEFT. 2. PANZER 15 MESH: A TREATED GLASS FIBRE MESH THAT MUST WEIGHT A MIN. OF 15

oz/sq.yd (509 g/sq.m) AND HAVE A MINIMUM TENSILE STRENGTH OF 700 lbs/in (1226

NOTE: WHEN PANZER 15 MESH IS USED, A LAYER OF STANDARD MESH MUST BE INSTALLED MESH: A TREATED, GLASS FIBRE MESH THAT MUST WEIGHT A MINIMUM OF 9.5 oz/sq.yd (320 kg/sq.m) AND HAVE A MINIMUM TENSILE STRENGTH OF 290 lbs/in (508 N/cm) OF WDTH.

4. DETAIL MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq.yd. (152 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 185 Ib/IN (325 N/cm) OF WIDTH.

PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COA' FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE 10 PORT- LAND CEMENT.

TEXTURED FINISH 1. 100% ACRYLIC FINISHES WITH QUARTZ AGGRE- GATE, & DIRT PICK-UP RESISTANT

> 1. QUARTZPUTS - CREATES A "RILLED" OR "SCRATCHED" PATTERN IN RANDOM OR REGULAR TEXTURE.

2. SANDBLAST - A FINE POSITIVE "SAND" STYLE TEXTURE 3. SANDPEBBLE - A DEEPER TEXTURED SAND STYLE FINISH 4. SANDPEBBLE FINE - A FINE VERSION OF THE SANDPEBBLE TEXTURE.

NOTE: SOME COLOURS MAY REQUIRE THE USE OF DRYVIT COLOR PRIME. PRIMERS

COLOR PRIME: A WATER-BASED PIGMENTED ACRYLIC PRIMER.

ALL MIXING SHALL BE DONE WITH A CLEAN GOLDBLATT JIFFLER MIXER NO. 15311H7 OR EQUI-VALENT, POWERED BY A 1/2" (13mm) DRILL OR EQUIVALENT AT 400-500 RPM. 2. A HIGH-SPEED WOOD ROUTER WITH PROPER A HOT KNIFE, OR HOT GROOVER. 3. HAND OR POWER TOOLS ASSOCIATED WITH THE EIFS PLASTERING TRADE.

PART 3 - EXECUTION 3.1 INSPECTION

PRIOR TO APPLICATION OF OUTSULATION, THE SUBSTRATE SHALL BE EXAMINED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND DRYVIT SYSTEMS CANADA SYSTEM SPECIFICATIONS (THIS DOCUMENT.) THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE ADVISED OF ALL DICREPANCIES. WORK SHALL NOT PROCEED UNTIL UNSATIS— FACTORY CONDITIONS ARE CORRECTED.

3.2 SYSTEM INSTALLATION REFER TO DS204 (INSTALLATION INSTRUCTIONS)

> ADHESIVE SHALL BE APPLIED VERICALLY TO THE INSULATION BOARD USING A NOTCHED TROWEL FORMING RIBBONS OF NOT LESS THAN 3/8" (9.6mm) HIGH, 3/8" (9.6mm) WIDE, SPACED NO GREATER THAN 1.5" (37mm) HIGH. RIBBONS SHALL BE ALIGNED VERTICALLY TO ALLOW FOR CONTINUOUS AIR SPACE/DRAINAGE RETWEEN RIBBONS FROM TOP TO BOTTOM OF EPS INSULATED AREA. FOL— LOWING ADHESIVE APPLICATION, BOARD SHALL IMMEDIATELY BE INSTALLED. NO ADHESIVE IS TO BE USED BETWEEN BOARD

> JOINTS AT ANY LOCATION 2. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE STARTING FROM THE BASE OF THE WALL WITH ITS LONG EDGE ORIENTED HORIZONTALLY, BEGINNING IN THE FIELD OF THE WALL AND WORKING OUTWARD TO OUTSIDE CORNERS. INSULATION BOARD

JOINTS SHALL BE OFFSET FROM SHEATHING BOARD JOINTS A MINIMUM OF 8" (200 mm). 3. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE IN A RUNNING BOND PATTERN WITH OFFSET VERTICAL JOINTS.

4. CORNERS REQUIRE THE INSULATION BOARDS TO BE STAGGERED AND INTERLOCKED. REFER TO INSTALLATION DETAILS AND INSTRUCTIONS (DS107 AND DS204 RESPECTIVELY)

5. INSULATION BOARDS SHALL BE PRE-CUT TO FIT OPENINGS, CORNERS OR PROJECTIONS. BOARD JOINTS SHALL NOT COINCIDE WITH CORNERS OF WALL OPENINGS SUCH AS

BASE COAT, REINFORCING MESH BASE COAT AND REINFORCING MESH SHALL BE APPLIED TO A MINIMUM DRY FILM THICKNESS OF 2.0 mm.

2. JOINTS IN STANDARD MESHES SHALL BE OVER- LAPPED, BUT MUST BE FOLLOWED BY APPLICATION OF STANDARD MESH. 3. MESH COLOUR SHALL BE VISIBLE THROUGH BASE COAT APPLICATION. SLIGHT MESH PATTERN READ THROUGH IS PERMISSIBLE PROVIDED MINIMUM REQUIRED THICKNESS IS

MAINTAINED. FINISH SHALL BE APPLIED IN A SEAMLESS AND AND CONTINUOUS METHOD UNTIL A NATURAL BREAK IN THE WALL IS REACHED.

2. APPLICATION IN DIRECT SUNLIGHT IS TO BE AVOIDED 3. IF COLORPRIME IS REQUIRED IS TO BE APPLIED AND ALLOWED TO FULLY DRY PRIOR TO THE APPLICATION OF REQUIRED FINISH.

4. APPLICATION OF FINISH SHOULD NOT PROCEED UNTIL ALL OTHER REQUIREMENTS OF THE DOCU— MENT ARE AGREED TO BE SATISFACTORY.

ADJACENT MATERIALS AND THE OUTSULATION SHALL BE PROTECTED FROM THE WEATHER AND OTHER DAMAGE DURING INSTALLATION AND WHILE CURING.

SEALANTS (07900)

PART 1 - GENERAL

1.1 ENVIRONMENTAL CONDITIONS

SEALANT AND SUBSTRATE MATERIALS TO BE MINIMUM  $5^{\circ}$  C. SHOULD IT BECOME NECESSARY TO APPLY SEALANTS BELOW  $5^{\circ}$  C. — CONSULT SEALANT MANUFACTURER AND FOLLOW THEIR RECOMMENDATIONS.

.1 CONTRACTOR HEREBY WARRANTS THAT CAULKING WORK WILL NOT LEAK, CRACK, CRUMBLE, MELT, SHRINK, RUN, LOSE ADHESION OR STAIN ADJACENT SURFACES IN ACCORDANCE WITH GENERAL CONDITIONS, BUT FOR THREE YEARS.

.1 WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

CAULKING AT ALL SIDES OF MIRRORS (FITTING ROOMS, COLUMNS & WASHROOMS) BENCHES, MILLWORK (KITCHEN, OFFICE & WASHROOM), COAT HOOK BOARDS, VINYL BASES, DOOR FRAMES, WATER CLOSETS AND WOOD CASINGS IN THE FITTING ROOM

PART 2 - PRODUCTS

2.1 MATERIALS PRIMERS: NON-STAINING TYPE RECOMMENDED BY SEALANT MANUFACTURER.

.1 GENERAL: COMPATIBLE WITH PRIMERS AND SEALANTS, OUTSIZED 30 - 50%.
.2 POLYETHYLENE, URETHANE, NEOPRENE OR VINYL: EXTRUDED CLOSED CELL FOAM, SHORE A HARDNESS 20, TENSILE STRENGTH 140 TO 200 KPA.
.3 NEOPRENE OR BUTYL RUBBER: ROUND SOLID ROD, SHORE HARDNESS 70.

.3 BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE, WHICH WILL NOT BOND TO SEALANTS.

.4 POLYVINYL CHLORIDE OR NEOPRENE: EXTRUDED TUBING WITH 6 MM MINIMUM THICK

SEALANTS (07900) CONT

2.1 MATERIALS .4 SEALANTS

.1 SEALANTS ACCEPTABLE FOR USE ON THIS PROJECT MUST BE LISTED ON CGSB QUALIFIED PRODUCTS LIST ISSUED BY CGSB QUALIFICATION BOARD FOR JOINT SEALANTS. WHERE SEALANTS ARE QUALIFIED WITH PRIMERS USE ONLY THESE PRIMERS. .2 SEALANTS FOR VERTICAL AND HORIZONTAL NON-TRAFFIC BEARING JOINTS, TO TABLE 1 CAN/CGSB-19.2-GP-23, OR LATEST EDITION.

.1 NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 10%.
.2 NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%.

CAN /CGSB-19.24-M. .3 NORMAL TEMPERATURE, WET CONDITIONS MOVEMENT RANGE TO 25%, .4 LOW TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%:

CAN/CGSB-19.24-M .5 LOW TEMPERATURE RANGE, WET CONDITIONS, MOVEMENT RANGE TO 25%: CAN / CBSB - 19.24 - M

.5 SEALANTS FOR HORIZONTAL TRAFFIC BEARING JOINTS, TO TABLE 1, CGSB-19-GP-23. .1 NORMAL TEMPERATURE RANGE, DRY OR WET CONDITIONS, MOVEMENT RANGE TO 25%:

COLOUR OF SEALANTS: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD RANGE COLOURS TO MATCH AS CLOSE AS POSSIBLE TO ADJACENT MATERIALS: WHITE AT WHITE PAINTED WALLS AND SLATWALL, GRAY AT GRAY VINYL, BASES, CLEAR AT MIRRORS ETC.
JOINT CLEANER: XYLOL, METHYLETHYLEKETON OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT MANUFACTURER AND COMPATIBLE WITH JOINT FORMING MATERIALS. .8 VENT TUBING: 6 MM INSIDE DIAMETER EXTRUDED POLYVINYL CHLORIDE TUBING.

PART 3 - EXECUTION 3.1 PREPARATION REMOVE DUST, PAINT, LOOSE MORTAR AND OTHER FOREIGN MATTER. DRY JOINT SURFACES. REMOVE RUST, MILL SCALE AND COATINGS FROM FERROUS METALS BY WIRE BRUSH, GRINDING OR

SANDBLASTING.
REMOVE OIL, GREASE AND OTHER COATINGS FROM NON-FERROUS METALS WITH JOINT CLEANER.
PREPARE CONCRETE, MASONRY, GLAZED AND VITREOUS SURFACES TO ACCEPT SEALANT. EXAMINE JOINT SIZES AND CORRECT TO ACHIEVE DEPTH RATIO ½ OF JOINT WIDTH WITH MINIMUM WIDTH AND DEPT OF 6 MM, MAXIMUM WIDTH 25 MM.

INSTALL JOINT FILLER TO ACHIEVE CORRECT JOINT DEPTH.
WHERE NECESSARY TO PREVENT STAINING, MASK ADJACENT SURFACES PRIOR TO PRIMING AND APPLY BOND BREAKER TAPE WHERE REQUIRED TO MANUFACTURER'S INSTRUCTIONS. .9 PRIME SIDES OF JOINTS IN ACCORDANCE WITH SEALANT MANUFACTURER'S INSTRUCTION IMMEDIATELY

3.2 APPLICATION APPLY SEALANTS, PRIMERS, JOINT FILLERS, BOND BREAKERS TO MANUFACTURER'S INSTRUCTIONS APPLY SEALANTS, PRIMERS, JOINT FILLERS, BOND BREAKERS TO MANUFACTURER'S INSTRUCTIONS.
APPLY SEALANT—USING GUN WITH PROPER SIZE NOZZLE. USE SUFFICIENT PRESSURE TO FILL VOIDS
AND JOINTS SOLID. SUPERFICIAL POINTING WITH SKIN BEAD IS NOT ACCEPTABLE.
FORM SURFACE OF SEALANT WITH FULL BEAD, SMOOTH, FREE FROM RIJGES, WRINKLES, SAGS, AIR
POCKETS, EMBEDDED IMPURITIES. NEATLY TOOL SURFACE TO A SLIGHT CONCAVE JOINT.
APPLY SEALANT TO JOINTS BETWEEN WINDOW OR DOOR FRAMES TO ADJACENT BUILDING COMPONENTS,
AROUND PERIMETER OF EVERY EXTERNAL OPENING, TO CONTROL JOINTS IN MASONRY WALLS AND

CONCRETE SLABS AND WHERE INDICATED.

IN MASONRY CAVITY CONSTRUCTION VENT CAULKED JOINTS FROM CAVITY TO 3MM BEYOND EXTERNAL JOINT AND MAXIMUM OF 1500 MM O.C VERTICALLY. POSITION TUBE TO DRAIN TO EXTERIOR.

CLEAN ADJACENT SUFFACES IMMEDIATELY AND LEAVE WORK NEAT AND CLEAN. REMOVE EXCESS SEALANT AND DROPPINGS USING RECOMMENDED CLEANERS AS WORK PROGRESSES. REMOVE MASKING AFTER TOOLING OF JOINTS.

STEEL DOORS AND FRAMES (08111)

PART 1 — GENERAL

1.1 QUALITY ASSURANCE MANUFACTURER DOOR FRAME COMPONENTS TO MINIMUM REQUIREMENTS OF CANADIAN STEEL DOOR AND FRAME MANUFACTURER'S ASSOCIATION (CSDFMA) "CANADIAN MANUFACTURING STANDARDS FOR STEEL DOORS AND FRAMES", AND "SPECIFICATIONS FOR COMMERCIAL STEEL DOORS AND FRAMES".

MANUFACTURER FIRE RATED ASSEMBLIES TO REQUIREMENTS OF NFPA BULLETIN NO. 80, FIRE DOORS AND WINDOWS, AND LABELLING AUTHORITY FOR THE RATED SCHEDULED, OR INDICATED ON THE EACH LABELLED FRAME SHALL HAVE LABELLING AUTHORITIES LABEL, SHOWING RATING CLASS, AFFIXED TO HINGE JAMB AT EYE LEVEL. RATINGS AS FOLLOWS:

> CLASS "A" - 3 HOUR FIRE RATING CLASS 'B" - 1-1/2 HOUR FIRE RATING CLASS 'C" - 3/4 HOUR FIRE RATING

I.2 SHOP DRAWINGS

SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS.
INDICATE EACH TYPE FRAME MATERIAL, CORE THICKNESS, REINFORCEMENTS, GLAZING STOPS, LOCATION
OF ANCHORS AND EXPOSED FASTENINGS AND FINISHES. REFERENCE FRAMES TO DOOR SCHEDULE. INDICATE DOOR NUMBERS AND CONSTRUCTION WHERE APPLICABLE.

1.3 CO-ORDINATION .1 CO-ORDINATE THE WORK OF THE SECTION WITH THE WORK OF SECTION 08710 FINISH HARDWARE 1.4 DELIVERY & STORAGI

DELIVER AND STORE FRAMES AT THE JOB SITE IN COMPLIANCE WITH THE CONSTRUCTION SCHEDULE TO KEEP HANDLING AT A MINIMUM.

STORE ALL HOLLOW METAL FRAMES IN A DRY LOCATION, OFF AND AWAY FROM GROUND CONTACT, PROTECT BY SUITABLE MEANS UNTIL REQUIRED FOR INSTALLATION; BRACE AND STACK TO PREVENT WRACKING, BENDING, TWISTING OR ANY OTHER DAMAGE. DO NOT ENCLOSE IN PLASTIC WITHOUT

.3 DAMAGED OR TWISTED FRAMES WILL BE REJECTED. PART 2 - PRODUCTS

STEEL SHEET: COMMERCIAL GRADE TO ASTM A568-1, CLASS A, LOCK FORMING QUALITY, HOT DIP GALVANIZED ZF575 TO ASTM A525-86.

DOOR BUMPERS: BLACK NEOPRENE, SINGLE OR DOUBLE STUD TYPE. PRIMERS: (INTERIOR DOORS) ZINC CHROMATE RUST INHIBITIVE PRIMER CONFORMING TO CGSB 1-GP-132; (EXTERIOR DOORS) ZINC RICH PRIMER GLAVAFROID SB GRADE. 2.2 COMPONENTS

.1 STEEL COMPONENTS SHALL BE AT LEAST THE MINIMUM THICK NESSES AS DESCRIBED BELOW:

 EXTERIOR LOCATIONS - INTERIOR LOCATIONS (FIRE-RATED) DOOR FRAME ACCESSORIES: GAUGE: - LOCK & STRIKE REINFORCEMENTS HINGE REINFORCEMENTS FLUSH BOLT REINFORCEMENTS REINFORCEMENT FOR SURFACE APPLIED HARDWARE MORTAR GUARD BOXES

JAMB FLOOR ANCHORS GLAZING STOPS **ANCHORS:** GAUGE: - "T" STRAP TYPE

- "L" TYPE WIRE TYPE DIA. 0.156" - STIRRUP-STRAP TYPE MIN. 2"x10" JAMB SPREADERS: 18 GAUGE

.1 FRAMES FOR INSTALLATION IN CONCRETE WALLS SHALL BE PROVIDED WITH ADJUSTABLE JAMB ANCHORS OF THE T-STRAP TYPE, OR PRE-APPROVED EQUIVALENT.
.2 THE NUMBER OF ANCHORS TO CONCRETE WALLS PER JAMB AND AT THE FLOOR SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS BUT NO LESS THAN THE FOLLOWING:

a. FRAMES UP TO 7'6"HEIGHT - 3 ANCHORS OR 6 "L"STRAPS. b. FRAMES 7'6"TO 8'0"- 4 ANCHORS OR 8 "L"STRAPS. c. FRAMES OVER 8'0"- 5 ANCHORS PLUS 1 ANCHOR FOR EACH 2'0" OR FRACTION THEREOF INCREASE IN HEIGHT.

STEEL DOORS AND FRAMES (08111) CONT

.3 FRAMES FOR INSTALLATION IN STUD PARTITIONS SHALL BE PROVIDED WITH STEEL ANCHORS OF SUITABLE DESIGN, SECURELY WELDED OR WELDED INSIDE EACH JAMB AS PER MANUFACTURER'S RECOMMENDATIONS AND NO LESS THAN FOLLOWS:

a. FRAMES UP TO 7'6"HEIGHT - 4 ANCHORS. FRAMES 7'6"TO 8'0" - 5 ANCHORS.
 FRAMES OVER 8'0" - 5 ANCHORS, PLUS ONE ADDITIONAL FOR EACH 2'0"OR

FABRICATE FRAMES AS DETAILED, TO CANADIAN STEEL DOOR AND FRAME MANUFACTURERS' ASSOCIATION, (CSDFMA) "CANADIAN MANUFACTURING SPECIFICATIONS FOR STEEL DOORS AND FRAMES ATEST ISSUE. REINFORCE FRAMES TO SUITE HARDWARE REQUIREMENTS SPECIFIED SECTION 08710

.4 FLOOR ANCHORS — SECURELY WELD TO INSIDE OF EACH JAMB; AND MECHANICALLY FASTEN TO FLOOR USING COMPANION HOT DIP GALVANIZED FASTENERS.

CUT MITRES ACCURATELY TO FLOOR TO MAINTAIN ALIGNMENT AND FIT OF FRAME PROFILE.

MITRES TO BE CUT ACCURATELY AND WELDED ON THE INSIDE ON THE PROFILE. WELDED JOINTS TO
BE DISC SANDED TO A SMOOTH UNIFORM FINISH. KNOCKDOWN FRAMES ARE NOT ACCEPTABLE AND GRIND WELDED CORNERS AND JOINTS TO FLAT PLANE, FILL SURFACE DEPRESSIONS AND BUTTED JOINTS WITH METALLIC PASTE FILLER AND SAND TO UNIFORM FINISH.

.5 TOUCH UP FRAMES WITH PRIMER WHERE GALVANIZED FINISH DAMAGED DURING FABRICATION.

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STEEL DOORS AND FRAMES (08111) CONT.

.6 ANCHORS TO NON-FIRE RATED DOOR TO BE TYPES INDICATED ON DRAWINGS: STRAP 18 GAUGE OR WRE TYPE 3.96 MM DIAMETER. TWIST IN TYPE FOR STEEL OR WOOD STUD WALLS NOT ACCEPTABLE. ANCHORS TO FIRE RATED DOORS SHALL BE WELDED TO FRAMES, EITHER WITH A U TYPE STUD ANCHOR OR WELDED ADJUSTABLE STRAP TYPE TO LABELLING AUTHORITY REQUIREMENTS. ANCHOR PREVIOUSLY PLACED CONCRETE PANELS SHALL BE EXISTING WALL ANCHOR TYPE WITH

REINFORCE HEAD OF FRAMES WIDER THAN 1200 MM.

FOR DOUBLE DOOR TO STOCKROOM FROM SALES FLOOR. REINFORCE BOTH JAMBS WITH MIN. 100 MM

X 400 MM GALVANIZED STRUCTURAL STEEL CHANNEL. INSTALL REINFORCING CONTINUOUS FROM

ELOOR TO STRUCTURE AROVE

FLOOR TO STRUCTURE ABOVE. .10 INSTALL THREE (3) BUMPERS ON STRIKE JAMB FOR EACH SINGLE DOOR AND TWO (2) BUMPERS AT

HEAD FOR PAIRS OF DOORS.
FABRICATE THERMALLY BROKEN FRAMES FOR EXTERIOR DOORS USING STEEL CORE, SEPARATING EXTERIOR PORTION OF FRAME FROM INTERIOR PORTION WITH POLYVINYL CHLORIDE THERMAL BREAKS. .12 INSTALL 1.22 MM BASE THICKNESS STEEL FRAMES TO INTERIOR OPENINGS 1200 MM OR LESS IN UNSUPPORTED WIDTH.

.13 INSTALL 1.52 MM BASE THICKNESS STEEL FRAMES TO EXTERIOR OPENINGS AND INTERIOR OPENINGS OF 1200 MM IN UNSUPPORTED WIDTH. OVER 1200 MM IN UNSUPPORTED WIDTH.

PART 1 - EXECUTION 3.1 INSTALLATION

.1 SET FRAMES PLUMB, SQUARE, LEVEL AND AT CORRECT ELEVATION. REMOVE SHIPPING SPREADERS. INSTALL FRAMES OVER FINISHED WALLS AND ANCHOR THROUGH FACES IN STRUCTURE.

2 SECURE ANCHORAGES AND CONNECTIONS TO ADJACENT CONSTRUCTION. ANCHOR FRAME WITH ONE DRYWALL TYPE SCREW ADJACENT TO EACH CASING CLIPS.

3 BRACES FRAMES RIGIDLY IN POSITION WHILE BUILDING—IN. INSTALL TEMPORARY HORIZONTAL WOOD CONSTRUCTION OF THE PROPERTY OF THE PROPERY SPREADER AT THIRD POINTS OF DOOR OPENING TO MAINTAIN FRAME WIDTH. PROVIDE VERTICAL SUPPORT AT CENTER OF HEAD FOR OPENINGS OVER 1200 MM WIDE. REMOVE TEMPORARY SPREADERS

AFTER FRAMES ARE BUILT-IN. MAKE ALLOWANCES FOR DEFLECTION OF STRUCTURE TO ENSURE STRUCTURAL LOADS ARE NOT TRANSMITTED TO FRAMES. .5 LIMIT OF ACCEPTABLE FRAME DISTORTION - 1/16: OUT OF PLUMB MEASURED ON FACE OF FRAME,

.6 CO-ORDINATE GROUTING OF ALL FRAMES SOLID TO ADJACENT CONSTRUCTION..7 EXTERIOR FRAMES SHALL HAVE ALL SPACES (BETWEEN FRAME AND BUILDING MATERIALS) FILLED WITH SPRAY FOAM INSULATION AFTER INSTALLATION.

.8 INSTALL SILENCERS ON INTERIOR DOOR FRAMES.

.9 ADJUST STRIKE PLATE TO HOLD DOOR TIGHT TO STOPS WHEN CLOSED.

MAXIMUM TWIST CORNER-TO-CORNER 1/8".

4.0 FINAL INSPECTION .1 INSPECTION EACH OPENING FOR OPERATION, HARDWARE APPEARANCE AND INSTALLATION. MAKE NECESSARY ADJUSTMENTS. .2 REPLACE FRAMES DEFECTIVE UNDER TERMS OF MANUFACTURER'S WARRANTY.

.1 REMOVE TEMPORARY COVERINGS AND PROTECTION OF ADJACENT WORK AREAS. REPAIR OR REPLACE DAMAGED INSTALLED PRODUCTS. .2 CLEAN INSTALLED PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION PRIOR TO OWNER'S ACCEPTANCE. REMOVE CONSTRUCTION DEBRIS FROM PROJECT SITE AND LEGALLY DISPOSE OF DEBRIS.

ALUMINUM DOORS, FRAMES AND SCREENS (08120)

PART 1 - GENERAL 1.1 SCOPE OF WORK

5.0 CLEANING

.1 FINISH ALL LABOUR, MATERIAL AND SERVICES TO CARRY OUT THE FABRICATION AND INSTALLATION OF WINDOWS, VESTIBULE SCREENS AND DOORS AND SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN, COMPLETE WITH ALL NECESSARY ACCESSORIES AND ALL NECESSARY REINFORCING OF FRAMING SECTIONS FOR THE COMPLETE AND PROPER INSTALLATION OF THE WORK. CO-ORDINATE WORK OF I'HIS SECTION WITH FINISH HARDWARE INCLUDING POWER DOOR OPERATORS AND AUTOMATIC ENTRANCE

ALL STOREFRONT DOORS, INCLUDING VESTIBULE INTERIOR DOORS TO BE PROVIDED WITH FULLY
AUTOMATIC DOOR OPENERS TO CONFORM TO APPLICABLE CODE REQUIREMENTS, REFER TO SECTION

.2 WARRANTY

.1 CONTRACTOR SHALL WARRANT ALL ALUMINUM WINDOWS AGAINST LEAKAGE, DEFECTS AND MALFUNCTION UNDER NORMAL USAGE IN ACCORDANCE WITH CG24, BUT FOR FIVE YEARS. FURNISH A WRITTEN GUARANTEE IN REGARD TO THE COMPATIBILITY OF THE GLAZING SEALANTS, TAPES AND OTHER COMPONENTS TO BE USED WITH THE INSULATING GLASS UNITS, WHERE DETERIORATION OR OTHER DAMAGE WOULD OCCUR TO THE EXPOSED EDGE OF GLASS AS A RESULT OF

1.3 QUALITY ASSURANCE .1 FIELD MEASUREMENTS: WHEREVER POSSIBLE, TAKE FIELD MEASUREMENTS PRIOR TO PREPARATION OF SHOP DRAWINGS AND FABRICATION, TO ENSURE PROPER FITTING OF THE WORK.

.1 AIR INFILTRATION FOR STRIP WINDOWS SHALL NOT EXCEED .10 CFM PER FOOT UNDER STATIC PRESSURE DROP OF 6.24 PSF, (EQUIVALENT TO 50 MPH WIND VELOCITY) WHEN TESTED IN ACCORDANCE WITH ASTM 283, OR LATEST EDITION.

.2 WATER RESISTANCE: NO LEAKAGE WHEN THE WINDOW UNIT IS SUBJECT TO A PRESSURE

DROP OF 6.24 PSF, WHEN TESTED IN ACCORDANCE WITH ASTM E331-00, OR LATEST .3 WINDOW UNITS SHALL BE OF "THERMAL-BREAK" CONSTRUCTION AND SHALL HAVE BEEN TESTED FOR THERMAL PERFORMANCE (AAMA 1502) SHOWING A CONDENSATION

.3 DESIGN CRITERIA: DRAWINGS ARE BASED ON SPECIFIC TYPE AND MODEL ALUMINUM WINDOW BY A SINGLE MANUFACTURER. EQUIVALENT TYPE WINDOWS BY OTHER MANUFACTURERS MAY BE ACCEPTABLE PROVIDED DEVIATIONS IN PROFILE ARE MINOR AND DO NOT MATERIALLY DETRACT FROM DESIGN CONCEPT OR INTENDED PERFORMANCES, AS JUDGED SOLELY BY ARCHITECT.

DO NOT BEGIN INSTALLATION OF FRAMES AND DOORS UNTIL THE AREA OF WORK HAS BEEN COMPLETELY ENCLOSED AND INTERIOR IS PROTECTED FROM THE ELEMENTS.

2. MAINTAIN TEMPERATURE AND HUMIDITY IN AREAS OF INSTALLATION WITHIN REASONABLE LIMITS AS CLOSE TO FINAL OCCUPANCY.

1.4 ALTERNATES TO BE SUBMITTED, COMPLETE WITH ALL NECESSARY PRODUCT INFORMATION LITERATURE AND SHOP DRAWINGS AT TIME OF TENDER SUBMISSION.

PART 2 - PRODUCTS

2.1 MATERIALS - STOREFRONT .1 STOREFRONT WINDOW GLAZING TO BE OF DESIGN AND QUALITY EQUAL TO SERIES 1602 (RAIN SCREEN) AS MANUFACTURED BY KAWNEER COMPANY CANADA LIMITED OR APPROVED ALTERNATE. .2 ON INTERIOR VESTIBULE PANELS PROVIDE HORIZONTAL MULLION AT 2'4"O.C. FOR MOUNTING OF

2.2 MATERIALS GENERALLY .1 EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T5.
.2 EXPOSED SHEET TO RECEIVE ANODIC FINISH OF ANODIZING QUALITY. ALUMINUM ASSOCIATION ALLOY

AATIOU.

3 FASTENERS IN CONTACT WITH ALUMINUM SHALL BE STAINLESS STEEL 300 SERIES STAINLESS STEEL
400 SERIES CADMIUM PLATED OR ALUMINUM, FINISHED TO MATCH ADJACENT MATERIAL.

4 WEATHERING AND GLAZING SPLINES SHALL BE OF EXTRUDED BLACK NEOPRENE OF DUROMETER APPROPRIATE FOR THE FUNCTION.

RESISTANCE FACTOR (CRF) OF AT LEAST 45.

APPROPRIATE FOR THE FUNCTION.

THERMAL SEPARATORS SHALL BE POLYVINYL CHLORIDE (PVC).

FLASHING TO BE BRAKE FORMED .032" ALUMINUM.

INFILL AND CLOSURE PANELS TO BE .81" ALUMINUM

SEALANTS: IN ACCORDANCE WITH SECTION 07900, COLOUR TO MATCH ALUMINUM FRAMING.

GLASS AND GLAZING MATERIALS: IN ACCORDANCE WITH SECTION 08800.

BEDDING COMPOUND: TO CGSB 19—GP—14M, OR LATEST EDITION.

ISOLATION COATROL. ALVALU PESISTANT BITLIMINOUS PAINT .11 ISOLATION COATING: ALKALI RESISTANT BITUMINOUS PAINT

.1 UNITS SHALL BE CONSTRUCTED FROM EXTRUSIONS OF SIZES AND SHAPES SHOWN ON THE DRAWINGS, AND SHALL BE FORMED WITH CLEAN, SHARPLY DEFINED PROFILES. JOINTS TO BE ACCURATELY MACHINED, FITTED, ASSEMBLED AND SEALED TO PROVIDE NEAT, WEATHER TIGHT JOINERY.

2 FABRICATE WINDOW UNITS SQUARE AND TRUE WITH MAXIMUM TOLERANCE OF PLUS OR MINUS 1.5 MM FOR UNITS WITH DIAGONAL MEASUREMENT OVER 1.8 M. PROVIDE 16 MM BITE FOR FACTORY SEALED DOLUMED OF ACTOR INSTRUMENTS.

DOUBLED GLAZED UNITS. .3 LIMIT DEFLECTION TO 1/175TH OF CLEAR SPAN TESTED TO ASTM #330-00, OR LATEST EDITION, UNDER WIND LOADS FOR BUILDING LOCALITY AS ASCERTAINED BY NBC SUPPLEMENT #1 CLIMATIC INFORMATION FOR BUILDING DESIGN IN CANADA.

MAKE ALLOWANCE FOR DEFLECTION OF STRUCTURE. ENSURE THAT STRUCTURAL LOADS ARE NOT TRANSMITTED TO WINDOWS.

TRANSMITTED TO WINDOWS.

MANUFACTURER'S NAMEPLATES ON WINDOWS ARE NOT ACCEPTABLE.

ALL MEMBERS TO HAVE EXTRUDED PVC THERMAL BREAK INTEGRATED WITH THE INNER AND OUTER ALUMINUM EXTRUSIONS BY A ROLL—CRIMPING PROCESS TO FORM A RIGIDLY INTERCONNECTED ASSEMBLY WITHOUT THE USE OF FASTENERS OR OTHER BRIDGING ELEMENTS.

REINFORCING MEMBERS SHALL BE INSTALLED WHERE REQUIRED TO MEET WIND LOAD REQUIREMENTS.

CONSTRUCT TRANSOM PANELS AND FRAMES TO PROFILES AND MAXIMUM 16 MM BITE FOR FACTORY—CEALED DOLIBLE CLAZED LIMITS.

.8 CONSTRUCT TRANSOM PANELS AND FRAMES TO PROFILES AND MAXIMUM TO MM BITE FOR FACTORY—SEALED DOUBLE GLAZED UNITS.

.9 DESIGN FRAMES IN EXTERIOR WALLS TO ACCOMMODATE EXPANSION AND CONTRACTION WITHIN SERVICE TEMPERATURE RANGE OF —35 DEGREES C TO 75 DEGREES C.

.10 CONCEAL FASTENINGS FROM VIEW.

.11 FORM CUTOUTS, RECESSES, MORTISING OR MILLING FOR FINISHING HARDWARE TO TEMPLATES SUPPLIED.

REINFORCE WITH ALUMINUM OR GALVANIZED STEEL PLATES. .1 FINISH ALUMINUM COMPONENTS IN ACCORDANCE WITH DESIGNATION SYSTEMS FOR ALUMINUM FINISHES: AADAF-45-01 OR LATEST EDITION.

2.5 ISOLATION COATING .1 ISOLATE ALUMINUM FROM FOLLOWING COMPONENTS, BY MEANS OF ISOLATION COATING:
2 DISSIMILAR METALS EXCEPT STAINLESS STEEL, ZINC, OR WHITE BRONZE OF SMALL AREA.
3 CONCRETE, MORTAR AND MASONRY.
4 WOOD

2.6 GLAZING .1 SITE GLAZE WINDOWS WITH INSULATING GLASS UNITS IN ACCORDANCE WITH SECTION 08800.
2 PREPARE FRAMES AND SASH TO ACCOMMODATE GLASS AND GLAZING METHOD SPECIFIED IN SECTION

PART 3 - EXECUTION 3.1 WINDOW INSTALLATION INSTALL WINDOWS IN ACCORDANCE WITH CGSB 63 GP3M, OR LATEST GOVERNING CODE.

SET UNITS PLUMB, LEVEL AND TRUE TO LINE, WITHOUT WARP OR RACK OF FRAMING MEMBERS, DOORS
OR PANELS. ANCHOR SECURELY IN PLACE, SEPARATING ALUMINUM AND OTHER CORRODIBLE METAL
SURFACES FROM SOURCES OF CORROSION OF ELECTROLYTIC ACTION AT POINTS OF CONTACT WITH

DRILL AND TAP FRAMES AND DOORS AND APPLY SURFACE-MOUNTED HARDWARE ITEMS, COMPLYING WITH HARDWARE MANUFACTURER'S INSTRUCTIONS AND TEMPLATE REQUIREMENTS. USE CONCEALED FASTENERS WHEREVER POSSIBLE. 3.2 DOOR INSTALLATION

INSTALL WORK PLUMB, SQUARE, LEVEL, FREE FROM WARP, TWIST AND SUPERIMPOSED LOADS. SECURE WORK IN REQUIRED POSITION, DO NOT RESTRICT THERMAL MOVEMENT. INSTALL HARDWARE IN ACCORDANCE WITH TEMPLATES AND MANUFACTURER'S INSTRUCTIONS.
ADJUST OPERABLE PARTS FOR CORRECT FUNCTION. 5 ISOLATE FROM CEMENTITIOUS MATERIALS. .6 INSTALL POWER DOOR OPERATORS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

ALUMINUM DOORS, FRAMES AND SCREENS (08120) CONT.

GLAZE ALUMINUM DOORS WITH THERMO PANE SAFETY GLASS IN ACCORDANCE WITH 08800.
GLAZE VESTIBULE SCREEN WITH SINGLE GLAZED UNITS, ALL IN ACCORDANCE WITH SECTION 08800.
GLAZE SIDELIGHTS GREATER THAN 450MM WIDE AND ANY SECTIONS WHICH COULD BE MISTAKEN FOR DOORWAYS OR OPENINGS WITH THERMO PANE SAFETY GLASS IN ACCORDANCE WITH SECTION 08800 AND THE REQUIREMENTS OF THE NATIONAL BUILDING CODE, LATEST EDITION.
STOREFRONT SECURITY GRATING, AS PER SECTION 08331 AS REQUIRED BY PROJECT.

3.4 CAULKING WHERE REQUIRED, SEAL BETWEEN MEMBERS OF ALUMINUM WORK.
APPLY SEALANT IN ACCORDANCE WITH SECTION 07900. CONCEAL SEALANT WITHIN THE ALUMINUM WORK EXCEPT WHERE EXPOSED USE IS PERMITTED BY ARCHITECT.

# INSUALATED STEEL SECTIONAL SERVICE

DOOR-LOADING (08346) PART 1 - PRODUCTS

2.1 DOOR SECTIONS

ALL DOOR SECTIONS WILL BE OF STEEL/POLYURETHANE/STEEL SANDWICH TYPE CONSTRUCTION TO INCLUDE THERMAL BREAK AND HAVE A CALCULATED 'R" VALUE OF 17.59 IN ACCORDANCE WITH INDUSTRY GUIDELINES. THE EXTERIOR SKIN OF STRUCTURAL QUALITY, HOT-DIPPED GALVANIZED .015"(MIN) STEEL, WITH NON-REPEATING RANDOM STUCCO TEXTURE WILL BE FACTORY-FINISHED WITH BAKED ON POLYESTER PRIMER AND WHITE POLYESTER FINISH COATS. AND FEATURE 1/4" WIDE PIN STRIPPING.

DOORS WILL HAVE A 20 GAUGE FLUSH EXTERIOR STEEL SKIN. THE INTERIOR SKIN WIL BE .015" (MIN) STRUCTURAL QUALITY, HOT-DIPPED., GALVANIZED STEEL, FACTORY-FINISHED WITH A POLYESTER PRIMER AND WHITE POLYESTER FINISH COATS. THE INTERIOR SKIN WILL HAVE TWO 1-/34" ROLL-FORMED INTEGRAL STRUTS PER SECTION. ENDS OF SECTIONS HAVE FULL-HEIGHT 18 GA. (MIN). HOT-DIPPED GALVANIZED STEEL END CAPS. THE VOID BETWEEN THE INTERIOR AND EXTERIOR SKINS WILL BE COMPLETELY FILLED BY FOAMED-IN-PLACE CFC FREE POLYURETHANE CORE AND SEPARATED A FACTORY EXTRUDED THERMAL BREAK.

DOORS WILL BE EQUIPPED WITH A FACTORY-INSTALLED JOINT SEALS BETWEEN SECTIONS, A TOP SEAL ON THE TOP SECTION TO SEAL AGAINST THE HEADER, WITH A TWO-PIECE BULB SHAPED ASTRAGAL FOR THE BOTTOM SECTION.
AIR INFILTRATION WILL BE INDEPENDENTLY TESTED AT LESS THAN OR EQUAL TO .07 CFM PER SQUARE FOOT OF DOOR AREA, IN ACCORDANCE WITH ASTM E-283-91 AT A PRESSURE DIFFERENCE OF .122"

.1 ALL TRACK, VERTICAL MOUNTING ANGLES AND BRACKETS WILL BE COMMERCIAL QUALITY STEEL MINIMUM 16 GA. THICKNESS, HOT-DIPPED GALVANIZED 2"STANDARD. VERTICAL TRACK TO BE GRADUATED PROVIDING WEDGE TYPE WEATHER TIGHT CLOSING WITH CONTINUOUS REVERSE ANGLE MOUNTING FOR STEEL JAMBS AND ARE FULLY ADJUSTABLE TO SEAL DOOR AT JAMBS. HORIZONTAL TRACK WILL BE REINFORCED WITH CONTINUOUS ANGLE OF ADEQUATE LENGTH AND GAUGE TO HELP

2.3 HARDWARE .1 HINGE & ROLLER ASSEMBLY.

2.4 COUNTERBALANCE

2.5 WEATHERSTRIPPING

a. ALL HINGES AND BRACKETS WILL BE MADE FROM HOT-DIPPED, GALVANIZED STEEL. TRACK ROLLERS WILL BE CASE—HARDENED INNER STEEL RACES WITH 10—BALL — 2"ROLLERS.
ALL FACTORY—AUTHORIZED ATTACHMENTS WILL BE MADE AT LOCATED INDICATED AND REINFORCED WITH ADDITIONAL BACK UP PLATES.

SPRINGS WILL BE TORSION TYPE, LOW-STRESS, HELICAL WOUND, OIL-TEMPERED SPRING WIRE TO PROVIDE MINIMUM 100,000 CYCLES OF USE ON CONTINUOUS STEEL SHAFT. SPRING FITTINGS AND DRUMS WILL BE MADE OF DIE CAST, HIGH-STRENGTH ALUMINUM. PRE-FORMED GALVANIZED STEEL AIRCRAFT CABLE SHALL PROVIDE A MINIMUM OF A 5:1 SAFETY FACTOR.

.1 INSTALL JAMB/PERIMETER SEALS. 2.6 LOCKS

.1 LOCKING DEVICES SHALL ENGAGE VERTICAL TRACKS WITH SLIDE BOLTS ON BOTH SIDES.

.1 A SEALED 1/2"INSULATED GLASS WINDOW UNITS - 24"X 6"SET IN TWO-PIECE MOLDED HIGH-IMPACT

FINISH HARDWARE (08700)

PROVIDE A COMPLETE, COMMERCIAL QUALITY HARDWARE FOR ALL ALUMINUM AND H.M. DOORS AS INDICATED ON DRAWINGS. SUBMIT A COMPLETE FINISH HARDWARE SCHEDULE FOR CONSULTANT'S APPROVAL, PRIOR TO ORDERING COMPONENTS. ALL HARDWARE FINISH TO BE STAINLESS STEEL AND CLASSIFIED AS 'EXTRA HEAVY DUTY' FOR COMMERCIAL USE.

ALUMINUM THRESHOLDS AT EXTERIOR DOORS TO EXTENT TO THE EDGE OF CONCRETE FOUNDATION O BE EXTRUDED ALUMINUM, SLOPPING BOTH SIDES. THRESHOLDS TO BE SET ON A MASTIC BED AND BE ANCHORED WITH COUNTER- SUNK SCREWS INTO CONCRETE. PROVIDE CONTINUOUS ADJUSTABLE WEATHER- STRIPPING AT HEAD AND JAMBS OF EACH EXTERIOR

KEYING SYSTEMS TO BE COORDINATED TO SUIT THE REQUIREMENTS OF THE TENANT.

PROVIDE 3 RUBBER BUMPERS AND 1.5 PAIRS OF HINGES FOR EACH H.M. DOOR.

METAL STUD SYSTEM (09111)

PART 1 - PRODUCTS NON-LOAD BEARING CHANNEL STUD FRAMING: TO ASTM C645-00, OR LATEST EDITION, 92 MM STUD SIZE OR AS INDICATED OR REQUIRED, ROLL FORMED FROM 20 GAUGE HOT DIPPED GALVANIZED STEEL SHEET, FOR SCREW ATTACHMENT OF GYPSUM BOARD. KNOCKOUT SERVICE HOLES AT 460 MM

STRUCTURAL STEEL STUDS WHERE INDICATED SHALL BE 150 MM DEEP X 18 GAUGE AT MINIMUM 400 MM O.C. AND C/W MIN. FOUR (4) ROWS OF HORIZONTAL BRIDGING OR AS REQUIRED BY SITE

CONNECTING OF STUDS TO STRUCTURE TO BE BY USE OF "FLEXICLIP" OR OTHER ACCEPTABLE ALTERNATE TO ALLOW FOR VERTICAL MOVEMENT OF THE STRUCTURE.

4 FLOOR AND CEILING TRACKS: TO ASTM C645-00, OR LATEST EDITION, IN WIDTHS TO SUIT STUD SIZES, 32 MM FLANGE HEIGHT.

5 METAL CHANNEL STIFFENER: 1.4 MM THICK COLD ROLLED STEEL, COATED WITH RUST INHIBITIVE COATING.

ACOUSTICAL SEALANT: TO CGSB 19-GP-21M.
INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT 3 MM THICK CORK FOAM STRIP, 12 MM WIDE, WITH SELF STICKING ADHESIVE ON ONE FACE, LENGTHS AS REQUIRED. PART 2 - EXECUTION

3.1 ERECTION ALIGN PARTITION TRACKS AT FLOOR AND CEILING AND SECURE AT 600 MM O.C. MAXIMUM. INSTALL DAMP PROOF COURSE UNDER STUD SHOE TRACKS OF PARTITIONS ON SLABS ON GRADE. PLACE STUDS VERTICALLY AT 400 MM O.C. AND NOT MORE THAN 50 MM FROM ABUTTING WALLS, AND AT EACH SIDE OF OPENINGS AND CORNERS. POSITION STUDS IN TRACKS AT FLOOR AND CEILING. PROVIDE HORIZONTAL STUD BRACING AT MID HEIGHT CONNECTED TO STUD FLANGES. CROSS BRACE

STEEL STUDS AS REQUIRED TO PROVIDE RIGID INSTALLATION TO MANUFACTURER'S INSTRUCTIONS. ERECT METAL STUDDING TO TOLERANCE OF 1:1000.

ATTACH STUDS TO BOTTOM AND CEILING TRACK USING SCREWS AND FLEXIBLE CLIPS.
CO-ORDINATE SIMULTANEOUS ERECTIONS OF STUDS WITH INSTALLATION OF SERVICE LINES. WHEN ERECTING STUDS ENSURE WEB OPENINGS ARE ALIGNED. CO-ORDINATE ERECTION OF STUDS WITH INSTALLATION OF DOOR/WINDOW FRAMES AND SPECIAL SUPPORTS OR ANCHORAGE FOR WORK SPECIFIED IN OTHER SECTIONS.
PROVIDE TWO STUDS EXTENDING FROM FLOOR TO CEILING AT EACH SIDE OF OPENINGS WIDER THAN STUD CENTRES SPECIFIED. SECURE STUDS TOGETHER, 50 MM APART USING COLUMN CLIPS OR OTHER APPROVED MEANS OF FASTENING PLACED ALONG SIDE FRAME ANCHOR CLIPS.

ERECT TRACK AT HEAD OF DOOR/WINDOW OPENINGS AND SILLS OF SIDELIGHT/WINDOW OPENINGS TO ACCOMMODATE INTERMEDIATE STUDS. SECURE TRACK TO STUDS AT EACH END, IN ACCORDANCE WITH

ACCOMMODATE INTERMEDIATE STUDS. SECURE TRACK TO STUDS AT EACH END, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL INTERMEDIATE STUDS ABOVE AND BELOW OPENINGS IN SAME MANNER AND SPACING AS WALL STUDS.

10 FRAME OPENINGS AND AROUND BUILT—IN EQUIPMENT, CABINETS, ACCESS PANELS, ON FOUR SIDES. EXTEND FRAMING INTO REVEALS. CHECK CLEARANCES WITH EQUIPMENT SUPPLIERS.

11 PROVIDE 400 MM STUD OR FURRING CHANNEL SECURED BETWEEN STUDS FOR ATTACHMENT OF FIXTURES SUCH AS BEHIND LAVATORY BASINS, TOILET AND BATHROOM ACCESSORIES AND OTHER FIXTURES INCLUDING GRAB BARS AND TOWEL RAILS, ATTACHED TO STEEL STUD PARTITIONS,

12 INSTALL STEEL STUDS OR FURRING CHANNEL BETWEEN STUDS FOR ATTACHING ELECTRICAL AND OTHER BOXES.

MAINTAIN CLEARANCES UNDER BEAMS AND STRUCTURAL SLABS TO AVOID TRANSMISSION OF STRUCTURAL LOADS TO STUDS. USE ACCEPTABLE FLEXIBLE RETAINING DEVICE.

14 INSTALL CONTINUOUS INSULATING STRIPS TO ISOLATE STUDS FROM UN-INSULATED SURFACES.

15 INSTALL TWO CONTINUOUS BEADS OF ACOUSTICAL SEALANT UNDER STUDS AND TRACKS AROUND

CEILING SUSPENSION SYSTEM (09130)

PERIMETER OF SOUND CONTROL PARTITIONS.

PART 1 - GENERAL

1 REFERENCE STANDARDS

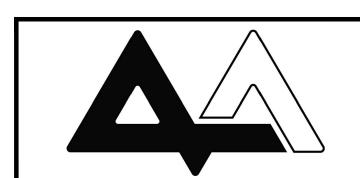
.1 INSTALLATION: IN ACCORDANCE WITH ASTM C636-96, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE

.1 INSTALLATION: IN ACCORDANCE WITH ASTM C636-96, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE PART 2 - PRODUCTS

HEAVY-DUTY SYSTEM TO ASTM C635-00, OR LATEST EDITION.
BASIC MATERIALS FOR SUSPENSION SYSTEM: COMMERCIAL QUALITY COLD ROLLED STEEL

REQUIREMENTS) MADE UP AS FOLLOWS: TWO DIRECTIONAL EXPOSED TEE BAR GRID.

SUSPENSION SYSTEM: NON FIRE-RATED (PROVIDE RATED SYSTEM IS REQUIRED BY CODE



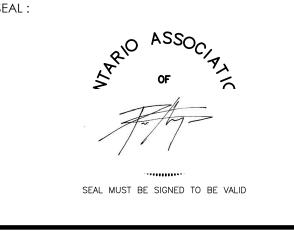
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REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021





Project: WORKSHOP / CUSTOM GARAGE

Drawing Name

**GENERAL NOTES** 

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

Proj no.: 20-914	Date: JULY 2020
Drawn by: JK	Scale: AS NOTED
Checked by: PM	
North:	Drawing No :

# GENERAL NOTES

# **CEILING SUSPENSION SYSTEM (09130)**

PART 2 - PRODUCTS

2.1 MATERIALS

.4 EXPOSED TEE BAR GRID COMPONENTS: SHOP PAINTED SATIN SHEEN WHITE. COMPONENTS DIE CUT. MAIN TEE WITH DOUBLE WEB, RECTANGULAR BULB AND 25 MM ROLLED CAP ON EXPOSED FACE. CROSS TEE WITH RECTANGULAR BULB; WEB EXTENDED TO FORM POSITIVE INTERLOCK WITH MAIN TEE WEBS; LOWER FLANGE EXTENDED AND OFFSET TO PROVIDE FLUSH INTERSECTION. HANGER WRE: GALVANIZED SOFT ANNEALED STEEL WRE, 2.6 MM DIAMETER. HANGER INSERTS: PURPOSE MADE. ACCESSORIES: SPLICES, CLIPS, WIRE TIES, RETAINERS AND WALL MOULDING FLUSH, TO COMPLEMENT SUSPENSION SYSTEM COMPONENTS, AS RECOMMENDED BY SYSTEM MANUFACTURER.

2.2 PRODUCT STANDARD .1 PRELUDE 15/16" SYSTEMS BY ARMSTRONG: COLOUR — WHITE.

# 2.3 SPECIALITY CEILINGS

.1 SUPPLY AND INSTALL SPECIALTY CEILING GRIDS IF INDICATED ON DRAWINGS. INSTALL IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.

#### PART 3 - EXECUTION 3.1 INSTALLATION

INSTALL SUSPENSION SYSTEM TO MANUFACTURER'S INSTRUCTIONS. DO NOT ERECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN REVIEWED BY SECURE HANGERS TO OVERHEAD STRUCTURE USING ATTACHMENT METHODS ACCEPTABLE TO INSTALL HANGERS SPACED AT MAXIMUM 1200 MM CENTERS AND WITHIN 150 MM FROM ENDS OF MAIN

1EES. 5 UNLESS DIMENSIONS SPECIFIED ON DRAWINGS: LAY OUT CENTRE LINE OF CEILING BOTH WAYS, TO PROVIDE BALANCED BORDERS AT ROOM PERIMETER WITH BORDER UNITS NOT LESS THAN 50% OF STANDARD UNIT WIDTH. ENSURE SUSPENSION SYSTEMS ARE CO-COORDINATED WITH LOCATION OF RELATED COMPONENTS.
INSTALL WALL MOULD TO PROVIDE CORRECT CEILING HEIGHT.
COMPLETED SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, SUPPORT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150MM OF EACH CORNER AND AT MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE INTERLOCK CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY
FRAME AT OPENINGS FOR LIGHT FIXTURES, AIR DIFFUSERS, SPEAKERS AND AT CHANGES IN CEILING HEIGHTS.
.12 FINISHED CEILING SYSTEM TO BE SQUARE WITH ADJOINING WALLS AND LEVEL WITHIN 1:1000.

ERECT TWO MAIN RUNNERS PARALLEL, 25 MM APART, ON BUILDING EXPANSION JOINT LINE WHERE APPLICABLE. LAY IN STRIP OF ACOUSTIC TILE/BOARD, PAINTED BLACK, 25% NARROWER THAN SPACE BETWEEN 2 "T"BARS.

## 3.3 - CLEANING

3.2 - EXPANSION JOINTS

.1 TOUCH UP SCRATCHES, ABRASIONS, VOIDS AND OTHER DEFECTS IN PAINTED SURFACES.

# GYPSUM WALL BOARD (09250)

PART 1 - GENERAL

1.1 REFERENCE STANDARDS

.1 DO WORK IN ACCORDANCE WITH ASTM  ${\rm C1396/1396M-02}$ , OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE. PART 2 - PRODUCTS

2.1 GYPSUM BOARD

.1 PLAIN: TO ASTM C1396/1396M-O2, OR LATEST EDITION, STANDARD AND TYPE X 16MM (5/8°) THICK AS NOTED, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT, EDGES .2 WATER RESISTANT BOARD: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD 16MM THICK, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH. 2.2 METAL FURRING AND SUSSPENSION SYSTEMS

METAL FURRING RUNNERS, HANGERS, TIE WIRE INSERTS, ANCHORS: ASTM C1396/C1396M-02, OR LATEST EDITION, GALVANIZED.

2 DRYWALL FURRING CHANNELS: 015 MM CORE THICKNESS GALVANIZED STEEL CHANNELS FOR SCREW ATTACHMENT OF GYPSUM BOARD

2.3 FASTENINGS AND ADHESIVES NAILS, SCREWS AND STAPLES: TO ASTM C1396/C1396M-O2 OR LATEST EDITION. STUD ADHESIVE: TO CGSB 71-GP-25M, OR LATEST EDTION

LAMINATING COMPOUND: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE. 2.5 ACCESSORIES CASING BEADS, CORNER BEADS FILL TYPE: 0.5 MM BASE THICKNESS COMMERCIAL GRADE

SHEET STEEL WITH Z275 ZINC FINISH TO ASTM A653/A653M-00 OR LATEST EDITION, PERFORATED

FLANGES, ONE PIECE LENGTH PER LOCATION.

2 ACOUSTIC SEALANT: TO CGSB 19-GP-21M OR LATEST EDITION .3 POLYETHYLENE: TO CAN/CGSB-51.34-M80, OR LATEST EDITION, TYPE 2.
.4 INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT, 3 MM THICK CLOSED CELL NEOPRENE STRIP, 12 MM WIDE, WITH SELF STICKING PERMANENT ADHESIVE ON ONE FACE, LENGTHS AS .5 JOINT COMPOUNDS: TO ASTM C1396/C1396M-02, OR LATEST EDITION, ASBESTOS-FREE.

PART 3 - EXECUTION

# 3.1 SUSPENDED AND FURRED CEILINGS

.1 ERECT HANGERS AND RUNNER CHANNELS FOR SUSPENDED GYPSUM BOARD CEILINGS IN ACCORDANCE WITH ASTM C1396/C1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

2 SUPPORT LIGHT FIXTURES BY PROVIDING ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150

MM OF EACH CORNER AND AT A MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE.

3 INSTALL WORK LEVEL TO TOLERANCE OF 1:1200.

4 FRAME WITH FURRING CHANNELS, PERIMETER OF OPENINGS FOR ACCESS PANELS, LIGHT
FIXTURES, DIFFUSERS, AND GRILLES. .5 INSTALL 19 X 65 MM FURRING CHANNELS PARALLEL TO, AND AT EXACT LOCATIONS OF STEEL STUD PARTITION HEADER TRACK.

FURR FOR GYPSUM BOARD FACED VERTICAL BULKHEADS WITHIN AND AT TERMINATION CEILINGS. FURR ABOVE SUSPENDED CEILINGS FOR GYPSUM BOARD FIRE AND SOUND STOPS AND TO FORM PLENUM AREAS AS INDICATED.

# 3.3 WALL FURRING

3.2 CEILING BULKHEADS

INSTALL WALL FURRING FOR GYPSUM BOARD WALL FINISHES IN ACCORDANCE WITH ASTM C1396/C1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

.2 FURR OPENINGS AND AROUND BUILT-IN EQUIPMENT, CABINETS, ACCESS PANELS, ETC., ON FOUR SIDES. EXTEND FURRING TO REVEALS. CHECK CLEARANCES WITH EQUIPMENT SUPPLIERS. FURR DUCT SHAFTS, BEAMS, COLUMNS, PIPES AND EXPOSED SERVICES WHERE INDICATED.

# 3.4 GYPSUM BOARD APPLICATION

DO NOT APPLY GYPSUM BOARD UNTIL BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL APPLY SINGLE LAYER GYPSUM BOARD TO METAL FURRING OR FRAMING USING SCREW FASTENERS. .2 APPLY SINGLE LAYER GYPSUM BOARD TO METAL FURNING ON TRAMING COLOR SCIENT FOR THE MAKE SPACING OF SCREWS 300 MM O.C.
.3 APPLY WATER RESISTANT GYPSUM BOARD WHERE WALL TILES ARE TO BE APPLIED AND ADJACENT TO SLOP SINKS AND JANITORS CLOSETS. APPLY WATER-RESISTANT SEALANT TO EDGES, ENDS, CUTOUTS THAT EXPOSE GYPSUM CORE TO FASTENER HEADS. DO NOT APPLY JOINT TREATMENT ON AREAS TO APPLY 12 MM DIAMETER BEAD OF ACOUSTIC SEALANT CONTINUOUSLY AROUND PERIPHERY OF FACH FACE OF PARTITIONING TO SEAL GYPSUM BOARD/STRUCTURE JUNCTION WHERE PARTITIONS ABUT FIXED BUILDING COMPONENTS. SEAL FULL PERIMETER OF CUTOUTS AROUND ELECTRICAL BOXES, DUCTS, IN PARTITIONS WHERE PERIMETER SEALED WITH ACOUSTIC SEALANT. 3.5 FIRE RATED ASSEMBLIES

CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE. ASSEMBLIES SHALL COMPLY WITH PUBLISHED ULC APPROVED ASSEMBLIES.

# 3.6 ACCESSORIES

ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL-LENGTH 1 ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL—LENGTH PIECES WHERE PRACTICAL. MAKE JOINTS TIGHT, ACCURATELY ALIGNED AND RIGIDLY SECURED. MITRE AND FIT CORNERS ACCURATELY, FREE FROM ROUGH EDGES. SECURE AT 150 MM OC. USING CONTACT ADHESIVE FOR FULL LENGTH. USE 200 A TRIM AND J TRIM WHERE APPROPRIATE.

2 INSTALL CASING BEADS AROUND PERIMETER OF SUSPENDED CEILINGS.

3 INSTALL CASING BEADS WHERE GYPSUM BOARD BUTTS AGAINST SURFACES HAVING NO TRIM—CONCEALING JUNCTION AND WHERE INDICATED. SEAL JOINTS WITH SEALANT.

4 INSTALL INSULATING STRIPS CONTINUOUSLY AT EDGES OF GYPSUM BOARD AND CASING BEADS ABUTTING METAL WINDOW AND EXTERIOR DOORFRAMES, TO PROVIDE THERMAL BREAK.

# 3.7 CONTROL JOINTS

CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO, 093 OR APPROVED ALTERNATE PROVIDE CONTINUOUS POLYETHYLENE DUST BARRIER BEHIND AND ACROSS CONTROL JOINTS. .2 FROVIDE CONTINUOUS POLTE INTIENE DUST BARKIER BEHIND AND ACROSS CONTROL JOINTS.

3 LOCATE CONTROL JOINTS WHERE INDICATED, AT CHANGES IN SUBSTRATE CONSTRUCTION, AND AS A MINIMUM AT APPROXIMATE 10 M. SPACING ON LONG CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING ON CEILINGS. LOCATIONS TO BE APPROVED BY CONSULTANT.

4 INSTALL CONTROL JOINTS STRAIGHT AND TRUE.

# 3.8 EXPANSION JOINTS

CONSTRUCT EXPANSION JOINTS AS DETAILED AT BUILDING EXPANSION AND CONSTRUCTION JOINTS. PROVIDE CONTINUOUS DUST BARRIER.

# 3.9 ACCESS DOORS

INSTALL ACCESS DOORS TO ELECTRICAL AND MECHANICAL FIXTURES SPECIFIED IN RESPECTIVE RIGIDLY SECURE FRAMES TO FURRING OR FRAMING SYSTEMS.

3.10 TAPING AND FILLING .1 FINISH FACE PANEL JOINTS AND INTERNAL ANGLES WITH JOINT SYSTEM CONSISTING OF JOINTS COMPOUND, JOINT TAPE AND TAPING COMPOUND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS AND FEATHERED OUT ONTO PANEL FACES. AND FEATHERED OUT ONTO PANEL FACES.

2 FINISH CORNER BEADS, CONTROL JOINTS AND TRIM AS REQUIRED WITH TWO COATS OF JOINT COMPOUND AND ONE COAT OF TAPING COMPOUND, FEATHERED OUT ONTO PANEL FACES.

3 FILL SCREW HEAD DEPRESSIONS WITH JOINT AND TAPING COMPOUNDS TO BRING FLUSH WITH ADJACENT SURFACE OF GYPSUM BOARD SO AS TO BE INVISIBLE AFTER SURFACE FINISH IS COMPLETED.

4 SAND LIGHTLY TO REMOVE BURRED EDGES AND OTHER IMPERFECTIONS. AVOID SANDING ADJACENT .5 COMPLETED INSTALLATIONS TO BE SMOOTH, LEVEL OR PLUMB, FREE FROM WAVES AND OTHER DEFECTS AND READY FOR SURFACE FINISH.

# ACOUSTIC TILE CEILINGS (09511)

PART 1 - GENERAL 1.1 ENVIRONMENTAL CONDITIONS

> PERMIT WET WORK TO DRY BEFORE COMMENCEMENT OF INSTALLATION.
>
> MAINTAIN UNIFORM MINIMUM TEMPERATURE OF 15°C AND HUMIDITY OF 20-40% BEFORE AND DURING 3 STORE MATERIALS IN WORK AREAS 48 HOURS PRIOR TO INSTALLATION.

## .2 MAINTENANCE MATERIALS

.1 PROVIDE ACOUSTICAL UNITS AMOUNTING TO 3% OF GROSS CEILING AREA TO NEAREST FULL CARTON FOR EACH PATTERN AND TYPE REQUIRED FOR PROJECT.

## PART 2 - PRODUCTS

I GENERALLY: ACOUSTIC UNITS FOR SUSPENDED CEILING SYSTEM: TO CAN2-92-1.M, OR LATEST EDITION. STANDARD OF ACCEPTANCE ARMSTRONG FINE FISSURED CEILING TILES #1729 (24"X 48") WITH HUMIGUARD PLUS AND BIO-BLOCK PERFORMANCE. ULC CERT. NRC 0.55.

# PART 2 - EXECUTION

3.1 INSTALLATION

I DO NOT INSTALL ACOUSTICAL PANELS AND TILES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.

.2 COORDINATE CEILING WORK TO ACCOMMODATE COMPONENTS OF OTHER SECTIONS, SUCH AS LIGHT FIXTURES, DIFFUSERS, SPEAKERS AND SPRINKLER HEADS THAT ARE TO BE BUILT INTO ACOUSTICAL CEILING

.1 INSTALL ACOUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
.2 INSTALL ACOUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH WITH DIRECTIONAL PATTERN RUNNING IN SAME DIRECTION UNLESS OTHERWISE NOTED.
.3 SCRIBE ACOUSTIC UNITS TO FIT ADJACENT WORK. BUTT JOINTS TIGHT, TERMINATE EDGES WITH .4 PROVIDE CLIP DOWN FASTENERS WITHIN FIRST 10' OF CEILING ADJACENT TO EXTERIOR VESTIBULES AND TO A 15' DISTANCE AWAY FROM EXTERIOR DOORS WITHOUT VESTIBULES. THIS IS TO ELIMINATE WIND LIFTING.

# **PAINTING (09900)**

PART 1 - GENERAL

I.1 DESCRIPTION 1 SECTION INCLUDES: ALL LABOUR, MATERIALS, TOOLS AND OTHER EQUIPMENT, SERVICES AND SUPERVISION REQUIRED TO COMPLETE ALL EXTERIOR AND INTERIOR PAINTING AND DECORATING WORK AS INDICATED ON FINISH SCHEDULES AND TO THE FULL EXTENT OF THE DRAWINGS AND SPECIFICATIONS.

2 WORK UNDER THIS CONTRACT SHALL ALSO INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:

A SURFACE PREPARATION OF SUBSTRATES AS REQUIRED FOR ACCEPTANCE OF PAINTING, INCLUDING CLEANING, SMALL CRACK REPAIR, PATCHING, CAULKING AND MAKING GOOD SURFACES AND AREAS TO THE LIMITED DEFINED UPPER MP PREPARATION REQUIREMENTS.

. B SURFACE PREPARATION AND PRIME PAINTING SURFACES FOR WALL COVERING PRIOR TO INSTALLATION IN ACCORDANCE WITH MPI AND WALL COVERING MANUFACTURER'S REQUIREMENTS. . C PRIMING (EXCEPT WHERE PRE-PRIMED WITH AN APPROVED PRIMER UNDER OTHER SECTIONS OF WORK) AND PAINTING OF STRUCTURAL STEEL, MISCELLANEOUS METAL, AND ORNAMENTAL METAL AND PRIMED D PAINTING OF EXPOSED TO VIEW MECHANICAL (HEATING, VENTILATING AND PLUMBING) SERVICES AND EQUIPMENT, E.G. DUCTS, SPRINKLER PIPING ETC., AND ELECTRICAL WORK TO EXTENT NOTED ON FINISH SCHEDULE UNLESS PRE—FINISHED. PROVISION OF SAFE AND ADEQUATE VENTILATION AS REQUIRED OVER AND ABOVE TEMPORARY

THE LATEST EDITION OF THE FOLLOWING REFERENCE STANDARDS SHALL GOVERN ALL PAINTING WORK: A ARCHITECTURAL PAINTING SPECIFICATIONS MANUAL (MPI) INCLUDING IDENTIFIERS, EVALUATION, SYSTEMS, PREPARATION AND APPROVED LIST. TEST METHOD FOR MEASURING TOTAL VOLATILE ORGANIC COMPOUND CONTENT OF CONSUMER PRODUCTS, METHOD 24 (FOR SURFACE COATINGS) ON THE ENVIRONMENTAL PROTECTION AGENCY (EPA). .C NATIONAL FIRE CODE OF CANADA.

VENTILATION SUPPLIED BY OTHERS, WHERE TOXIC AND/OR VOLATILE/FLAMMABLE MATERIALS ARE BEING

.1 CONFORM TO THE LATEST EDITION OF INDUSTRIAL HEALTH AND SAFETY REGULATIONS ISSUED BY APPLICABLE AUTHORITIES HAVING JURISDICTION IN REGARD TO SITE SAFETY (LADDERS, SCAFFOLDING, VENTILATION ETC.)

.2 CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION IN REGARD TO THE STORAGE, MIXING, APPLICATION AND DISPOSAL OF ALL PAINT AND RELATED WASTE MATERIALS. REFER TO WASTE MANAGEMENT AND DISPOSAL.

# 4 PRODUCT DELIVERY, STORAGE AND HANDLING

.1 DELIVER ALL PAINTING MATERIALS IN SEALED, ORIGINAL LABELED CONTAINERS BEARING MANUFACTURER'S NAME, BRAND NAME, TYPE OF PAINTING OR COATING AND COLOUR DESIGNATION STANDARD COMPLIANCE, MATERIALS CONTENT AS WELL AS MIXING AND/OR REDUCTION AND APPLICATION 2 STORAGE ALL PAINT MATERIALS IN ORIGINAL LABELLED CONTAINERS IN A SECURE, DRY, HEATED AND WELL VENTILATED SINGED DESIGNATED AREA MEETING THE MINIMUM REQUIREMENTS OF THE PAINT MANUFACTURING AND (MPI) AND AT A MINIMUM AMBIENT TEMPERATURE OF 45°F (7° C).
ONLY MATERIAL USED ON THIS PROJECT TO BE STORED ON SITE.

3 TAKE ALL NECESSARY PRECAUTIONARY AND SAFETY MEASURES TO PREVENT FIRE HAZARD AND SPONTANEOUS COMBUSTION AND TO PROTECT THE ENVIRONMENT FROM HAZARD SPILLS.

# 1.5 PROJECT/SITE REQUIREMENTS

.1 PERFORM NO PAINTING OR DECORATING WORK WHEN THE AMBIENT AIR AND SUBSTRATE TEMPERATURES ARE BELOW 50°F (10° C) BOTH INTERIOR AND EXTERIOR WORK.

2 WHERE REQUIRED, SUITABLE WEATHERPROOF COVERING AND SUFFICIENT HEATING FACILITIES SHALL BE IN PLACE TO MAINTAIN MINIMUM AMBIENT AIR AND SUBSTRATE TEMPERATURES FOR 24 HOURS BEFORE,
DURING AND AFTER PAINT APPLICATION.

3 PERFORM NO INTERIOR PAINTING OR DECORATING WORK UNLESS ADEQUATE CONTINUOUS VENTILATION AND SUFFICIENT HEATING FACILITIES ARE IN PLACE TO MAINTAIN AMBIENT AIR AND SUBSTRATE TEMPERATURES ABOVE MINIMUM REQUIREMENTS FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION. PROVIDE SUPPLEMENTAL VENTILATING AND HEATING EQUIPMENT IF VENTILATION AND HEATING FROM EXISTING SYSTEM IS INADEQUATE TO MEET MINIMUM REQUIREMENTS.

4 PERFORM NO PAINTING OR DECORATING WORK WHEN THE MAXIMUM MOISTURE CONTENT OF THE SUBSTRATE EXCEEDS:

12% FOR CONCRETE AND MASONRY (CLAY AND CONCRETE BRICK/BLOCK)

12% FOR PLASTER AND GYPSUM BOARD.
PERFORM NO PAINTING OR DECORATING WORK THE RELATIVE HUMIDITY IS ABOVE 85% OR WHEN THE DEW POINT IS LESS THAN 5° F (3°C) VARIANCE BETWEEN THE AIR/SURFACE TEMPERATURES.

.6 CONDUCT ALL MOISTURE TESTS USING A PROPERLY CALIBRATED ELECTRONIC MOISTURE METER, EXCEPT TEST CONCRETE FLOORS FOR MOISTURE USING A SIMPLE COVER PATCH TEST. TEST CONCRETE, MASONRY AND PLASTER SURFACES FOR ALKALINITY AS REQUIRED. DO NOT APPLY PAINT ON ANY FLOORS THAT HAVE RECEIVED ARDEX SELF-LEVELLING PRODUCT.

NOTE: CONCRETE AND MASONRY SURFACES MUST BE INSTALLED AT LEAST 28 DAYS PRIOR TO PAINTING AND DECORATING WORK AND MUST BE VISUALLY DRY ON BOTH SIDES.

.8 APPLY PAINT ONLY TO DRY, CLEAN, PROPERLY CURED AND ADEQUATELY PREPARED SURFACES IN AREAS WHERE DUST IS NO LONGER GENERATED BY CONSTRUCTION ACTIVITIES SUCH THAT AIRBORNE PARTICLES WILL NOT AFFECT THE QUALITY OF FINISHED SURFACES. PERFORM NO PAINTING OR DECORATING WORK UNLESS A MINIMUM LIGHTING LEVEL OF (30 FOOT CANDLES) IS PROVIDED ON SURFACED TO BE PAINTED OR DECORATED. ADEQUATE LIGHTING FACILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

.1 AT PROJECT COMPLETION PROVIDE 4 LITRES (1 GALLON) OF EACH TYPE AND COLOUR OF PAINT FROM SAME PRODUCTION RUN (BATCH MIX) USED IN OPENED CANS. FULL UNOPENED CANS OF SURPLUS PAINT, PROPERLY LABELED AND IDENTIFIED FOR TENANT'S LATER USE IN MAINTENANCE.

# 7 WASTE MANAGEMENT AND DISPOSAL

1 PAINT, STAIN AND WOOD PRESERVATIVE FINISHES AND RELATED MATERIALS, (THINNERS, SOLVENTS, ETC.) ARE REGARDED AS HAZARDOUS PRODUCTS AND ARE SUBJECT TO REGULATIONS FOR DISPOSAL. OBTAIN INFORMATION OF THESE CONTROLS FROM APPLICABLE LOCAL GOVERNMENT DEPT. HAVING 304130111001.

2. ALL WASTE MATERIALS SHALL BE SEPARATED AND RECYCLED. WHERE PAINT RECYCLING IS
AVAILABLE, COLLECT WASTE PAINT BY TYPE AND PROVIDE FOR DELIVERY TO RECYCLING OR COLLECTION

#### 1.8 GUARANTEE .1 FURNISH TWO (2) YEAR GUARANTEE.

PART 2 - PRODUCTS

QUALIFIED PAINTING PRODUCTS: PAINT PRODUCTS TENANT - NO ALTERNATES UNLESS APPROVED OR SPECIFIED BY IENANY.

2. OTHER MATERIALS SUCH AS LINSEED OIL, SHELLAC, THINNERS, SOLVENTS ETC. SHALL BE THE HIGH
QUALITY PRODUCT AND SHALL BE COMPATIBLE WITH PAINT MATERIALS BEING SUED. PAINT MATERIALS: TO (MPI) STANDARDS.
PAINT MATERIALS FOR EACH COATING FORMULAE TO BE PRODUCTS OF A SINGLE MANUFACTURER.

2.2 EQUIPMENT: .1 PAINTING AND DECORATING EQUIPMENT: TO BEST TRADE STANDARDS FOR TYPE OF PRODUCT AND

APPLICATION.
2.3 MIXING AND TINTING .1 UNLESS OTHERWISE SPECIFIED HEREIN OR PRE—APPROVED, ALL PAINT SHALL BE READY—MIXED AND PRE—TINTED. RE—MIX ALL PAINT IN CONTAINERS PRIOR TO AND DURING APPLICATION TO ENSURE BREAK UP OF LUMPS, COMPLETE DISPERSION OF SETTLED PIGMENT, AND COLOUR AND GLOSS UNIFORMITY. 2 WHERE THINNER IS USED, ADDITION SHALL NOT EXCEED PAINT MANUFACTURER'S RECOMMENDATIONS. TO NOT USE KEROSENE OR ANY SUCH ORGANIC SOLVENTS TO THIN WATER-BASED PAINTS. 3 IF REQUIRED. THIN PAINT FOR SPRAYING ACCORDING IN STRICT ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. IF DIRECTIONS ARE NOT ON CONTAINER, OBTAIN INSTRUCTION IN WRITING FROM MANUFACTURER.

# 2.4 FINISH AND COLOURS: .1 REFER TO FINISH SCHEDULE FOR IDENTIFICATION AND LOCATION OF COLOURS.

#### PART 3 - EXECUTION 3.1 PREPARATION OF SURFACES

.1 PREPARE ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGERS TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING. WOOD SURFACES
USE CGSB 1-GP-126M (OR LATEST EDITION) VINYL SEALER OVER KNOTS AND RESINOUS AREAS.
APPLY WOOD FILLER TO NAIL HOLES AND CRACKS.
TINT FILLER TO MATCH STAINS FOR STAINED WOODWORK.
TOUCH UP PAINT PRIMER ON

GALVANIZED STEEL AND ZINC AND CONCRETE SURFACES.
MASONRY, STUCCO AND CONCRETE SURFACES.
CONCRETE FLOORS. PLASTER AND WALLBOARD SURFACES. FILL MINOR CRACKS WITH PLASTER PATCHING COMPOUND.

 $.2\,$  Sand, clean, dry, etch, neutralize and/or test all surfaces under adequate illumination, ventilation and temperature requirements.

# PAINTING (09900) CONT.

3.1 PREPARATION OF SURFACES

REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENINGS .3 REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENINGS
(E.G. ELECTRICAL PLATES, MECHANICAL LOUVERS, DOOR AND WINDOW HARDWARE (E.G. HINGES, KNOBS,
LOCKS, TRIM, FRAME STOPS), REMOVABLE RATING/HAZARD/INSTRUCTION LABELS, WASHROOM ACCESSORIES,
LIGHT FIXTURE TRIM, ETC. FROM WALL AND CEILING SURFACES, DOORS AND FRAMES, PRIOR TO PAINTING.
CAREFULLY CLEAN REPLACE ALL SUCH ITEMS UPON COMPLETION OF PAINTING WORK IN EACH AREA. DO
NOT USE SOLVENT OR REACTIVE CLEANING AGENTS ON ITEMS THAT WILL MAR OR REMOVE FINISHES.
4 PROTECT ALL ADJACENT INTERIOR SURFACES AND AREAS, INCLUDING RATING AND INSTRUCTION
LABELS ON DOORS, FRAMES, EQUIPMENT, PIPING ETC., FROM PAINTING OPERATIONS AND DAMAGE BY DROP
CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY
DAMAGE CAUSED BY FAILURE TO PROVIDE SUCH PROTECTION.
5 SUBSTRATE DEFECTS SHALL BE MADE GOOD AND SANDED BY OTHERS READING FOR PAINTING
PARTICULARLY AFTER THE FIRST COAT OF PAINT. START OF FINISHING PAINTING OF DEFECTIVE SUFFACES (E.G. GYPSUM BOARD) SHALL INDICATE ACCEPTANCE OF SUBSTRATE AND ANY COSTS OF MAKING GOOD DEFECTS SHALL BE BORNE BY THE PAINTER INCLUDING RE-PAINTING OF ENTIRE DEFECTIVE SURFACE (NO

.1 DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER TRADE WORK) ARE ACCEPTABLE FOR APPLICATION OF PRODUCTS.

2 APPLY PAINT OR STAIN IN ACCORDANCE WITH (MPI) FINISH REQUIREMENTS.
3 APPLY PAINT AND DECORATING IN A WORKMANLIKE MANNER USING SKILLED AND TRADE QUALIFIED PPLICATORS AS NOTED UNDER QUALITY ASSURANCE. 4 UNLESS OTHERWISE APPROVED BY TENANT, APPLY A MINIMUM OF THREE (3) COATS OF PAINT WHERE DEEP OR BRIGHT COLOURS ARE USED TO ACHIEVE SATISFACTORY RESULTS.

.5 SAND AND DUST BETWEEN EACH COAT TO PROVIDE AN ANCHOR FOR THE NEXT COAT TO REMOVE DEFECTS VISIBLE FROM A DISTANCE UP TO 1000M (39"). DO NOT APPLY FINISHES ON SURFACES THAT ARE NOT SUFFICIENTLY DRY. UNLESS MANUFACTURER'S IRECTIONS STATE OTHERWISE, EACH COAT SHALL BE SUFFICIENTLY DRY AND HARD BEFORE A FOLLOWING

PAINT FINISH SHALL CONTINUE THROUGH BEHIND ALL WALL-MOUNTED ITEMS (CORKBOARDS, SLATWALL

3.3 MECHANICAL AND ELECTRICAL EQUIPMENT

IN OFFICES AND WAREHOUSES ETC.)

NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING.

1 PAINT EXPOSED CONDUITS, PIPES, HANGERS AND OTHER MECHANICAL AND ELECTRICAL EQUIPMENT OCCURRING IN FINISHED AREAS AS WELL AS INSIDE CUPBOARDS AND CABINETWORK. COLOUR AND TEXTURE TO MATCH ADJACENT SURFACES, EXCEPT AS NOTED OTHERWISE.

2 PAINT PIPING, CONDUITS, DUCTWORK AND OTHER UNFINISHED EQUIPMENT IN BOILER ROOM, MECHANICAL ROOMS AND ELECTRICAL ROOMS. IN OTHER UNFINISHED AREAS LEAVE EQUIPMENT, PIPING, CONDUITS, HANGERS ETC., IN ORIGINAL FINISH AND TOUCH UP SCRATCHES AND MARKS.

3 KEEP SPRINKLER HEADS FREE OF PAINT. PAINT INSIDE OF DUCTWORK WHERE VISIBLE WITH PRIMER AND ONE COAT OF MATT BLACK PAINT

5 PAINT DISCONNECT SWITCHES FOR FIRE ALARM SYSTEM AND EXIT LIGHT SYSTEMS IN RED ENAMEL.
6 PAINT BOTH SIDES AND EDGES OF PLYWOOD BACKBOARDS FOR EQUIPMENT BEFORE INSTALLATION.
LEAVE EQUIPMENT IN ORIGINAL FINISH EXCEPT FOR TOUCH-UPS AS REQUIRED, AND PAINT CONDUITS, MOUNTING ACCESSORIES AND OTHER UNFINISHED ITEMS.

7 PRIMED FERROUS METAL SURFACES APPLY:

ONE COAT SPOT PRIMING. ONE COAT ENAMEL UNDERCOAT TWO COATS SEMI-GLOSS ENAME

GALVANIZED AND ZINC COATED METAL ONE COAT VINYL WASH PRIMER. ONE COAT ENAMEL LINDERCOAT

TWO COATS SEMI-GLOSS ENAMEL.
ZINC COATED METAL DECKING APPLY ONE COAT VINYL WASH PRIMER. ONE COAT ENAMEL UNDERCOAT ONE COAT FLAT PAINT. INSULATION COVERING APPLY:

ONE COAT GLOSS ENAMEL ONE COAT SEMI-GLOSS ENAMEL ONE COAT VINYL WASH PRIMER.

ONE COAT SEMI-GLOSS ENAMEL.

ONE COAT TINTED ENAMEL UNDERCOAT.

ONE COAT TINTED ENAMEL UNDERCOAT.

# 3.4 FXTERIOR FINISHES

NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING .1 WOOD TO RECEIVE PAINT FINISH APPLY:

ONE COAT EXTERIOR PRIMER. TWO COATS EXTERIOR HOUSE PAINT PRIMED FERROUS METAL SURFACES APPLY

ONE COAT SPOT PRIMING. ONE COAT EXTERIOR ENAMEL.
GALVANIZED AND ZINC COATED METAL APPLY.

ONE COAT VINYL WASH PRIMER. ONE COAT STEEL PRIMER.

TWO COATS EXTERIOR ENAMEL.

MASONRY, CONCRETE AND CEMENT PLASTER SURFACES WHERE DESIGNATED TO RECEIVE FINISH APPLY:

.4 MASONRY, CONCRETE AND CEMENT PLASTER SURFACES WHERE DESIGNATED TO RECEIVE FINISH APPLY:

o) TWO COATS EXTERIOR MASONRY COATING.

5 FOR EXTERIOR HARD SLICK SURFACES, SUCH AS ALUMINUM, PRE—FINISHED OR ENAMELED METAL:
USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURERS EXACT SPECIFICATIONS.
SOLVENT ONLY M96-00 BONDING PRIMER SOLVENT. DEGREASE SURFACES WITH SOLVENT OR COMMERCIAL
DEGREASERS AND ROUGHEN WITH 3M SCOTCHBRITE PADS OR EQUAL. EXTERIOR COLOUR TYPICALLY TO BE
BENJAMIN MOORE #798 — BLUE. WHEN IN CLOSE PROXIMITY TO NEW PRE—FINISHED METAL SUCH AS VIC
WEST QC-790 FINISH, BENJAMIN MOORE PAINT TO BE CUSTOM COLOUR MATCHED TO THAT SURFACE. NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING.

METAL DOORS AND FRAMES: ONE COAT OF ALKYD PRIMER TWO COATS HIGH GLOSS ALKYD - IMPERVO C133 (ALLOW 1ST COAT TO DRY OVERNIGHT). DRYWALL PARTITIONS:

ONE COAT LATEX PRIMER/SEALER TWO COATS INTERIOR ACRYLIC LATEX SEMI-GLASS ENAMEL

ONE COAT LATEX PRIMER/SEALER

TWO COATS LOW-LUSTRE LATEX.
MASONRY WALLS: ONE COAT BLOCK FILLER MOORECRAFT SUPER CRAFT LATEX BLOCK FILLER #285 ONE COAT LATEX PRIME SEAL

TWO COATS LATEX SEMI-GLOSS METAL HANDRAILS/STRINGERS/RISERS, ETC.

ONE COAT IRONCLAD LOW LUSTER ENAMEL TWO COATS IMPERVO HIGH GLOSS — BENJAMIN MOORE AS PER FINISH SCHEDULE.
FOR NEW CONCRETE FLOORS AND ALL NEW EXPOSED CONCRETE AREAS WITHIN CONFINES OF THE

a) TWO COATS CLEAR SEAL — CORONADO INDUSTRIAL COATINGS.
FOR EXISTING TREATED CONCRETE FLOORS AND SIMILAR EXPOSED CONCRETE AREAS WITHIN CONFINES OF b) TWO COATS GREY EPOXY FLOOR PAINT — BENJAMIN MOORE OR APPROVED ALTERNATE. ALL EXISTING TILES, ADHESIVES ETC., TO BE COMPLETELY REMOVED FROM FLOORS PRIOR TO ANY FINISHING. NOTE:

ANY CRACKED OR DAMAGED FLOORS TO BE REPAIRED BEFORE PAINTING — CONCRETE REPAIR FOR LARGER DAMAGE, EPOXY INJECTION FOR CRACKS ET PAINT YELLOW EXIT LINES ON FLOOR PRIOR TO INSTALLATION OF CLEAR SEAL.

# NOTE: DO NOT PAINT FLOOR TREATED WITH ARDEX .

3.5 FIELD QUALITY CONTROL/ STANDARD OF ACCEPTANCE: PAINTED EXTERIOR AND INTERIOR SURFACES SHALL BE CONSIDERED TO LACK UNIFORMITY AND SOUNDNESS IF ANY OF THE FOLLOWING DEFECTS ARE APPARENT. .A BRUSH/ROLLER MARKS, STREAKS, LAPS, RUNS, SAGS, DRIPS, HEAVY STIPPLING, HIDING OR SHADING BY INEFFICIENT APPLICATION METHODS, SKIPPED OR MISSED AREAS, AND FOREIGN MATERIALS IN PAINT EVIDENCE OF POOR COVERAGE AT RIVET HEADS, PLATE EDGES, LAP JOINTS, CREVICES, POCKETS, DAMAGE DUE TO TOUCHING BEFORE PAINT IS SUFFICIENTLY DRY OR ANY OTHER CONTRIBUTORY DAMAGE DUE TO APPLICATION ON MOIST SURFACES OR CAUSED INADEQUATE PROTECTION FROM DAMAGE AND/OR CONTAMINATION OF PAINT DUE TO BLOWN CONTAMINANTS (DUST, SPRAY PAINT PAINTED SURFACES SHALL BE CONSIDERED UNACCEPTABLE IF ANY OF THE FOLLOWING ARE EVIDENT INDER NATURAL LIGHTING SOURCE FOR EXTERIOR SURFACES AND FINAL LIGHTING SOURCE (INCLUDING DAYLIGHT) FOR INTERIOR SURFACES.

.A VISIBLE DEFECTS ARE EVIDENT ON VERTICAL SURFACES WHEN VIEWED AT NORMAL VIEWING ANGLES FROM A DISTANCE OF NOT LESS THAN 1000 MM (39°).

B VISIBLE DEFECTS ARE EVIDENT ON HORIZONTAL SURFACES WHEN VIEWED AT NORMAL ANGLES FROM A DISTANCE OF NOT LESS THAN 1000 MM (39'). .C. VISIBLE DEFECTS ARE EVIDENT ON CEILING, SOFFIT AND OTHER OVERHEAD SURFACES WHEN VIEWED AT NORMAL VIEWING ANGLES. .D. WHEN THE FINAL COAT OF ANY SURFACE EXHIBITS A LACK OF UNIFORMITY OF COLOUR, SHEEN, TURE, AND HIDING ACROSS FULL SURFACE AREA. REJECTED AREAS:

.3 KEJECTED AREAS:

0. SMALL AFFECTED AREAS MAY BE TOUCHED UP

b. LARGE AFFECTED AREAS OR AREAS WITHOUT SUFFICIENT DRY FILM THICKNESS OF PAINTED SHALL BE REPAINTED. RUNS, SAGS OF DAMAGED PAINT SHALL BE REMOVED BY SCRAPER OR BY SANDING PRIOR TO APPLICATION OF PAINT

3.6 PROTECTION PROTECT ALL INTERIOR AND EXTERIOR SURFACES AND AREAS, INCLUDING LANDSCAPING, WALKS, DRIVES, ALL ADJACENT BUILDING SURFACES, (INCLUDING GLASS, ALUMINUM SURFACES, ETC.) AND EQUIPMENT AND ANY LABELS AND SIGNAGE FROM PAINTING OPERATIONS AND DAMAGED BY DROP CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY DAMAGED CAUSED BY FAILURE TO PROVIDE SUCH PROTECTION.

# 3.7 CLEAN UP

1 REMOVE ALL PAINT WHERE SPILLED, SPLASHED, SPLATTERED OR SPRAYED AS WORK PROGRESSES JSING MEANS AND MATERIALS THAT ARE NOT DETRIMENTAL TO AFFECTED SURFACES.
2 REMOVE COMBUSTIBLE RUBBISH MATERIALS AND EMPTY PAINT CANS EACH DAY AND SAFELY DISPOSE F SAME IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CLEAN EQUIPMENT AND DISPOSE OF WASH WATER/SOLVENTS AS WELL AS ALL OTHER CLEANING AND PROTECTIVE MATERIALS (E.G. RAGS, DROP CLOTHS, MASKING PAPER ETC.,) PAINTS, THINNERS, PAINT REMOVERS/STRIPPERS IN ACCORDANCE WITH THE SAFETY REQUIREMENTS OF AUTHORITIES HAVING

ALUMINUM SPANDREL PANEL (06220) \* UNLESS NOTED OTHERWISE

1.1 WORK INCLUDED FURNISH LABOUR, MATERIALS AND SERVICES FOR THE COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF SERIES 5000 FRAMING SYSTEM MANUFACTURED BY COMMDOOR ALUMINUM. WORK TO INCLUDE ALL NECESSARY ACCESSORIES, ANCHORS AND SEALANTS AS REQUIRED BASED ON THE PURCHASE AGREEMENT.

STRUCTURAL STEEL, WOOD BLOCKING OR FRAMING, INTERIOR TRIMS, CONCRETE MASONRY, FINAL CLEANING, PROTECTION, RELATED WORK SPECIFIED ELSEWHERE, CONVECTOR COVERS AND TRIMS AND

1.3 DESIGN THE 5000 SERIES CURTAIN WALL SYSTEM TO BE DESIGNED BASED ON THE "OPEN RAIN SCREEN" AND "PRESSURE EQUALIZATION" PRINCIPLES.

DEFLECTION OF THE VERTICAL MULLION TO BE < 1/175 OF THE SPAN AT THE SPECIFIED PRESSURE PERMANENT DEFORMATION OF VERTICAL MULLION TO BE < 0.2 % OF THE LENGTH OF THE MULLION.

5 QUALITY ASSURANCE THE 5000 SERIES 2" CURTAIN WALL SYSTEM SUPPLIED UNDER THIS SPECIFICATION MUST COMPLY TO THE PERFORMANCE REQUIREMENTS OF THE CANADIAN STANDARDS ASSOCIATION CAN3-A440-M90, CLASSIFICATION FIXED. B7. C5. I=52.1. A COPY OF THE TEST REPORT FROM AN INDEPENDENT TESTING

LABORATORY CERTIFYING COMPLIANCE MUST BE FURNISHED UPON REQUEST BY THE OWNER/ARCHITECT.

ALL WORK OF THIS SECTION SHALL BE EXECUTED IN STRICT ACCORDANCE WITH APPROVED SHOP DRAWINGS.

7 WARRANTY THE WORK OF THIS SECTION SHALL BE GUARANTEED AGAINST DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF CERTIFICATE OF SUBSTANTIAL

# PART II PRODUCTS

2.1 MATERIALS 2.1.1 ALUMINUM EXTRUSION a) ALL EXTRUDED ALUMINUM SECTIONS TO BE 6063-T6 ALLOY OR EQUIVALENT.

b) FRAME MEMBERS (BACK SECTION) SIZE WILL BE BASED ON PUBLISHED WIND LOAD CHARTS TO MEET SPECIFIED WIND LOAD. BACK SECTION TO BE 1" (25.4MM) PART NUMBER 5000-101. FOR 1/4" SINGLE GLAZED USE SINGLE GLAZING ADAPTOR 5000-111.

2.1.2 THERMAL BREAK

IF APPLICABLE, EXTRUDED VIRGIN POLYVINYL CHLORIDE (P.V.C). 2.1.3 GLAZING MATERIAL 1. MACRO-POLYISOBUTYLENE TAPE WITH A CONTINUOUS BUILT IN SHIM; HIGHLY

2. EXTRUDED THERMOPLASTIC ELASTOMERS GASKET. EXTRUDED THERMOPLASTIC ELASTOMERS GASKET.

2.1.4 FASTENERS FASTENERS SHALL BE ZINC PLATED.

ADHESIVE AND ELASTIC, OR

FABRICATION WILL BE CARRIED OUT ACCORDING TO THE APPROVED SHOP DRAWINGS. ALL JOINTS WILL BE ASSEMBLED TIGHT USING MANUFACTURES PROVIDED ASSEMBLY BRACKETS TO MAINTAIN THE PRODUCT DESIGN PERFORMANCE.

# 2.3 FINISH

ANODIC OXIDE TREATMENTS ARE TO BE PROCESSED IN ACCORDANCE WITH AAMA DESIGNATIONS. M12C22A31 CLASS II DESIGNATION IS FOR #17 CLEAR ANODIZED FINISH (0.0004). M12C22A41 CLASS I DESIGNATION IS FOR #14 CLEAR ANODIZED FINISH (0.0007) AND COLOUR FINISHES SUCH AS #26 LIGHT BRONZE, #40 BRONZE AND #29 BLACK.

THERMOSETTING ACRYLIC ENAMEL COATING IS TO BE APPLIED IN ACCORDANCE WITH AAMA 603.8. SPECIFY COLOUR AND TYPE FROM PPG STANDARD CHARTS.

2.3.3 FLUOROPOLYMER PAINT COATING BASED ON KYNAR 500 RESINS ARE TO BE APPLIED IN ACCORDANCE AAMA 605. SPECIFY COLOUR

# PART III EXECUTION

FROM VALSPAR CURRENT CHART.

ALUMINUM SHALL BE ISOLATED FROM CONCRETE, MORTAR, PLASTER AND DISSIMILAR MATERIALS WITH A COATING OF BITUMINOUS PAINT. EXPOSED ALUMINUM SURFACE SHALL BE PROTECTED FROM LONG TERM CONTAMINATION OF MORTAR, CONCRETE, PAINT, MUD, ETC. DOORS AND DOOR FRAMES SHALL BE PROTECTED FROM IMPACT DAMAGE BY WOOD SHEATHING AND PLASTIC WRAPS.

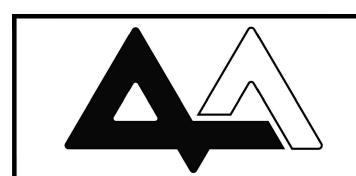
# 3.2 INSTALLATION

COMMDOOR PRODUCTS TO BE INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND IN CONJUNCTION WITH APPROVED SHOP DRAWINGS. THE WORK SHALL BE PERFORMED BY QUALIFIED SKILLED PERSONNEL USING PROPER EQUIPMENT IN ORDER TO EXPEDITE THE PROJECT IN AN EFFICIENT PROFESSIONAL MANNER.

INTERIM AND FINAL CLEANING SHALL BE PERFORMED IN ACCORDANCE WITH THE GENERAL CONDITIONS LISTING METHODS OUTLINED IN AAMA 609 & 610-02 (2002).

# **NOT USED**

NOT USED



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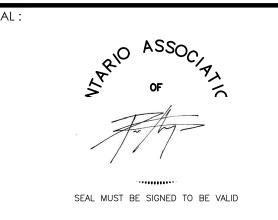
must assume full responsibility and bear costs for any

corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021



TEL: 647.352.2121



WORKSHOP / CUSTOM GARAGE

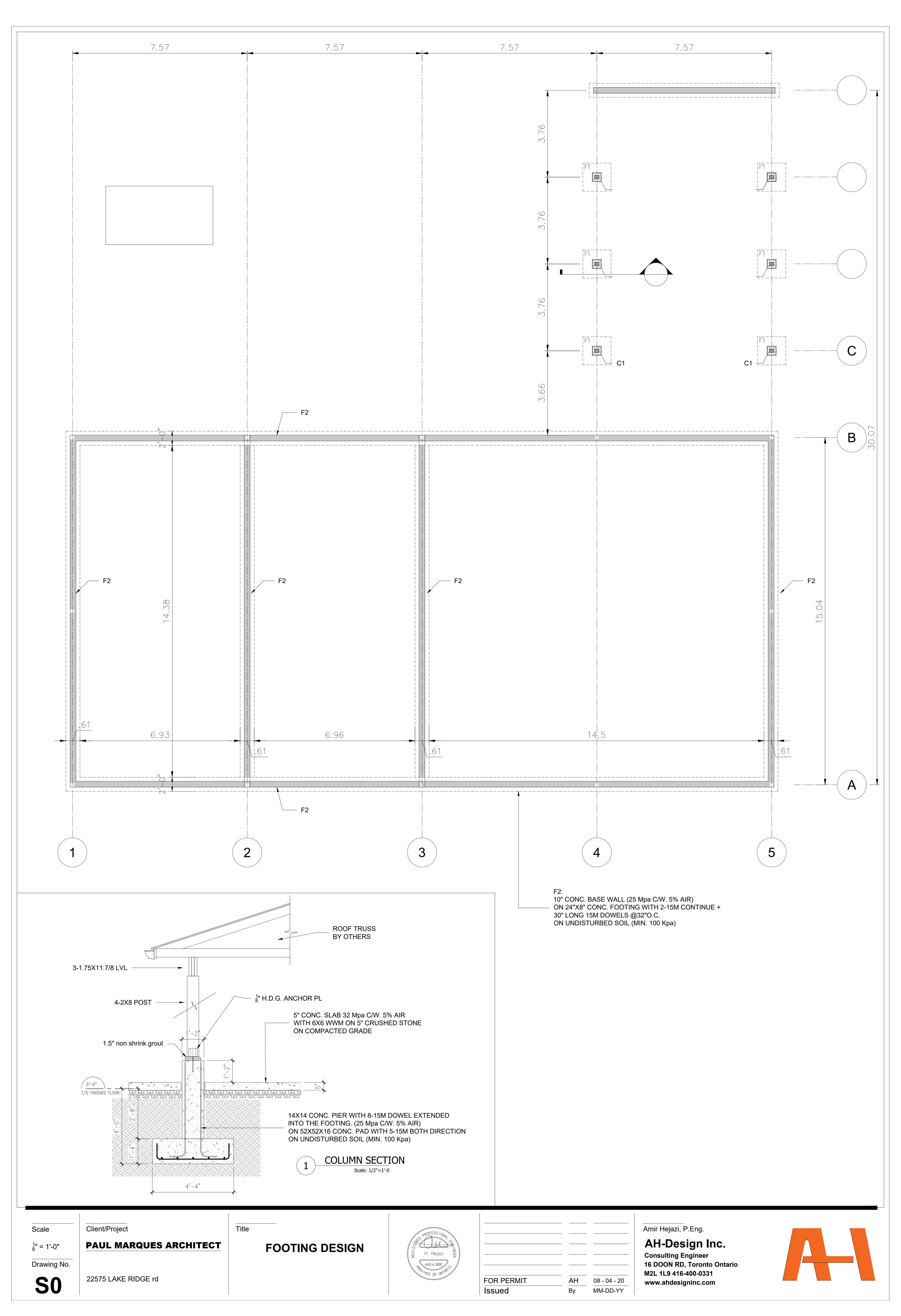
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

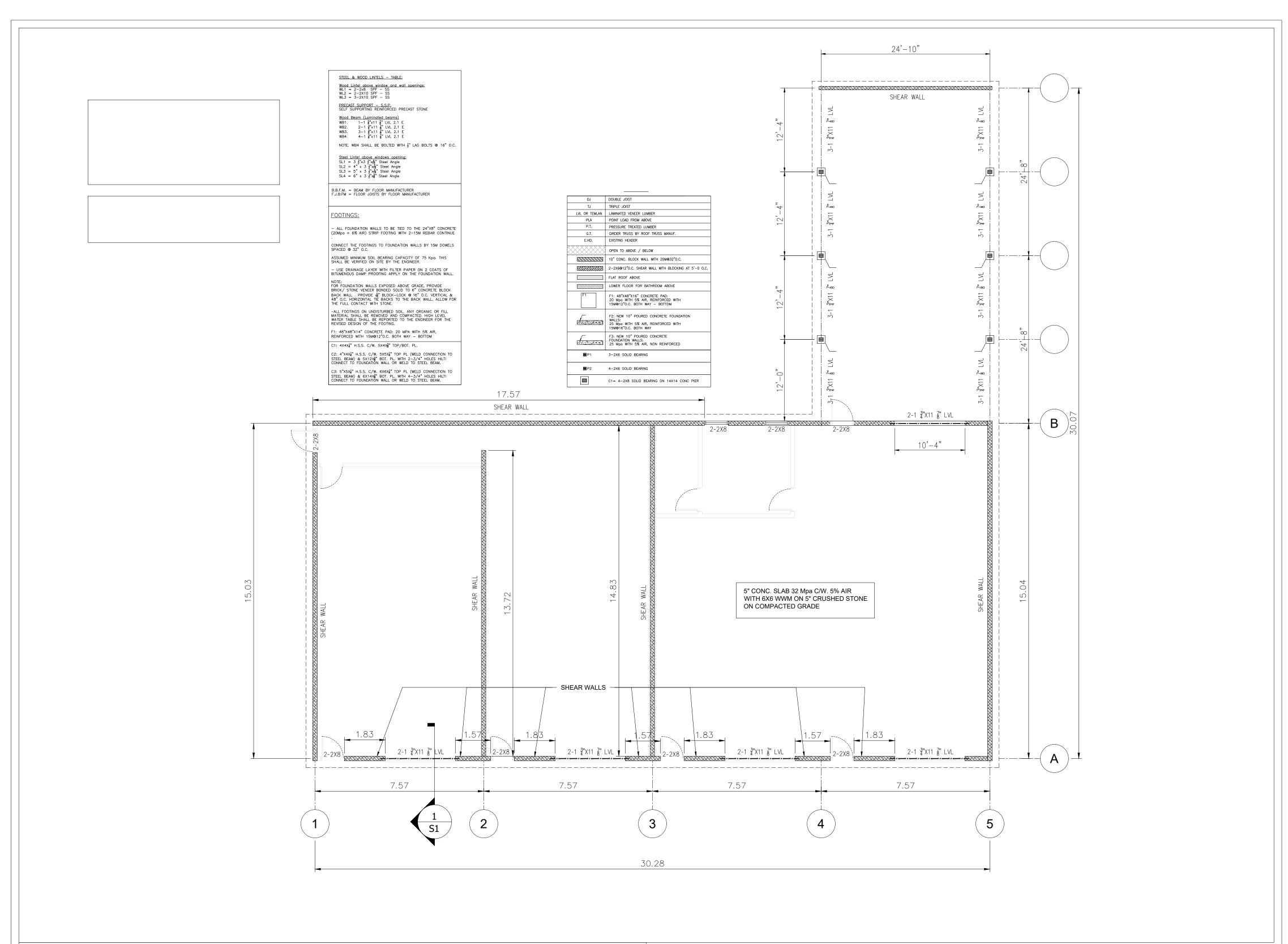
GENERAL NOTES

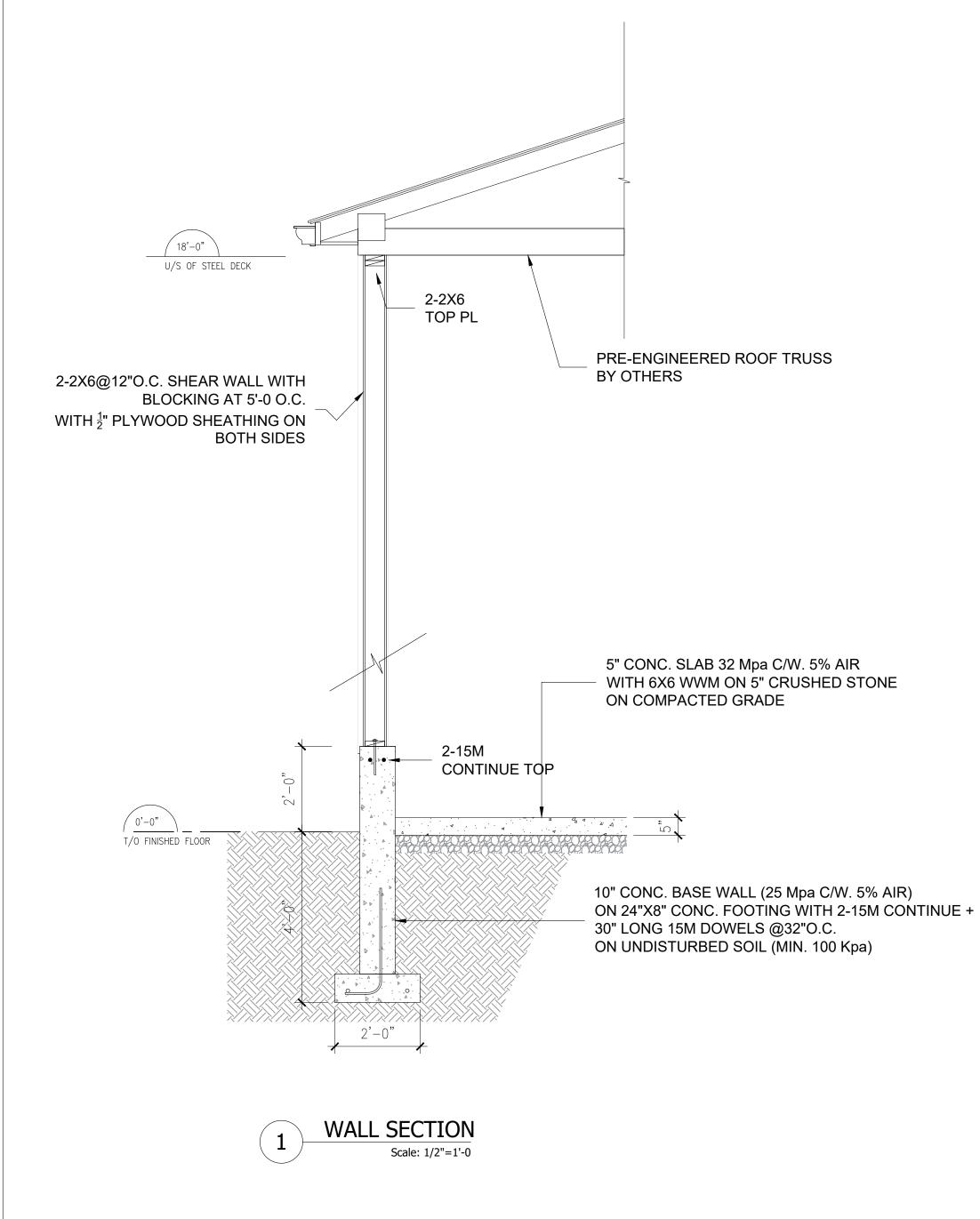
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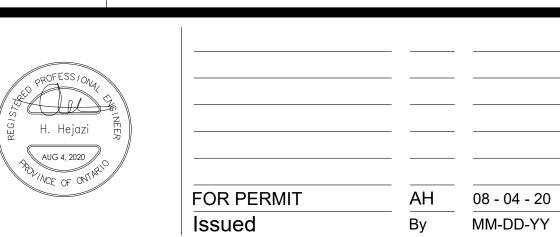
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Drawing No:









Amir Hejazi, P.Eng.

AH-Design Inc.

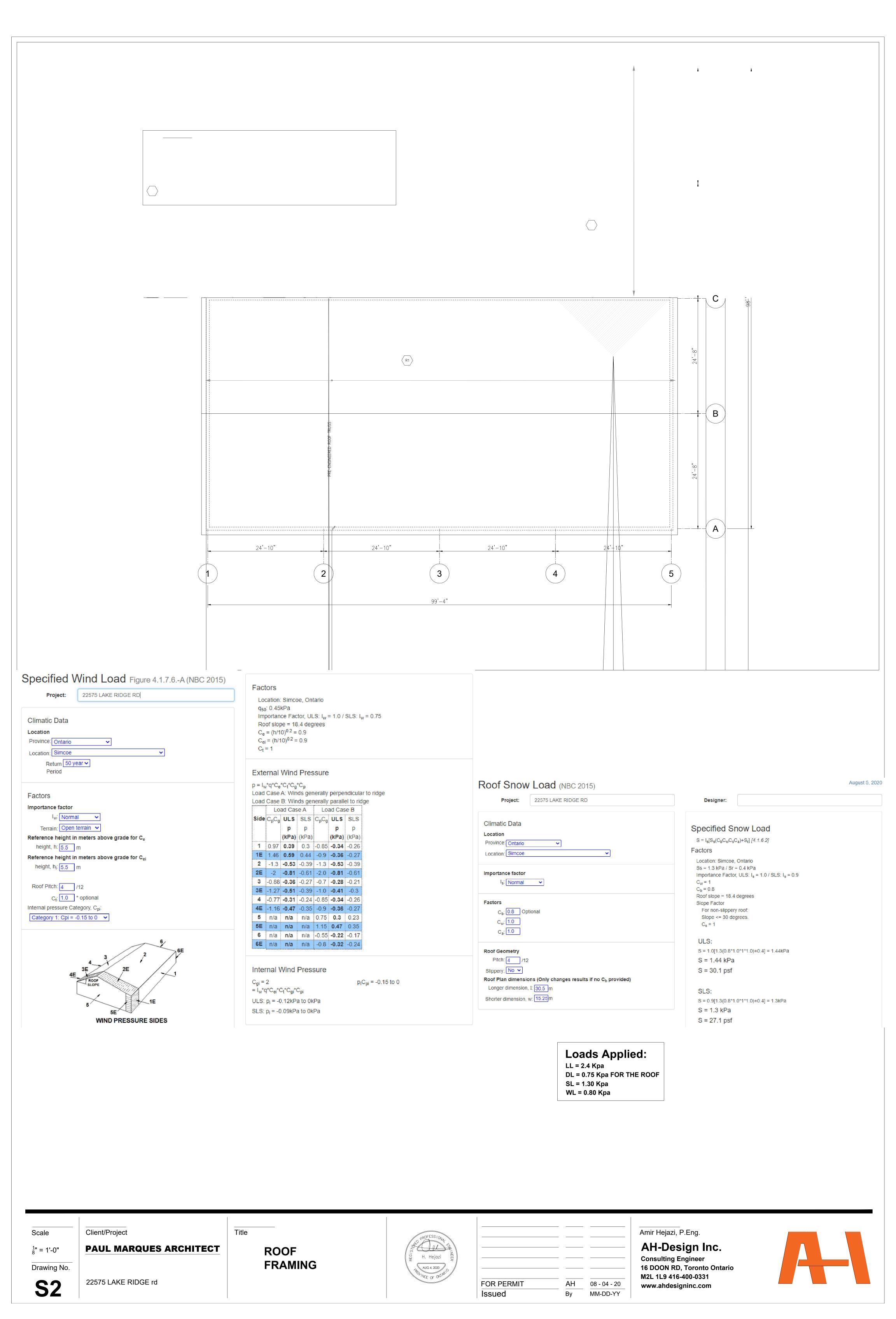
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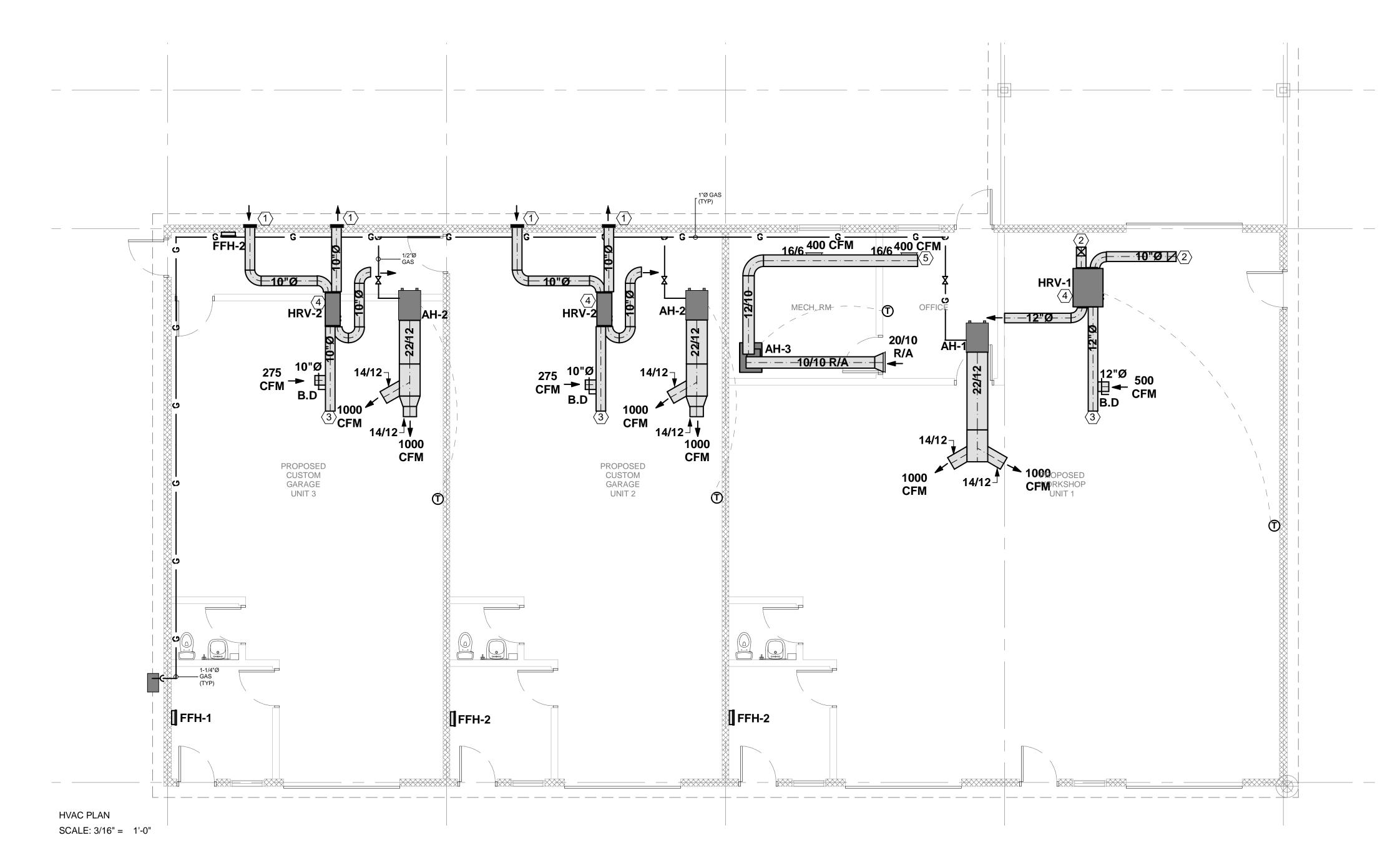


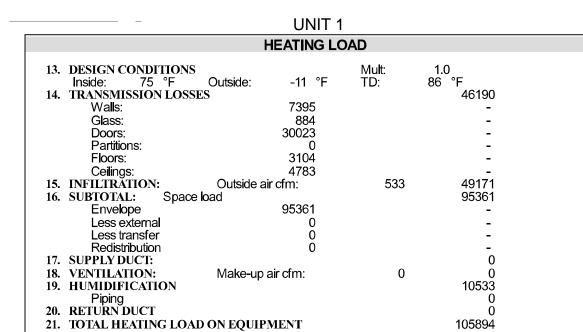
**S1** 

STRUCTURE FRAMING

Title







# UNIT 2

HEATING LOAD						
	CONDITIONS			Mult:	1.0	
Inside:	75 °F	Outside:	-11 °F	TD:	86 °F	
	AISSION LOSS	SES			22355	
Wa	S:		2943		-	
Glas	s:		442		-	
Doo	rs:		14927		-	
Part	itions:		0		-	
Floo	rs:		1262		-	
Ceili	ngs:		2780		-	
15. INFILTE		Outside air d	rfm:	308	28443	
<b>16. SUBTO</b>	TAL: Space	e load			50797	
Env	elope '		50797		-	
	external		0		_	
	transfer		Ö		_	
	istribution		Ö		_	
17. SUPPLY			-		0	
18. VENTIL		Make-up air	cfm.	0	Ō	
19. HUMID		mano ap an	0	ŭ	6093	
Pipir					0	
20. RETUR					Ŏ	
		D ON EQUIPM	ENT		56890	

#### UNIT 3 - SHOP AREA **HEATING LOAD** 13. DESIGN CONDITIONS Inside: 75 °F Outside: 14. TRANSMISSION LOSSES Walls: Glass: Doors: Partitions: 4523 442 15096 Ceilings: 15. INFILTRATION: 14825 40111 Outside air cfm: 16. SUBTOTAL: Space load Envelope Less external Less transfer Redistribution 17. SUPPLY DUCT: 18261 7087 18. VENTILATION: Make-up air cfm: 19. HUMIDIFICATION Piping **20. RETURN DUCT**

# UNIT 3 - MECH RM/OFFICE

65460

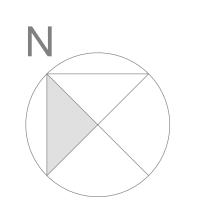
21. TOTAL HEATING LOAD ON EQUIPMENT

HEATING LOAD							
13.	DESIGN CONDITIONS			Mult:	1.0		
	Inside: 75 °F	Outside:	-11 °F	TD:	86 °F		
14.	TRANSMISSION LOSSE	S			2770		
	Walls:		419		-		
	Glass:		884		_		
	Doors:		168		_		
	Partitions:		0		_		
	Floors:		<b>6</b> 08		-		
	Ceilings:		690		_		
5.	INFILTRĂTION:	Outside air d	rfm:	21	1927		
6.	SUBTOTAL: Space	oad			4697		
	Envelope .		4697		-		
	Less external		0		_		
	Less transfer		0		_		
	Redistribution		0		_		
7.	SUPPLY DUCT:				0		
8.	VENTILATION:	Make-up air	cfm:	9	849		
9.	HUMIDIFICATION				595		
	Piping				0		
20.					0		
1.	TOTAL HEATING LOAD	ON EQUIPM	ENT		6140		

# HVAC EQUIPMENT SCHEDULE

ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (SHOP)- 4 persons(10)+2407sqft(0.18)=474cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (OFFICE) - 1 persons(5)+133sqft(0.06)=13cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 2 - 3 persons(10)+1248sqft(0.18)=256cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 3 - 3 persons(10)+1087sqft(0.18)=226cfm

UNIT		MAKE	CFM	STATIC PRESS.	HEAT CAPACIT		COOLING CAP.	OUTSIDE AIR	kW	VOLTAGE	OPERATING WEIGHT	REMARKS
DESIGNATION	DESCRIPTION	& MODEL No.	OI W	in. wg	IN	OUT	(TONS)	C.F.M			(LBS)	
AH-1	GAS FIRED FURNACE	LUXAIRE TM9E120D20MP12	2000	0.5	120	114	5	HRV		120/1/60	156	c/w THERMOSTAT
AH-2	GAS FIRED FURNACE	LUXAIRE TM9E080C20MP12	2000	0.5	80	76	5	HRV		120/1/60	139	c/w THERMOSTAT
AH-3	GAS FIRED FURNACE	LUXAIRE TM9E026A08MP12	800	0.5	26	25	2	HRV		120/1/60	113	c/w THERMOSTAT
HRV-1	HEAT RECOVERY VENTILATOR	ALDES H-650	500	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
HRV-2	HEAT RECOVERY VENTILATOR	ALDES H-280SRG	275	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
FFH-1	ELECTRIC WALL HEATER	OUELLET OAC02008-T				2KW				208/1/60		
FFH-2	ELECTRIC WALL HEATER	OUELLET OAC01502-T				1.5KW				120/1/60		



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



REVISIONS

DATE DESCRIPTION

2.22.2021 ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6 P:(905) 332-8888 www.lakelandengineering.ca

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PROJECT:

SHEET TITLE:

OF 4

WORKSHOP/CUSTOM GARAGE

> 22575 LAKE RIDGE RD. PORT BOLSTER, ON

H.V.A.C

DRAWN BY: WK

DATE: 2021-02-22

JOB #: 21-004

SHEET 1

M1

HRV TO BE INSTALLED AS PER MANUFACTURERES SPECIFICATIONS.

16/6 LOUVERED FACE S/A GRILLE PRICE 500 SERIES OR EQUAL (TYP FOR 2)

20/10 LOUVERED FACE R/A GRILLE PRICE 500 SERIES OR EQUAL ABOVE DOOR BELOW FINISHED CEILING.

**HVAC KEYED NOTES** 

1 TERMINATE DUCT HIGH ON WALL AT WALL BOX. REVERSOMATIC OR EQUAL

FRESH AIR INTAKE & E/A DUCT DOWN THROUGH ROOF TO CEILING SPACE C/W CURB, GOOSENECKED & BIRDSCREEN. DUCTWORK TO BE INSULATED

 $\langle 3 \rangle$  cap ductwork for future washroom exhaust

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#### MECHANICAL SPECIFICATIONS

#### **GENERAL REQUIREMENTS FOR MECHANICAL WORK**

## 1.0 SCOPE OF WORK

CONTRACT.

- 1.1 CONFORM TO THE APPLICABLE PROVISIONS OF THE GENERAL CONDITIONS OF THE
- 1.2 THE GENERAL MECHANICAL SPECIFICATION SHALL APPLY TO AND BE PART OF EACH OF THE SECTIONS COVERING THE MECHANICAL TRADES WORK.
- 1.3 COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE O.B.C., ALL OTHER APPLICABLE CODES, REGULATIONS, BY-LAWS, AND OFFICIAL STANDARDS ACCORDING TO THE REQUIREMENTS AND INTERPRETATIONS OF THE AUTHORITIES HAVING JURISDICTION. THESE CODES & STANDARDS CONSTITUTE AN INTEGRAL PART OF THESE SPECIFICATIONS. IN CASE OF CONFLICT, THE CODES TAKE PRECIDENCE OVER THE CONTRACT DOCUMENTS.
- 2.0 EXAMINATION OF SITE AND INFORMATION
- 2.1 EACH SUBCONTRACTOR, BEFORE TENDERING, SHALL EXAMINE THE SITE, THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THEY SHALL FAMILIARIZE THEMSELF WITH THE BUILDING CONSTRUCTION AND FINISH IN ORDER THAT THEIR TENDER MAY INCLUDE EVERYTHING NECESSARY FOR THE PROPER COMPLETION OF THE WORK.
- 2.2 IT SHALL BE THIS SUBCONTRACTOR'S RESPONSIBILITY THAT MATERIAL AND EQUIPMENT BE BROUGHT INTO THE BUILDING IN SUCH ASSEMBLIES AND SIZES AS TO ENTER INTO THE SPACES WHERE THEY ARE TO BE LOCATED AND TO BE SMALL ENOUGH TO BE HOISTED INTO THE BUILDING WITHOUT DIFFICULTY. ANY CUTTING, PATCHING, ETC., INVOLVED IN GETTING LARGE ASSEMBLIES INTO PLACE SHALL BE THE RESPONSIBILITY OF THIS SUBCONTRACTOR.

#### 3.0 RELATIONSHIP WITH OTHER TRADES

- 3.1 THIS SUBCONTRACTOR SHALL CONFER WITH ALL OTHER CONTRACTORS INSTALLING EQUIPMENT, PLANT PIPING, OTHER WORK, FOUNDATIONS, ETC., WHICH MAY AFFECT THEIR INSTALLATION, AND THEY SHALL ARRANGE THEIR EQUIPMENT, PIPING, ETC., IN PROPER RELATION WITH OTHER APPARATUS, AND WITH THE BUILDING CONSTRUCTION, THEY SHALL ALSO CONFIRM THE ELECTRICAL CHARACTERISTICS OF THE PROJECT AND ORDER EQUIPMENT ACCORDINGLY
- 3.2 SPECIAL CARE SHALL BE TAKEN IN THE INSTALLATION OF ALL WORK, TO SEE THAT THEY ALL COME WITHIN THE LIMITS ESTABLISHED BY THE FINISH LINES OF ALL WALLS, FLOORS, CEILINGS, ETC.
- 3.3 THIS SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR AND OTHER SUBCONTRACTORS WHO ARE CONCERNED. OF ALL OPENINGS. FOUNDATION WORK, HANGERS, INSERTS, ANCHORS, OR OTHER PROVISIONS NECESSARY IN THEIR WORK FOR THE INSTALLATION OF THIS SUBCONTRACTOR'S WORK. THIS SUBCONTRACTOR SHALL FURNISH ALL INFORMATION AND NECESSARY MATERIALS IN AMPLE TIME SO THAT PROPER PROVISIONS CAN BE MADE FOR SAME, AND SHALL SUPPLY AND CORRECTLY AND ACCURATELY PLACE ALL INSERTS, SLEEVES, ANCHORS, ETC.
- 3.4 FAILURE TO COMPLY WITH THESE REQUIREMENTS ON THE PART OF THIS SUBCONTRACTOR WILL RENDER THEM RESPONSIBLE FOR THE COST OF CUTTING OPENINGS, INSTALLING HANGERS, INSERTS, ANCHORS, OR OTHER PROVISIONS AT A LATER DATE, AND THE SUBSEQUENT PATCHING, ETC., THEREBY REQUIRED.
- 3.5 NO CUTTING SHALL BE DONE WITHOUT PERMISSION. ALL SUCH WORK SHALL BE DONE BY SKILLED TRADES IN AND CERTIFIED FOR THIS PARTICULAR TRADE.

#### 4.0 SHOP DRAWINGS

- 4.1 EACH SUBCONTRACTOR SHALL SUBMIT THREE (3) COPIES OF THE SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF MATERIAL, EQUIPMENT, AND APPARATUS BEING PROVIDED BY THEM. THESE SHALL SHOW IN DETAIL THE DESIGN AND CONSTRUCTION AND PERFORMANCE OF ALL APPARATUS, ETC.
- 4.2 THE ENGINEER'S REVIEW OF SHOP DRAWINGS AND MANUFACTURER'S SPECIFICATIONS OF ANY EQUIPMENT IS GENERAL AND IS NOT INTENDED TO SERVE AS FINAL CHECK AND IT SHALL NOT RELIEVE THE SUBCONTRACTOR OF THE RESPONSIBILITY FOR ERRORS OR F THE NECESSITY OF CHECKING THE DRAWING THEMSELF. OR OF FURNISHING ANY OF THE MATERIALS AND PERFORMING THE WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS TO THE FULL INTENT OF THE SPECIFICATION.
- 4.3 BEFORE SUBMISSION, THIS SUBCONTRACTOR SHALL CHECK ALL SHOP DRAWINGS FOR ACCURACY OF DETAILS, DIMENSIONS, ETC. AND SHALL BE SATISFIED THAT THE DRAWINGS ARE CORRECT AND THAT THE EQUIPMENT WILL FIT PROPERLY IN THE ALLOTTED SPACE. THE SHOP DRAWINGS SHALL BE STAMPED BY THIS SUBCONTRACTOR WITH THE WORD "REVIEWED". THE DATE OF APPROVAL. AND THEIR FIRM'S NAME PRIOR TO SUBMISSION.

# 5.0 REQUIREMENTS OF INSPECTION DEPARTMENTS

- 5.1 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION IN EACH CASE. PROVINCE, ELECTRICAL EQUIPMENT SUPPLIED MUST CONFORM TO THE REGULATIONS OF CSA AND THE LOCAL UTILITY. ANYTHING NECESSARY TO MAKE THE WORK COMPLY WITH THESE REQUIREMENTS SHALL BE PROVIDED BY THIS SUBCONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNERS IF IT REASONABLY COULD HAVE BEEN FORSEEN WHEN TENDERING.
- 5.2 EACH SUBCONTRACTOR SHALL PREPARE DRAWINGS IN ADDITION TO ENGINEER'S DRAWINGS AS MAY BE REQUIRED BY VARIOUS INSPECTION DEPARTMENTS HAVING JURISDICTION, AND OBTAIN THEIR APPROVAL BEFORE PROCEEDING WITH THE
- 5.3 IN THE EVENT THAT THE INSPECTION DEPARTMENT'S REQUEST DEVIATES FROM THE ENGINEER'S LAYOUT, THIS SUBCONTRACTOR SHALL CONSULT THE ENGINEER BEFORE PROCEEDING WITH SAME, IT SHALL BE NOTED THAT ENGINEER'S DRAWINGS ARE GENERALLY ACCEPTABLE TO INSPECTION DEPARTMENTS AND MINOR SUPPLEMENTS NEED ONLY BE MADE BY SUBCONTRACTORS.

# 6.0 CERTIFICATES, PERMITS, FEES

- 6.1 SUBCONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES INCLUDING PAYMENT FOR STREET CONNECTIONS TO STORM, SANITARY, WATER AND GAS IN ORDER THAT THE WORK HEREIN SPECIFIED MAY BE CARRIED OUT AND THEY SHALL FURNISH ANY CERTIFICATES NEEDED AS EVIDENCE THAT THE WORK INSTALLED CONFORMS WITH THE LAWS AND REGULATIONS OF THE MUNICIPALITY AND PROVINCE.
- 6.2 SUBCONTRACTOR SHALL CONTACT THE LOCAL GAS COMPANY AS SOON AS POSSIBLE AND VERIFY THAT GAS SERVICE IS AVAILABLE AT PRESSURE AND CAPACITY REQUIRED FOR THE PROJECT. THEY SHALL INFORM THE ENGINEER IMMEDIATELY IF THERE IS ANY PROBLEM WITH GAS SERVICE WHATSOEVER. IT SHALL BE THIS SUBCONTRACTOR'S RESPONSIBLITY TO COORDINATE GAS REQUIREMENTS WITH THE GAS COMPANY BEFORE ANY OF THEIR WORK

# 7.0 GUARANTEE

- 7.1 THIS SUBCONTRACTOR SJALL GUARANTEE ALL MATERIAL AND WORKMANSHIP USED IN THE WORK TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, OF BEST QUALITY AND TYPE OBTAINABLE TO GIVE FIRST-CLASS CONSTRUCTION AND PROPER AND EFFICIENT OPERATION, AND FREE FROM ANY DEFECTS. ANY SUCH DEFECTS WHICH MAY APPEAR IN ANY OF THE WORK WITHIN ONE YEAR AFTER WRITTEN ACCEPTANCE OF THEIR WORK SHALL BE REPAIRED AND REPLACED BY THIS SUBCONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER, WHERE SUCH DEFECTS OCCUR. THIS SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED IN MAKING THE DEFECTIVE WORK GOOD. THIS SHALL NOT OBSOLETE ANY LONGER WARRANTIES ON SPECIFIC ITEMS OF EQUIPMENT.
- 7.2 ALL INJURIES TO ADJACENT WORK, PARTICULARLY PLASTER, WOOD FINISHES, OR OTHER MATERIALS, OR DAMAGE TO OTHER EQUIPMENT, CAUSED BY SUCH DEFECTS OF THIS SUBCONTRACTOR'S WORK OR BY SUBSEQUENT REPLACEMENTS. AND REPAIRS, SHALL BE MADE GOOD AT THE EXPENSE OF THIS SUBCONTRACTOR. ALL REPAIR WORK SHALL BE DONE BY THE TRADES RESPONSIBLE FOR THE ORIGINAL WORK

## 8.0 EXCAVATING AND BACKFILLING

- 8.1 UNLESS OTHERWISE INDICATED, ALL NECESSARY EXCAVATING AND BACKFILLING SHALL BE DONE BY THIS SUBCONTRACTOR.
- 8.2 BEFORE COMMENCING WITH WORK, CHECK LOCATIONS OF ALL EXISTING SERVICES, THIS SUBCONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES AND SUBSEQUENT EXPENSES RESULTING FROM HIS NEGLIGENCE IN THIS RESPECT
- 8.3 KEEP EXCAVATION FREE OF WATER.
- 8.4 PROVIDE ANY NECESSARY SHARING AS MAY BE REQUIRED FOR THE SAFETY OF THE TRADE INSTALLING THE WORK.
- 8.5 BACKFILL INSIDE BUILDING AND UNDER PAVED AREAS WITH PIT RUN GRAVEL OR SAND PROPERLY TAMPED IN 12" LAYERS.
- 8.6 IN ALL OTHER AREAS BACKFILL WITH GOOD CLEAN EARTH PROPERLY TAMPED IN
- 8.7 EXCESS EXCAVATED MATERIAL SHALL BE PILED ON THE SITE WHERE DIRECTED BY

THE FIELD SUPERVISOR FOR REMOVAL BY OTHERS.

- 8.8 LAY ALL PIPING ON A BED OF SOLID UNDISTURBED EARTH OR WHERE THIS IS NOT OBTAINABLE, ON CONCRETE PADS, SUPPORTED BY CONCRETE PIERS EXTENDED DOWN TO THE UNDISTURBED BEARING.
- 8.9 WHERE ANY EXCAVATING IS NECESSARY IN CLOSE PROXIMITY TO OR BELOW ANY FOOTING LEVEL, BACKFILL WITH 1500LB. CONCRETE TO THE LEVEL OF THE TOP OF THE HIGHEST ADJACENT FOOTING.
- 8.10 AT THE COMPLETION OF THE PROJECT, FILL IN AND LEVEL OFF EXTERIOR

#### 9.0 DRAWINGS

- 9.1 THE DRAWINGS SHOW THE APPROXIMATE LOCATION FOR THE SPECIAL APPARATUS AND THE MATERIALS THROUGHOUT THE BUILDING. THE ARRANGEMENT SHOWN ON THE DRAWINGS IS MORE OR LESS DIAGRAMMATIC AND AS SUCH APPROXIMATE ONLY, AND MAY BE ALTERED, AS APPROVED BY THE ENGINEER. TO MEET THE REQUIREMENTS OF THE APPARATUS, ETC., AND OF THE BUILDING, EACH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL MEASUREMENTS FOR HIS WORK THROUGHOUT, AND HE SHALL ARRANGE HIS PIPING, WIRING, AND APPARATUS TO CONFORM TO THE ARCHITECTIRAL AND STRUCTURAL DETAILS IN SATISFACTORY MANNER AND SHALL CO-OPERATE WITH OTHER CONTRACTORS TO ENSURE THAT WORK SHALL MEET ALL REQUIREMENTS OF DIVERSE CONTRACTS.
- 9.2 THE SUBCONTRACTORS IS PARTICULARLY CAUTIONED THAT SMALL SCALE ENGINEER'S PLANS MUST BE SUPPLEMENTED BY THEIR OWN DETAIL DRAWINGS WHERE NECESSARY FOR PROPER CO-ORDINATION OF THE WORK.
- 9..3 ITEMS SHOWN ON THE DRAWINGS BUT NOT SPECIFIED, OR SPECIFIED BUT NOT SHOWN, SJALL BE INCLUDED.
- 9.4 ITEMS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE WORKING SYSTEM BUT NOT SPECIFIED NOR SHOWN SHALL BE INCLUDED.

## 10.0 CONTRACTOR'S SHOP

10.1 EACH SUBCONTRACTOR SHALL PROVIDE HIS OWN OFFICE, WORKSHOP, TOOLS AND MATERIALS STORAGE AND BE RESPONSIBLE FOR ANY LOSS OR DAMAGE THERETO. BUILDING SHALL BE ERECTED UNDER THE SUPERVISION OF THE CONTRACTOR.

# 11.0 RESPONSIBILITY AND LIABILITY

11.1 EACH SUBCONTRACTOR SHALL SUPERVISE THE LAYING OUT OF THEIR WORK AND SJALL ARRANGE IT IN CO-OPERATION WITH OTHERS WHO MAY BE WORKING ON THE PREMISES WHILE THE WORK OF THIS CONTRACT IS IN PROGRESS. THEY SJALL PROTECT FINISHED AND UNFINISHED WORK OF THIS CONTRACT AND/OR WORK OF OTHERS ON THE PREMISES UNTIL THE COMPLETED WORK HAS BEEN ACCEPTED. OF ANY DISCREPANCIES OR INCONSISTENCIES FOUND IN THE DRAWINGS OR SPECIFICATIONS BEFORE SUBMITTING THEIR TENDER. THEY SJALL ABIDE BY THE DISCRESSION FIVEN THEM IN WRITING WITH REGARD TO THE SAME. EACH SUBCONTRACTOR IS CAUTIONED THAT THE WORK AS SHOWN IS INTENDED TO BE COMPLETE IN ALL RESPECTS AND THAT FAILURE ON THEUR PART TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES WILL NOT RELIEVE THEM OF THE RESPONSIBILITY OF COMPLETING THE WORK AS INTENDED AT THE CONTRACT

# 12.0 CLEAN-UP

- 12.1 DURING THE COURSE OF CONSTRUCTION, EACH SUBCONTRACTOR SHALL KEEP THEIR WORK TIDY AND NOT ALLOW AN ACCUMULATION OF DEBRIS RESULTING FROM THEIR WORK
- 12.2 UPON COMPLETION OF THEIR WORK, THEY SHALL LEAVE THE PREMISES IN A BROOM-CLEAN CONDITION.

# 13.0 PROTECTION

13.1 PROTECT YOUR WORK FROM CONSTRUCTION DIRT OR DAMAGE FROM ANY CAUSE SECURELY PLUG AND CAP ALL OPENINGS IN PIPE, EQUIPMENT, AND FIXTURES TO PREVENT OBSTRUCTIONS.

# 14.0 IDENTIFICATION OF EQUIPMENT

14.1 IDENTIFY ALL FANS, PUMPS, MOTOR STARTERS, AND OTHER MECHANICAL FOLIPMENT AS TO SERVICE BY AN ENGRAVED PLASTIC LAMACOID NAMEDLATE FIRMLY AFFIXED BY ADHESIVE AND SCREWS TO EACH UNIT. NOTE THAT BOTH UNIT AND ITS REMOTE STARTER SHALL BE TAGGED. PROVIDE PRESSURE SENSITIVE TAPE MARKERS, SHOWING PIPE SERVICE AND ARROWS INDICATING DIRECTION OF FLOW ON EXPOSED PIPE. ON CONCEALED PIPES, PROVIDE MARKERS ADJACENT TO ACCESS DOORS THROUGHOUT THE LENGTH OF PIPES AT INTERVALS NOT EXCEEDING 50 FEET. INSTALL MARKERS AFTER PIPE HAS BEEN PAINTED AND ON

# 15.0 TAGS

15.1 AT THE COMPLETION OF THE INSTALLATION, THE MECHANICAL CONTRACTOR SHALL TAG ALL VALVES WITH NUMBERED BRASS DISCS AND SHALL PROVIDE THE OWNER WITH A FRAMED LIST OF THE TAGS TO INDICATE LOCATION AND SERVICE OF ALL VALVES..

# 16.0 OPERATING INSTRUCTIONS AND RECORD DRAWINGS

BOTH SIDES OF ANY WALL THROUGH WHICH PIPE PASSES.

- 16.1 FOR EACH ITEM OF SPECIAL APPARATUS, OPERATING AND MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED IN THREE (3) COPIES FOR THE OWNER'S USE. THESE SHALL INCLUDE:
- GENERAL ARRANGEMENT SHOP DRAWINGS
- COMPLETE EXPLANATION OF OPERATING PRINCIPLES AND SEQUENCES.. COMPLETE PART LISTS WITH NUMBERS. RECOMMEND MAINTENANCE PRACTICES AND PRECAUTIONS.

OWNER WITH THE OPERATING INSTURCTIONS, AND THE OTHER SET SHALL BE

- 5. COMPLETE WIRING AND CONNECTIONS DIAGRAMS.
- 16.2 OBTAIN TWO SETS OF MECHANICAL DRAWING WHITE PRINTS FROM THE CONTRACTOR AND KEEP A RECORD IN RED PENCIL OF ANY DEVIATION FROM THE DRAWN LOCATION OF PIPES. DUCTS. ETC., ONE SET SHALL BE TURNED IN TO THE

# 17.0 PAINTING

17.1 ALL EQUIPMENT FABRICATED FROM STEEL AND NOT FACTORY FINISH PAINTED SJALL BE SUPPLIED WITH A PRIME COAT DONE AT THE SUPPLER'S FACTORY. IF DAMAGED IN TRANSIT OR ON THE JOB, THIS CONTRACTOR SHALL TOUCH UP WITH RED LEAD PRIMER BEFORE FINISHING PAINTING.

# 18.0 ACCESS DOORS

**GAUGE PRIMED STEEL** 

HANDED TO THE ENGINEER.

- 18.1 LOCATE ACCESS DOORS WHERE REQUIRED AND OF SUFFICIENT SIZE FOR SERVICES VALVES, DAMPERS, CLEANOUTS, ETC.
- 18.2 THESE SHALL BE FLUSH MOUNTING, SCREDRIVER ACCESS, METAL TUPES, 16

## **HEATING, VENTILATING, AND AIR CONDITIONING**

## 1.0 GENERAL

- 1.1 ALL HEATING, VENTILATING, AND AIR CONDITIONING EQUIPMENT SHALL BE C.S.A. LISTED, BEAR THE C.S.A. SEAL, AND BE INSTALLED IN ACCORDANCE WITH C.S.A.
- 1.2 IN ADDITION TO THE PROVISIONS OF SENTENCE (1), ALL FANS SHALL BE LICENSED TO BEAR THE A.M.C.A. SEAL.
- 1.3 ALL DUCTWORK SHALL BE CONSTRUCTED, INSTALLED, & SUPPORTED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- 1.4 IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL RIGID DUCTWORK SHALL BE FABRICATED FROM GALVANIZED STEEL SHEETS IN ACCORDANCE WITH NFPA 90A, ULC-S110, AND ASTM-A525; AND OF THE US SHEET GAUGES AS TABLED BELOW.

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HEET GAUGE	RECTANGULAR DUCT	ROUND DUC
26 24 22 20 18	UP TO 12" 13" TO 30" 31" TO 54" 55" TO 84" 85" & ABOVE	UP TO 13" 14" TO 22" 23" TO 36" 37" TO 50" 51" TO 60"

- FLAT AREAS OF DUCT OVER 18" SJALL BE STIFFENED BY CROSS BREAKING ACROSS THE CORNERS, AND ALL DUCTS SHALL BE SELF SUPPORTING.
- 1.5 IN ADDITION OT HE PROVISIONS OF SENTENCE (3), ALL FLEXIBLE DUCTWORK SHALL BE SUBJECT TO NFPA-90A ABD ULC-5110 STANDARDS FOR FLAME SPREAD AND SMOKE DEVELOPED, BE ULC LISTED, AND BEAR THE ULC SEAL, ALL CONNECTIONS. SHALL USE JOINT TREATMENT TYPE AS DETAILED IN MANUFACTURER'S INSTRUCTIONS, MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 12'-6". USED ONLY IN HORIZONTAL RUNS, AND SHALL NOT PENETRATE FIRE SEPARATIONS.
- 1.6 DUCTWORK SHALL BE MADE SUBSTANTIALLY AIR TIGHT THROUGHOUT AND SHALL HAVE NO OPENINGS OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE. THE ALLOWABLE LEAKAGE FACTOR SHALL NOT EXCEED 2% THROUGH THE LONGEST DUCT RUN. ALL DUCT JOINTS SHALL BE SEALED WITH JOINT TAPE MEETING THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109.
- 1.7 ALLAIR HANDLING SYSTEMS SHALL BE TESTED AND BALANCED BY A QUALIFIED TESTING COMPANY TO WITHIN 5% OF THE DESIGN AIR VOLUMES. THREE (3) COPIES OF THE FINAL TESTING AND BALANCING REPORT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE ENGINEER.
- 1.8 ELBOWS SHALL BE CONSTRUCTED USING A RADIUS OF 1.5 TIMES OF THE DUCT DIAMETER / WIDTH. HOLLOW TURNING VANES IN VANE RAILS SHALL BE USED WHEN
- 1.9 BALANCING DAMPERS SHALL BE INSTALLED AT ALL TAKE-OFFS FROM BRANCH DUCTS, AND ALL BRANCH DUCT CONNECTIONS TO MAIN DUCTS, BALANCING DAMPERS SHALL BE MANUALLY OPERATED OPPOSED TO BLADE TYPE. SPLITTER TYPE, OR BUTTERFLY TYPE, COMPLETE WITH LOCKING QUADRANT OPERATOR.
- 1.10 FIRE DAMPERS SHALL BE INSTALLED IN THE PLANE OF PENETRATION OF FIRESEPARATIONS AND IN ACCORDANCE WITH NFPA-90A AND ULC-S505, AND SHALL BEAR THE ULC SEAL. DAMPERS SHALL BE TYPES A OR B, 1.5 HOUR FIRE RATED AND COMPLETE WITH 160 DEG. F REPLACEABLE LINK. A LIGHTLY FITTED ACCESS DOOR SHALL BE INSTALLED FOR EACH FIRE DAMPER TO PROVIDE ACCESS FOR INSPECTION. AND RESETTING OF DAMPER. AND REPLACING OF FUSIBLE LINK. FIRE DAMPERS SHALL BE SUPPORTED INDEPENDENTLY FROM DUCTWORK.
- 1.11 VIBRATION ISOLATION FLEXIBLE DUCT CONNECTIONS SHALL BE USED WHERE DUCTWORK CONNECTS DIRECTLY TO AIR HANDLING EQUIPMENT. CONNECTORS SHALL BE NONCOMBUSTIBLE OR OF COMBUSTIBLE FABRIC CONSTRUCTION PROVIDED THEY DO NOT EXCEED 10" IN LENGTH AND COMPLY WITH THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109. COLLARS SHALL BE GALVANIZED IRON AND FASTENED SECURELY TO ENSURE A LEAKPROOF CONNECTION.
- 1.12 ALL DUCTWORK SHALL BE INSTALLED TO ALLOW FREEDOM FROM VIBRATION DURING OPERATING CONDITIONS. DUCT HANGERS SHALL BE SUPPORTED FROM STRUCTURAL STEEL AND STRUCTURAL CONCRETE SLAB, BUT NOT FROM ROOF DECK. BENT GALVANIZED IRON HANGERS SHALL BE USED. DUCT HANGERS SHALI BE SPACED MAXIMUM 8'-6" APART, WHERE DUCTS PASS THROUGH WALLS AND FLOORS. THE SPACE AROUND THE DUCT SHALL BE PACKED AND SEALED WITH FIRE RESISTANT SEALING COMPOUND
- 1.13 KITCHEN EXHAUST DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH N.F.P.A. #96 LATEST EDITION. PROVIDE ALL ACCESS, CLEANOUT, SEPARATIONS AS PER N.F.P.A. #96 WHETHER SHOWN ON PLANS OR NOT. ALL KITCHEN EXHAUST DUCTWORK SHALL BE 16 GAUGE WELDED.
- 1.14 SPIRAL DUCTWORK SHALL BE SPIRAL HELIX AS MANUFACTURED BY WESBELL HIGH-TEC MANUFACTURING INC.

# 2.0 INSULATION - GENERAL

- 2.1 INSULATION SHALL BE APPLIED ON CLEAN, DRY SURFACES AND ONLY AFTER TESTS AND APPROVALS REQUIRED HAVE BEEN COMPLETED.
- 2.2 ALL PIPE INSULATION SHALL BE CONTINUOUS THROUGH WALL AND CEILING OPENINGS AND SLEEVES. SUITABLE FIRE STOPS SHALL BE INSTALLED WHERE
- 2.3 INSULATION ON ALL COLD SURFACES MUST BE APPLIED WITH A CONTINUOUS UNBROKEN VAPOUR SEAL
- 2.4 HANGERS, SUPPORTS, ANCHORS, ETC., THAT ARE SECURED DIRECTLY TO COLD SURFACES, MUST BE ADEQUATELY INSULATED AND VAPOUR SEALED TO PREVENT
- 2.5 ALL SURFACE FINISHES SHALL BE EXTENDED TO PROTECT ALL SURFACES, ENDS, AND RAW EDGES OF INSULATION.
- 2.6 ALL DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED.
- 3.0 PLUMBING AND PIPING INSULATION
- PIPE INSULATION: GLASS FIBER INSULATION WITH FACTORY APPLIED JACKET; JOHNS-MANVILLE MICRO-LOK 650 OR APPROVED EQUAL.
- JACKET EXPOSED: CANVAS FREE A VAPOUR BARRIER JACKET, CONSISTING OF A WHITE GLASS FIBER SURFACE BONDED TO AN ALUMINIZED FILM.
- JACKET CONCEALED: ALL PURPOSE A VAPOUR BARRIER JACKET, CONSISTING OF A HIGH INTENSITY WHITE KRAFT PAPER SURFACE BONDED TO AN ALIMINIZED FILM AND REINFORCED WITH A GLASS FIBER YARN.
- FITTINGS: PRE-MOULDED ONE PIECE PVC INSULATED FITTING COVERS; JOHNS-MANVILLE ZESTON OR APPROVED EQUAL.
- A. DOMESTIC COLD WATER:

	NT TEMPERATURE	PIPE SIZE
THICKNESS  DOMESTIC HOT WATER SUPPLY: 1-1/2"	BELOW 35°F	ALL
DOMESTIC HOT WATER RETURN:	ABOVE 35°F	ALL

B. AIR CONDITIONING UNIT RUNOUTS AND DRAIN LINES:

ALL RUNOUTS FROM RISER OR MAIN TO THE AIR CONDITIONING UNITS AND AIR CONDITIONING UNIT DRAIN LINES SHALL BE INSTALLED WITH FLEXIBLE FOAM, CLOSED CELL STRUCTURE, PLASTIC INSULATION; JOHNS-MANVILLE AEROTUBE OR APPROVED EQUAL

CUTS AND BUTT JOINTS OF INSULATION SHALL BE JOINED BY SEALING WITH A

PIPE SIZE THICKNESS 4" AND OVER 3/4"

WATERPROOF VAPOUR BARRIER ADHESIVE.

ARCHITECTURAL SPECIFICATION.

# 4.0 DUCTWORK INSULATION

INSULATE ONLY DUCTWORK SHOWN AND/OR NOTED ON THE DRAWINGS.

RECTANGULAR DUCT - RIGID GLASS FIBER 1-1/2" THICK BOARD; JOHNS-MANVILLE SPIN-GLAS 650 BOARD OR APPROVED EQUAL. VAPOUR BARRIER SHALL CONSIST OF A FOIL SCRIM KRAFT PAPER LAMINATE CONSISTING OF ALUMINUM FOIL REINFORCED WITH GLASS FIBER YARN AND LAMINATED TO A CHEMICALLY TREATED FIRE RESISTANT KRAFT.

ROUND DUCT - FLEXIBLE GLASS FIBER 1-1/2" SCRIM KRAFT FACING OR APPROVED EQUAL. ALL EXHAUST DUCTS SHALL BE INSULATED WITHIN 6'-0" OF COLD OUTLET AT ROOF, ATTIC, OR WALL WITH 1" THICK GLASS FIBER INSULATION WITH FOIL

ALL HEATING A/C MAKE-UP AIR AND EXHALIST DUCTWORK WITHIN UNCONDITIONED (ATTIC, ETC.) SHALL BE INSULATED WITH 2" RIGID FIBERGLASS THERMAL INSULATION C/W VAPOUR BARRIER.

INSULATED OUTDOOR OR EXPOSED DUCTWORK SHALL BE FINISHED WITH 6 OZ. FIRE RETARDANT CANVAS LAGGED IN PLACE WITH FIRE RETARDANT LAGGING AHESIVE, OUTDOOR VAPOUR BARRIER MASTIC FINISH WITH A REINFORCING MEMBRANE, ALL JOINTS SHALL HAVE A MINIMUM OVERLAP OF 3".

FLEXIBLE DUCT - CAN-FLEX TYPE C1-IV INSULATED POLYOLEFIN JACKET, CAN-FLEX TYPE C1-IA INSULATED ALUMINIZED JACKET, OR APPROVED **EQUAL** 

# B. ACOUSTIC:

FLEXIBLE GLASS FIBER 1" THICK DUCT LINER; JOHNS-MANVILLE LINACOUSTIC OR APPROVED EQUAL.

PROVIDE ACOUSTIC LINING ON FIRST 12 FEET FROM UNIT OF A/C SUPPLY DUCTS AND RETURN DUCTS. ENLARGE DUCTS TO PROVIDE INSIDE CLEAR DIMENSIONS AS SHOWN ON DRAWINGS.

## 5.0 EQUIPMENT LIST AND SCHEDULE

5.1 LOUVRE, GRILLE, AND OTHER DIFFUSER SCHEDULE:

FACED VAPOUR BARRIER (AS ABOVE).

SEE SCHEDULES DESCRIPTION: SEE SCHEDULES

NOTE: ALL GRILLES AND DIFFUSERS SHALL BE FINISHED AS PER

# PLUMBING, DRAINAGE, AND PIPING

## 1.0 GENERAL

- 1.1 WORK SHALL INCLUDE ALL PLUMBING AND DRAINAGE AS REQUIRED AND/OR SHOWN ON THE DRAWINGS. ALL WORK THAT IS INSTALLED, TESTED, AND INSPECTED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE AND LOCAL PLUMBING CODES, BY-LAWS, AND REGULATIONS.
- 1.2 ALL REQUIRED TESTS SHALL BE MADE IN THE PRESENCE OF THE AUTHORIZED INSPECTOR CERTIFYING THE TEST. UPON COMPLETION OF THE TEST, A WRITTEN REPORT SHALL BE SUBMITTED TO THE ARCHITECT SUMMARIZING COMPLETE TEST
- 1.3 PROVIDE SLEEVES WHERE PIPING PASSES THROUGH FOUNDATIONS, FLOORS, ROOFS, OR WALLS, SLEEVES SHALL BE SCHEDULE 40 GALVANIZED OR WROUGHT IRON PIPE. OR TYPE "L" OR "K" COPPER TUBE THROUGH FOUNDATIONS. FLOORS OR ROOFS. AND OF 20 GAUGE GALVANIZED STEEL SHEET THROUGH ABOVE GRADE WALLS. SLEEVES ARE NOT REQUIRED FOR PLUMBING VENTS. ALL SLEEVES SHALL BE SIZED TO ACCEPT INSULATED PIPE.
- 1.4 HORIZONTAL PIPING SHALL BE SUPPORTED AT INTERVALS AS FOLLOWS:
- PIPE SIZES UP TO 3/4" PIPE SIZES 1" TO 3" PIPE SIZES 4" AND OVER
- 1.5 PIPE HANGERS SHALL CONSIST OF GRINNELL NO.250 CLEVIS HANGERS WITH THREADED RODS AND SUITABLE CLAMPING DEVICE AT TOP END. GRAPPLER STRAP HANGERS ARE NOT ACCEPTABLE.
- 1.6 WHERE SUPPORTING COPPER PIPE, THE PIPE SHALL BE ISOLATED FROM THE HANGER WITH ELECTROLYTIC ACTION TAPE OR EQUIVALENT.
- 1.7 VERTICAL PIPING SHALL BE SUSPENDED AT THE FLOOR AND/OR WITH INTERMEDIATE WALL SUPPORTS AT 10'-0" INTERVALS FOR PIPING 2" AND OVER, AND 6'-0" INTERVALS FOR PIPING UP TO 1-1/2". MORE FREQUENT SUPPORTS SHALL BE PROVIDED WHERE NECESSARY TO PREVENT MOVEMENT.
- 1.8 ALL PIPING SHALL BE INSTALLED TO MAKE PROVISION FOR THE EXPANSION AND CONTRACTION OF PIPES AND TO BE FREE FROM STRAINS AND DISTORTIONS. PROVIDE SWING JOINTS ON ALL BRANCH LINES, EXPANSION LOOPS ON ALL STRAIGHT RUNS OVER 100 FEET. AND ANCHORS TO LIMIT HORIZONTAL EXPANSION
- 1.9 PROVIDE DRAIN COCKS AT ALL LOW POINTS OF WALTER SYSTEMS TO ALLOW DRAINAGE OF SYSTEM AND WHERE REQUIRED TO PREVENT FREEZING.
- 1.10 ALL EXPOSED FITTINGS, VALVES, WASTE, AND WATER PIPING SHALL BE CHROME PLATED IN WASHROOM AND KITCHEN AREAS AND OTHER FINISHED AREAS.

1.11 PROVIDE STOPS TO EACH PLUMBING FIXTURE OF LOCKSHIELD OR HANDWHEEL

TYPE AS SPECIFIED. PROVIDE ISOLATING VALVES TO EACH GROUP OF PLUMBING 1.12 PROVIDE AIR COLUMN CHAMBERS AT EACH GROUP OF PLUMBING FIXTURES. THESE SHALL BE 1" MINIMUM PIPE WITH CAP. 18" LONG MOUNTED ON THE TOP OF THE SUPPLY HEADERS OF HOT AND COLD WATER. WHERE THE HEADER IS LARGER THAN 1". THE COLUMN SHALL BE ONE SIZE LARGER THAN THE HEADER.

ALTERNATIVELY, PROVIDE ANCON "SHOK-GUARD" OR APPROVED EQUAL WATER

MANUFACTURER'S RECOMMENDATIONS. 1.13 PROVIDE AUTOMATIC TRAP DEAL PRIMER, ANCON NO. MS-180 OR APPROVED EQUAL FOR EVERY FLOOR DRAIN, HUB DRAIN, AND COMBINATION DRAINS. TRAP SEAL PRIMER SHALL BE CONNECTED TO NEAREST WATER SUPPLY, WHERE SEVERAL TRAPS WITH PRIMER REQUIREMENTS ARE LOCATED IN CLOSE VICINITY

HARMER ARRESTOR, SIZED FOR THE APPLICATIONS IN ACCORDANCE WITH

- THE USE OF A PROPERLY SIZED FLUSH TANK IS ACCEPTABLE. 1.14 PROVIDE DIELECTRIC UNIONS FOR COUPLINGS AT ALL CONNECTIONS BETWEEN
- 1.15 PROVIDE COMPLETE PLUMBING CENT SYSTEM AS REQUIRED BY O.B.C. AND LOCAL

## AUTHORITIES. 2.0 MATERIALS

2.1 UNDERGROUND WATER MAINS SHALL BE P.V.C. CERTIFIED TO CAN/CSA-B137.3 "RIGID POLYVINYL CHLORIDE PIPE FOR PRESSURE APPLICATIONS" MINIMUM PRESSURE RATING 1034 KPA (150 PSI) SIZE 100 MM (4") DIA. TO 200 MM (8") DIA.

SOME MUNICIPALITIES REQUIRE THAT BURIED P.V.C. WATER MAINS MUST BE DUCTILE IRON ENTERING A BUILDING. CONTACT THE LOCAL AUTHORITY HAVING JURISDICTION. DUCTILE IRON WATER MAINS SHALL CONFORM TO ANSI/AWWA C151/A21-51 AND SHALL HAVE A CEMENT-MORTAR LINING IN CONFORMANCE WITH

ANSIAWWA C104/A21-4. 2.2 UNDERGROUND WATERMAINS 50 MM (2") DIA. AND SMALLER SHALL BE TYPE "K" SOFT COPPER CERTIFIED TO ASTM B88. "SEAMLESS COPPER WATER TUBE". SOLDER JOINTS ARE NOT PERMITTED IN UNDERGROUND WATERMAIN SYSTEMS. SOLDER JOINTS ABOVE GROUND SHALL CONFORM TO ANSI B16-18 OR

2.3 ALL ABOVE GROUND DOMESTIC WATER PIPES - COPPER TYPE 'L', ASTM B88, THIRD PARTY CERTIFIED WITH LEAD-FREE SOLDER.

B16-22. FLARED JOINT SETTINGS SHALL CONFORM TO ANSI B16-26.

# 3.0 VALVES FOR DOMESTIC HOT AND COLD WATER DISTRIBUTION

## 3.1 DOMESTIC AND NON-POTABLE HOT AND COLD WATER:

- TYPE OF PIPING: TYPE "L" COPPER - PRESSURE RATING: 1380 KPA (200 PSIG) W.O.G.

1. GATE VALVES

MANUFACTURER

KITZ 44

- 65 MM (2-1/2") & UNDER - ALL BRONZE, SOLDER ENDS; - 75 MM (3") AND OVER - IRON BODY, BRONZE MOUNTED, FLANGED.

65 MM (2-1/2") & UNDER

INSTALL BALL VALVES ON HOT AND COLD WATER RISER CONNECTIONS (UP TO 50 MM (2")) TO MAIN RUNS.

CATALOGUE NO.

75 MM (3") &

RISING STERN NON-RISING STERN RISING STERN NON-RISING STERN 421A RED WHITE 281A 465-1/2C CRANE 459

NOTE: USE NON-RISING STERN ONLY WHERE THERE IS INSUFFICIENT CLEARANCE FOR RISING STERN TYPE.

# 2. GLOBE VALVES

MANUFACTURER CATALOGUE NO. 65 MM (2-1/2") & UNDER **RFD WHITE** 400A

- 50 MM (2") & UNDER - BRONZE, COMPOSITION DISC, SOLDER ENDS.

75 MM (3") & OVER CRANE KITZ **JENKINS** 106AP 2342

NOTE: USE COMPOSITION DISCS TO SUIT FLUID TEMPERATURE RATING. T BE USED IN A CEILING SPACE USED AS A RETURN AIR PLENUM.

## 3. BUTTERFLY VALVES

65 MM (2-1/2") AND OVER.

1065 KPA (150 PSI)WP; - 65 MM (2-1/2") AND OVER - IRON BODY, ALUMINUM BRONZE DISC, STAINLESS STEEL STERN, FULL EPDM LINER, LEVER OPERATION FOR SIZE 150 MM (6") AND UNDER. GEAR OPERATION FOR SIZE 200 MM (8") AND

CATALOGUE NO. MANUFACTURER WAFER 5121EL 6121EL **JENKINS** 220 EL 230 EL KEYSTONE NOTE: BUTTERFLY VALVES MAY BE ISED IN LIEU OF GATE OR GLIBE VALVES,

#### 4. CHECK VALVES - 50 MM (2") & UNDER - BRONZE, SWING CHECK WITH REGRINDABLE BRONZE DISCS, SOLDER ENDS

MANUFACTURER CATALOGUE NO. 65 MM (2-1/2") & OVER 50 MM (2") & UNDER CRANE 1342 **JENKINS** 4092

435A

- 65 MM (2-1/2") & OVER - IRON BODY, BRONZE MOUNTED, SWING CHECK,

## KITZ 3.2 INSTALLATION:

RED WHITE

FLANGED.

1. REFER TO SECTION 15050 PIPING INSTALLATION.

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2. INSTALL VALVES AT THE FOLLOWING LOCATIONS: EACH RISER BASE - EACH MAIN BRANCH - EACH SINGLE PLUMBING FIXTURE; - FACH SINGLE ITEM OF FOUIPMENT - WHERE INDICATED IN THE CONTRACT DOCUMENTS

# 3.3 PRESSURE REDUCING VALVES

- 1. CLAYTON SERIES 90-B OR 90-BKT OR APPROVED EQUAL PRESSURE REDUCING VALVES (PILOT OPERATED) WITH IRON BODY, BRONZE & RESILIENT TRIM. FOR SMALLER THAN 32 MM (1-1/4") USE CRD-KT 1725 (250 PSI)
- 2 INSTALL PRESSURE REDUCING VALCE ASSEMBLIES COMPLETE WITH 3 VALVE BY-PASS STRAINER AND OUTLET PRESSURE GAUGE CONNECTION.

# 3.4 BACKFLOW PREVENTERS

 LAWN IRRIGATION WATTS #909 SERIES OR APPROVED EQUAL BACKFLOW PREVENTER ASSEMBLY CONSISTING OF TWO CHECK VALVES AND A PROTECTION ZONE WITH A PRESSURE DIFFERENTIAL RELIEF VALVE TO ATMOSPHERE, 1725 KPA (250 PSI) WORKING PRESSURE, USE SCREWED CONNECTIONS TO 50 MM (2") SIZE, FLANGED CONNECTIONS FOR LARGER SIZED VALVES, BRONZE OR CAST IRON BODY, BRONZE TRIM, AND STAINLESS STEEL PILOT TRIM, BACKFLOW

PREVENTER CERTIFIED TO CAN/CSA B-64. 2. CARBONATED BEVERAGE MACHINES & TEA/COFFEE MACHINE:

WATTS NIDEK SD-2 DUAL CHECK WITH ATMOSPHERIC PORT.

ALL OTHER APPLICATIONS:

WATTS SERIES 007QT, CERTIFIED TO CSA STANDARD B64.

4. INSTALL BACKFLOW PREVENTERS AT DOMESTIC WATER CONNECTIONS TO

#### ALL HEATING, COOLING, AND REFRIGERATION EQUIPMENT AND WERE SPECIFIED IN THE CONTRACT DOCUMENTS.

CGSB-34-GP-22 (CSA APPROVED), OR

# 4.0 DRAINAGE PIPES AND FITTINGS - INSIDE BUILDING

4.1 UNDERGROUND SANITARY AND STORM 1. TRANSITE SOILE PIPE WITH JOHN MANSVILLE RING-TITE SOIL FITTINGS

CGSB-34-GP-22 (CSA APPROVED), OR 2. CLASS 4000 CAST IRON MECHANICAL JOINT PIPE AND FITTINGS WITH MECHANICAL STAINLESS STEEL COUPLINGS, CSA-B70-1971, OR

3. PVC DRAIN WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO CAN/CSA-B181.2 SIZES 75 MM (3") DIA., OR

CAN/CSA-B181.1 FOR SIZES 75 MM (3") DIA.. OR 5. PROFILE (RIBBED) PVC SEWER PIPE AND FITTINGS CERTIFIED TO CAN/CSA-B182.4 FOR STORM SEWERS 200 MM (8") DIA. TO 600 MM (24") DIA. ONLY.

4. ABS DRAIN, WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO

4.2 SOIL, WASTE, AND VENT STACKS, DRAINS AND RAINWATER LEADERS ABOVE GROUND, 75 MM AND LARGER 1. TRANSITE SOILE PIPE WITH JOHN-MANSVILLE RING-TITE SOIL FITTINGS

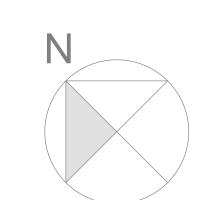
2. CLASS 4000 CAST IRON MECHANICAL JOINT PIPE AND FITTINGS WITH MECHANICAL STAINLESS STEEL COUPLINGS, CSA-B70-1971, OR 3. DWV COPPER WITH CAST BRASS OR WROUGHT COPPER DRAINAGE

FITTINGS AND SOLDER JOINTS (SOLDERING TO CONTAIN NOT MORE THAN 0.2%

LEAD CONTENT), OR 4. PVC DRAIN WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO CAN/CSA-B181.1 AND CAN/CSA-B181.2 (SOLVENT WELD ONLY).

5. NOTE: ALL PVC OR ABS TYPE PIPING TO BE USED ABOVE GROUND SHALL BE CONFIRMED TO BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION IF ACCEPTABLE AND USED, IT SHALL BE PROVIDED WITH U.L.C. LISTED AND APPROVED FIRE STOP DEVICE AT ALL PENETRATIONS OF ANY FIRE SEPARATION.

6. PLASTIC PIPING SHALL NO



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



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PROJECT:

WORKSHOP/CUSTOM

22575 LAKE RIDGE RD.

PORT BOLSTER, ON

SHEET TITLE:

OF 4

NOTES

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4.3 SOIL, WASTE, AND VENT STACKS, DRAINS 65 MM DIA. AND SMALLER:

- DWV COPPER PIPING WITH WROUGHT COPPER SOLDER JOINTS FOR ABOVE GRADE. (BELOW GRADE, PROVIDE TYPE "L" OR TYPE "K" COPPER PIPING.)
- ABS DRAIN, WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO CAN/CSA-B181.1 WHERE ENCLOSED IN WALLS.
- 3. NOTE: ALL PVC OR ABS TYPE PIPING TO BE USED ABOVE GROUND SHALL BE CONFIRMED TO BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION. IF ACCEPTABLE AND USED, IT SHALL BE PROVIDED WITH U.L.C. LISTED AND APPROVED FIRE STOP DEVICE AT ALL PENETRATIONS OF ANY FIRE SEDARATION
- 4. PLASTIC PIPING SHALL NOT BE USED IN A CEILING SPACE USED AS A RETURN AIR PLENUM.

## 4.4 PIPE INSTALLATION

- 1. FOR PIPE INSTALLATION, REFER TO SECTION 15000.
- 2. FOR EXCAVATION AND BACKFILLING, REFER TO SECTION 15000.
- 3. CLASS 4000 MECHANICAL JOINT CAST IRON SOIL PIPE AND MECHANICAL
- JOINT COUPLINGS SHALL BE OF ONE MANUFACTURER.

  4. LAY UNDERGROUND PIPING STRAIGHT AND TRUE TO LINE AND GRADE
- WITH UNIFORM INVERT, SPIGOT ENDS ON GROOVE SHALL POINT IN DIRECTION OF FLOW.
- 5. MINIMUM UNDERGROUND PIPE SIZE SHALL BE 75 MM (3").

## 5.0 CLEANOUTS

- 5.1 INSTALL CLEANOUTS IN STORM AND SANITARY DRAINAGE PIPING IN THE FOLLOWING LOCATIONS:
- BUILDING DRAINS LEAVING BUILDING ON UPSTREAM SIDE OF EXTERIOR WALL.
- 2. CHANGES OF DIRECTION MORE THAN 45°.
- ON HORIZONTAL BRANCHES AND MAIN DRAINS AT INTERVALS NOT EXCEEDING 15 METERS (50') FOR 100 MM (4") OR SMALLER, AND 30 METERS (100') FOR 150 MM (60") AND LARGER.
- 4. DRAIN FROM SINK, KITCHEN PIPING, OR GREASE WASTE PIPING, AT INTERVALS NOT EXCEEDING 6 METERS (20') FOR ALL SIZES OF PIPE.
- 5. ENDS OF ALL HORIZONTAL DRAINAGE LINES.
- 6. BASE OF SOIL OR WASTE STOCKS AND RAINWATER LEADERS.

## 7. WHERE REQUIRED BY BUILDING AND PLUMBING CODES.

#### 5.2 GENERAL REQUIREMENTS:

- 1. CLEANOUTS SHALL BE FULL FOR PIPES UP TO 100 MM (4") AND NOT LESS THAN 100 MM (4") FOR LARGER SIZES.
- CLEANOUTS SHALL BE OF THE FOLLOWING TYPES:

   BARRETT TYPE FITTING WITH BOLTED COVERPLATE AND GASKET;
   FITTING WITH THREADED PLUG.
   CLEANOUT FERRULES INSTALLED IN "Y" OR EXTENTED "Y".

#### 5.3 PRODUCTS

- 1. ACCEPTABLE MANUFACTURERS: JAY R. SMITH, MIFAB, ZURN, WATTS (JAY R. SMITH NOTED FOR REFERENCE).
- 2. OUTSIDE AREAS HEAVY DUTY SERIES 4250.
- 3. UNFINISHED CONCRETE SERIES 4250.
- 4. LINO TILED AREA SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 5. CERAMIC TILE FLOOR SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 6. TERRAZO TILE FLOOR SERIES 4200 (SQUARE), SERIES 4180 (ROUND)
- LATEX DECK/MEMBRANE FLOOR SYSTEMS SERIES DX4343 (ROUND).
   CARPETED AREA SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 9. CLEANOUTS SHALL BE DUCO CAST IRON WITH SECURED NICKEL BRONZE
- CLEANOUTS SHALL BE DUCO CAST IRON WITH SECURED NICKEL BRON. TOP.

# 5.4 INSTALLATION

- LOCATE CLEANOUTS TO BE READILY ACCESSIBLE WITH SUFFICIENT
  CLEARANCES FOR RODDING AND CLEANING.
- 2. EXTEND CLEANOUTS TO FINISHED FLOOR OR WALL UNLESS EXPOSED IN UNFINISHED BASEMENT AREA, PIPE TUNNEL, ACCESSIBLE CRAWL SPACE, OR MECHANICAL ROOM.
- 3. IN WET FLOOR AREA, EXTEND CLEANOUT TO WALLS OR PROVIDE WITH GASKETTED WATERPROOF TOP.
- 4. WHERE CLEANOUTS PASS THROUGH WATERPROOF FLOOR OR ARE INSTALLED IN SLABS ON GRADE, PROVIDE CLEAMING COLLAR AND CLAMP TO MEMBRANE OR PROVIDE LEAD FLASHING TO SUIT.
- ON OUTSIDE DRAINS, BRING CLEANOUT TO GRADE AND ANCHOR IN CONCRETE COLLAR.
- 6. ALL CLEANOUTS IN FINISHED AREAS SHALL BE THE SAME SHAPE (SQUARE OR ROLIND)
- 7. COVER CLEANOUTS CONCEALED BEHIND FINISHED WALLS WITH ROUND CHROMED, BRONZE, OR STAINLESS ACCESS PLATE SECURED TO CLEANOUT WITH 6 MM (1/4") DIA. COUNTER SUNK MACHINE SCREW. COVERPLATE SHALL BE SUFFICIENTLY LARGE FOR ACCESS AND RODDING. INSTALL CLEANOUT NO MORE THAN 25 MM (1") BEHIND FACES OF FINISHED WALLS.

# 6.0 DRAINS

- UNLESS OTHERWISE SPECIFIED ON DRAWINGS, USE THE FOLLOWING:
- 6.1 F.D. FLOOR DRAIN FOR HEAVY TRAFFIC WATTS SERIES FC-300, EPOXY COATED CAST IRON BODY WITH SERRATED CLAMPING FLANGE, ADJUSTABLE COLLAR AND NON-TILT (7") 178 MM DIAMETER EPOXY COATED CAST IRON TRACTOR GATE.
- 6.2 F.D. FLOOR DRAIN FOR FINISHED SPACES WATTS SERIES FD-100-C, EPOXY COATED CAST IRON BODY WITH SERRATED CLAMPING FLANGE, ADJUSTABLE COLLAR AND NON-TILT (6") 152 MM DIAMETER NICKEL BRONZE STRAINER.
- 6.3 R.D. ROOF DRAIN WATTS SERIES RD-200-BED SUITABLE FOR CONVENTIONAL ROOF SYSTEMS, CAST IRON BODY ROOF DRAIN WITH UNDERDECK CLAMP BEARING PAN AND ALUMINUM DOME, FOR I.R.M.A. CONSTRUCTION TYPE ROOF USE ANCON SERIES RD-100-BED WITH ALUMINUM DOME (OR AS SPECIFIED ON FLOOR PLAN).
- 6.4 ACCEPTABLE MANUFACTURERS: JAY R. SMITH, MIFAB, ZURN, WATTS

# 7.0 MATERIALS INSIDE BUILDING

# 7.1 GAS PIPING

- ENTIRE NATURAL GAS INSTALLATION SHALL CONFORM TO NATIONAL STANDARD OF CANADA CAN/CSA-B149.M86 NATURAL GAS INSTALLATION CODE AS PREPARED BY CANADIAN GAS ASSOCIATION AND IN ACCORDANCE WITH THE LATEST LOCAL AMENDMENTS. PIPING SHALL BE SCHEDULE 40 BLACK CARBON STEEL PIPE COMPLYING WITH ASTM-A53. FITTINGS SHALL BE EITHER MALLEABLE IRON OR STEEL SCREWED FITTINGS COMPLYING WITH ANSI-B16.3.
- A READILY ACCESSIBLE MANUAL SHUT-OFF VALVE SHALL BE INSTALLED FOR EACH APPLIANCE AND SHALL BE OF EITHER LUBRICATED PLUG, OR ACCENTRIC TYPE. ALL GAS PIPING SHALL BE PAINTED YELLOW-ORANGE BY GENERAL CONTRACTOR.

# 7.2 REFRIGERANT PIPING

SUCTION AND LIQUID LINES HALL BE TUPE A.C&R COPPER WITH SOLDER TYPE FITTINGS USING 95/9 SILVER SOLDER. EVACUATE COMPLETED SYSTEM WITH VACUM PUMP TO ENSURE REMOVAL OF MOISTURE. RECHARGE WITH FREON TO MANUFACTURER'S SPECIFICATIONS. THOROUGHLY CHECK ENTIRE SYSTEM WITH LEAK DETECTOR WHEN UNDER PRESSURE AND REPAIR ANY LEAK.

#### 8.0 INSULATION

## 8.1 GENERAL

- INSULATION SHALL BE APPLIED ON CLEAN, DRY SURFACES AND ONLY AFTER TESTS AND APPROVALS REQUIRED HAVE BEEN COMPLETED.
- 2. ALL PIPE INSULATION SHALL BE CONTINUOUS THROUGH WALL AND CEILING OPENINGS AND SLEEVES. SUITABLE FIRE STOPS SHALL BE INSTALLED WHERE REQUIRED.
- INSULATION ON ALL COLD SURFACES MUST BE APPLIED WITH A CONTINUOUS, UNBROKEN VAPOUR SEAL.
- 4. HANGERS, SUPPORTS, ANCHORS, ETC., THAT ARE SECURED DIRECTLY TO COLD SURFACES, MUST BE ADEQUATELY INSULATED AND VAPOUR SEALED TO PREVENT CONDENSATION.
- 5. ALL SURFACE FINISHES SHALL BE EXTENDED TO PROTECT ALL SURFACES, ENDS, AND RAW EDGES OF INSULATION.
- 6. ALL DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED.
- 8.2 PLUMBING AND PIPING INSULATION
- PIPE INSULATION: FLASS FIBER INSULATION WITH FACTORY APPLIED JACKET; JOHN-MANVILLE MICRO-LOK 650 OR APPROVED EQUAL.
- JACKET EXPOSED: CANVAS FREE A VAPOUR BARRIER JACKET,
  CONSISTING OF A WHITE GLASS FIBER SURFACE BONDED TO AN
  ALUMINIZED FILM.
- JACKET CONCEALED: ALL PURPOSE A VAPOUR BARRIER JACKET, CONSISTING OF A HIGH INTENSITY WHITE KRAFT PAPER SURFACE BONDED TO AN ALUMINIZED FILM AND REINFORCED WITH A GLASS FIBER YARN.
- FITTINGS: PRE-MOULDED ONE PIECE PVC INSULATED FITTING COVERS; JOHN-MANVILLE ZESTON OR APPROVED EQUAL.
- A. DOMESTIC COLD WATER:
- DOMESTIC HOT WATER SUPPLY: DOMESTIC HOT WATER RETURN:
- AMBIENT TEMPERATURE PIPE SIZE THICKNESS

  BELOW 35°F ALL 1-1/2"
- B. AIR CONDITIONING UNIT RUNOUTS AND DRAIN LINES
  - ALL RUNOUTS FROM RISER MAIN TO THE AIR CONDITIONING UNITS AND AIR CONDITIONING UNIT DRAIN LINES SHALL BE INSTALLED WITH FLEXIBLE FOAM, CLOSED CELL STRUCTURE, PLASTIC INSULATION; JOHNS-MANVILLE AEROTUBE OR APPROVED EQUAL.

# PIPE SIZE THICKNESS UP TO 3" 1/2"

# 4" AND OVER 9.0 PLUMBING FIXTURES

ABOVE 35°F

9.1 REFER TO DRAWING FOR PLUMBING FIXTURE SCHEDULE.

3/4"

- 9.2 SHOCK ABSORBERS SHALL BE ANCON SG CERTIFIED.
- 9.3 ACCESS PANEL SHALL BE ANCON-LEHAGE L-1001 HEAVY DUTY ACCESS DOORS.
- 9.4 WATTS AND ZURN AREA ACCEPTABLE ALTERNATIVES.
- 9.5 BACKFLOW PREVENTER SHALL BE WILKINS MODEL NO. WTTP-30 OR APPROVED
- 9.6 DOMESTIC HOT WATER EXPANSION TANK SHALL BE WATTS MODEL DET-12 FOR POTABLE WATER USE OR APPROVAL EQUAL.
- 9.7 NON-FREEZE HOSE BIB (WALL HYDRANT) SHALL BE ANCON MODEL HY-725, ENCASED NON-FREEZE WITH INTEGRAL VACUUM BREAKER.
- 9.8 PROVIDE LAVATORY PROTECTIVE ENCLOSURES FOR THE BARRIER FREE
- WASHROOM(S). ALL CLEARANCES AS REQUIRED BY CODE SHALL BE MAINTAINED.

  10.0 COVERING AND INSULATION
- 10.1 INSULATEALL DOMESTIC HOT AND COLD WATER PIPING AND FITTINGS AND ALSO HORIZONTAL STORM DRAIN FOR MINIMUM SIX (6) METRES FROM ROOF DRAINS WITH 38 MM PRE-MOULDED, LOW PRESSURE, GLASS FIBER INSULATION. COVER ALL INSULATION WITH A VAPOUR BARRIER JACKET ADHERED AT LOGITUDINAL LAPS AND JOINT SEAL STRIPS WITH A SUITABLE VAPOUR BARRIER LAP CEMENT.

## SANITARY & STORM DRAINAGE SYSTEMS

- 1.0 SANITARY DRAINAGE SYSTEM
- COMBUSTIBLE PIPE AND FITTING REQUIREMENTS: (O.B.C., 3.2.6. "LOW-RISE" CONSTRUCTION)

PIPE AND FITTINGS LOCATED INSIDE A BUILDING ABOVE THE LOWEST FLOOR IN A "SANITARY DRAINAGE SYSTEM" SHALL BE IPEX "SYSTEM 15" PVC-DWV OR EQUAL ALTERNATE. IN COMPLIANCE WITH THE ONTARIO BUILDING CODE 7.2.5.12.(1), THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND CERTIFIED TO CAN/CSA-B181.2 FOR DRAIN, WASTE AND VENT APPLICATIONS. IN ADDITION, IN COMPLIANCE WITH THE REQUIREMENTS OUTLINED IN THE O.B.C. 3.1.5.16.(1)(A), WHEN INSTALLED IN BUILDINGS CLASSIFIED AS "LOW-RISE NONCOMBUSTIBLE", THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND LISTED TO CAN/ULC-S102.2-M AND HAVE A "FLAME-SPREAD RATING" NOTE GREATER THAN "25".

#### 2.0 STORM DRAINAGE SYSTEM

COMBUSTIBLE PIPE AND FITTING REQUIREMENTS: (O.B.C., 3.2.6. "LOW-RISE" CONSTRUCTION)

PIPE AND FITTINGS LOCATED INSIDE A BUILDING ABOVE THE LOWERST FLOOR IN A "STORM DRAINAGE SYSTEM" SHALL BE IPEX "SYSTEM 15" PVC-DWV OR EQUAL ALTERNATE. IN COMPLIANCE WITH THE ONTARIO BUILDING CODE 7.2.5.12 (2), THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND CERTIFIED TO CAN/CSA-B181.2 FOR DRAIN, WASTE AND VENT APPLICATIONS. IN ADDITION, IN COMPLIANCE WITH THE REQUIREMENTS OUTLINED IN THE O.B.C. 3.1.5.16(1)(A), WHEN USED IN BUILDINGS CLASSIFIED AS "LOW-RISE NONCOMBUSTIBLE", THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND LISTED TO CAN/ULC-S102.2-M AND HAVE A "FLAME-SPREAD RATING" NOT GREATER THAN "25".

# 3.0 COMBUSTIBLE PIPING PENETRATIONS (O.B.C. 3.1.9.4)

# REQUIREMENTS:

ALL COMBUSTIBLE PIPING PENETRATIONS THROUGH VERTICAL OR HORIZONTAL "FIRE SEPARATIONS" SHALL COMPLY WITH THE REQUIREMENTS DESCRIBED IN THE O.B.C. 3.1.9.4.(1) THROUGH (8) AND PROVIDE A FIRESTOP SYSTEM THAT HAS BEEN TESTED AND LISTED TO THE TEST STANDARD CAN/ULC-S115-M WITH A PRESSURE DIFFERENTIAL OF 50 PA. IN ADDITION, THE MANUFACTURER SHALL PROVIDE DOCUMENTATION CONFIRMING COMPLIANCE TO THE REQUIRED STANDARD. (IT SHOULD BE NOTED THAT SENTENCE (4),(B) AND SENTENCE (6) RESTRICTS THE USE OF ALL COMBUSTIBLE PIPING WITHIN AN AREA DESIGNATED AS A "VERTICAL SHAFT").

## 4.0 SOLVENT WELDING

IT IS THE RESPONSIBILITY OF THE SELECTED TRADE CONTRACTOR TO CONTACT THE MANUFACTURER (IPEX INC.) PRIOR TO INSTALLATION AND ARRANGE A DEMONSTRATION FOR PROPER SOLVENT WELDING PROCEDURES AS WELL AS RECOMMENDED SOLVENT CEMENT TYPES.

## 5.0 EXPANSION / CONTRACTION

COMPENSATION SHALL BE PROVIDED TO ACCOMODATE EXPANSION / CONTRACTION ON THE DRAINAGE SYSTEM. IT IS RECOMMENDED THAT THERE BE COMPENSATON ON EVERY SECOND FLOOR (OPPOSITE THE RISER CLAMP) FOR THE VERTICAL PIPING SYSTEM. CONSULT PIPE SYSTEM MANUFACTURER FOR SPECIFIC DETAILS REGARDING APPROVED COMPENSATION METHODS.

NOTE: THE ABOVE ONTARIO BUILDING CODE (O.B.C.) REFERENCES ARE TAKEN FROM THE 2008 EDITION AND SHOULD BE VERIFIED BY THE TRADE CONTRACTOR BEFORE PROCEEDING.

IN ADDITION, TO ENSURE COMPATIBILITY, PERFORMANCE AND MATERIAL QUALITY, IT IS RECOMMENDED THAT THE PIPE AND FITTING DRAINAGE SYSTEM SHALL BE PRODUCED BY THE SAME MANUFACTURER.

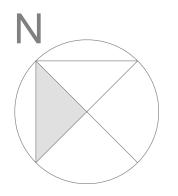
FURTHERMORE, THE MANUFACTURER OF THE PIPE AND FITTING SYSTEM SHALL BE CONTACTED BY THE TRADE CONTRACTOR PRIOR TO THE INSTALLATION TO OBTAIN PRECISE INSTALLATION INSTRUCTIONS. AS WELL, SITE MEETINGS SHALL BE ARRANGED AND INCLUDE THE CONTRACTOR, MANUFACTURER AND BUILDING

- 1. THE CONTRACTO FOR THIS DIVISION OF WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
- 2. ALL ROOF CUTTING, PATCHING AND FLAGSHIP REQUIRED TO INSTALL THE PLUMBING SYSTEMS SHALL BE BY A LANDLORD APPROVED ROOFING CONTRACTOR AT THIS CONTRACTOR'S EXPENSE. COORDINATE ROOF PENETRATIONS WITH LANDLORD AND THE GENERAL CONTRACTOR.
- 3. ALL PLUMBING AND DRAINAGE WORK SHALL BE INSTALLED AS REQUIRED BY ONTARIO PLUMBING CODE AND ONTARIO BUILDING CODE, REVISED TO DATE, AND SHALL MEET THE REQUIREMENTS OF ALL PROVINCIAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

4. CONTRACTOR TO ENSURE INCOMING WATER PRESSURE. BACKFLOW PREVENTER

INSTALL BOOSTER PUMP IF INCOMING WATER PRESSURE IS LOW.

SIZE BASED ON INCOMING PRESSURE OF 50 - 60 PSI. CONTRACTOR TO SUPPLY AND



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PROJECT:

WORKSHOP/CUSTOM GARAGE

> 22575 LAKE RIDGE RD. PORT BOLSTER, ON

> > NOTES

SHEET TITLE:

DRAWN BY: WK

DATE: 2021-02-22

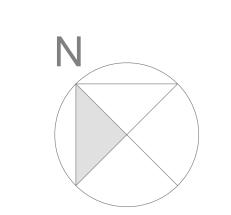
DATE: 2021-02-22

JOB #: 21-004

SHEET 3

OF 4

M3



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PROJECT:

# WORKSHOP/CUSTOM GARAGE

22575 LAKE RIDGE RD. PORT BOLSTER, ON

PLUMBING

SHEET TITLE:

OF 4

DRAWN BY: WK DATE: 2021-02-22 JOB #: 21-004

SHEET 4

OFFICE PROPOSED CUSTOM GARAGE UNIT 2 PROPOSED WORKSHOP UNIT 1 PROPOSED WORKSHOP UNIT 1 ZURN #Z1186 SIZE 500 (20 GPM) OR
EQUIVALENT OIL INTERCEPTOR TO BE
INSTALLED IN GROUND AS PER
MANUFACTURERS SPECS SUPPLY **DRAINAGE** SCALE: 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

# **PLUMBING KEY NOTES**

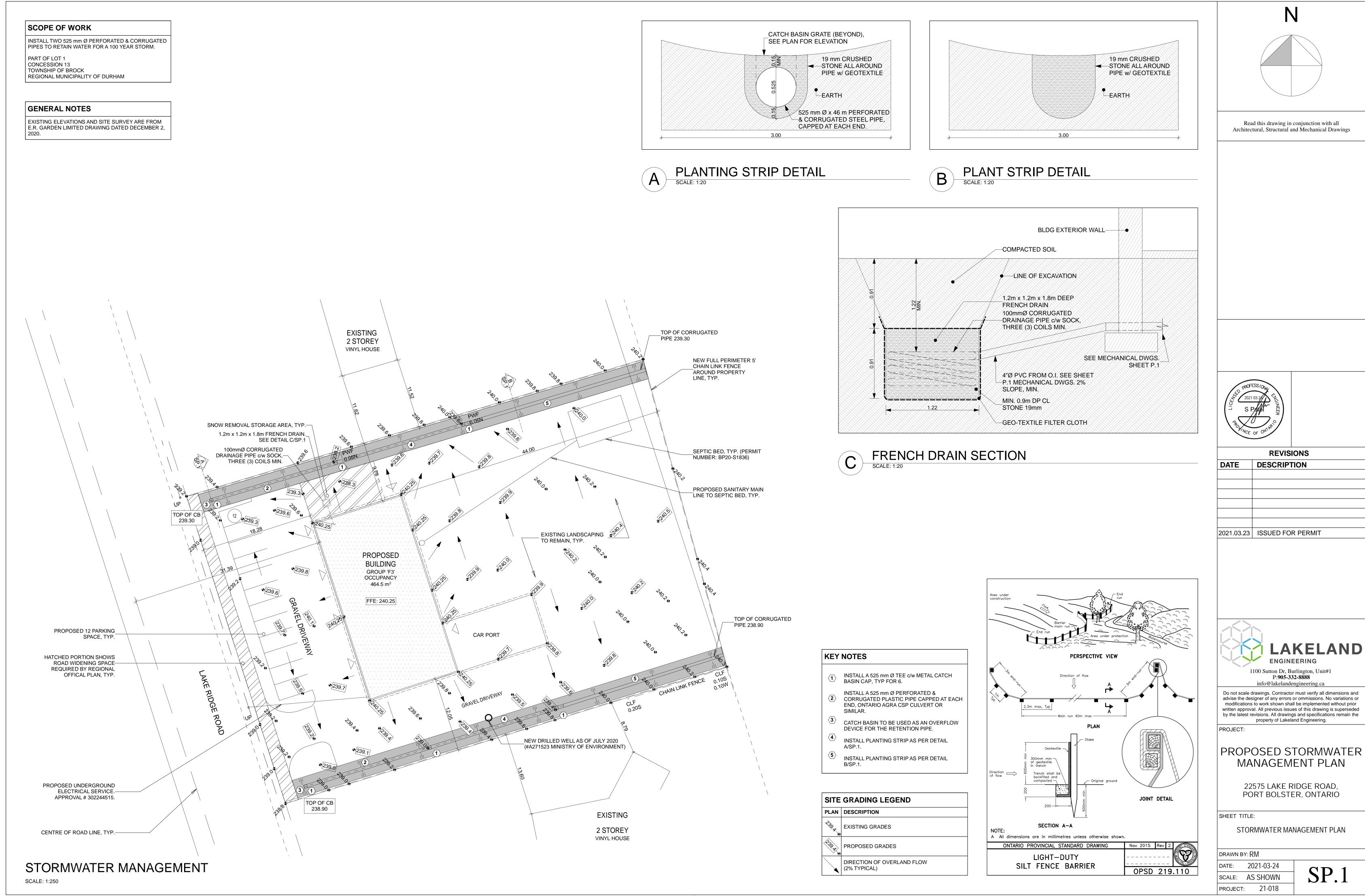
- SAN TO SEPTIC TANK. SEPTIC TANK BY OTHERS.
- (2) CONNECT NEW 4"Ø TO SEPTIC TANK SANITARY. CONTRACTOR TO CONFIRM SIZE & LOCATION ON SITE.
- (3) NEW 4"Ø SAN OUT TO FRENCH DRAIN. FRENCH DRAIN BY OTHERS.
- 4"Ø SAN STACK TO ABOVE, CAPPED FOR FUTURE USE. 5 2"Ø SAN CAPPED FOR FUTURE USE.
- 6 1-1/2"Ø SAN CAPPED FOR FUTURE USE.
- $\langle \overline{7} \rangle$  12/12 SQUARE FLOOR DRAIN.
- 8 SAN ROUGH-IN FOR FUTURE WASHROOM.
- 9 INCOMING 1" D.C.W FROM WELL. WELL BY OTHERS.

# PLUMBING LEGEND

	D.C.W LINE
	D.H.W. LINE
- — ss — —	SANITARY SEWER LINE
c.o <b>  </b> -	CLEAN OUT
н. <b>D.°</b>	HUB DRAIN

- PLUMBING FIXTURE CONNECTIONS -				
FIXTURES	WASTE	VENT	COLD WATER	HOT WATER
WATER CLOSET (Tank Type)	3"	1-1/2"	1/2"	-
LAVATORY	RY 1-1/2" 1-1/4" 1/2"		1/2"	
SINK	1-1/2"	1-1/4"	1/2"	1/2"
SLOP SINK	2"	1-1/2"	1/2"	1/2"
SHOWER STALL	3"	1-1/2"	1/2"	1/2"
DISHWASHER	2"	1-1/2"	-	1/2"
URINAL	2"	1-1/2"	3/4"	=
GREASE INTERCEPTOR	2"	1-1/2"	-	=
FLOOR DRAIN	3"	1-1/2"	-	-
HUB DRAIN	3"	1-1/2"	-	-
FUNNEL FLOOR DRAIN	3"	1-1/2"	-	-

1-1/2" 1-1/4" 1/2" -





# REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT PROPERTY ACCI	ESS APPLICATION	Nº 005767			
OWNER'S NAME  TO Y MANCINI  THE UNDERSIGNED HEREBY APPLIES F TO THE PREMISES DESCRIBED AS FOL	FOR ACCESS FROM REGIONAL ROAD	DATE  6-688-SSZOWAR 29, 2021  3 LAKE RIDGE RO  NAME & NUMBER			
PROPOSED ACCESS WIDTH EXISTING ACCESS  TYPE:	ROAD BROCK - ROLSTEN	MUNICIPALITY  POURHAM  DATE REQUIRED EXPIRY DATE IF TEMP.  VIA MEANS OF:			
PERMANENT TEMPORARY ALTERATION TO EXISTING	RESIDENTIAL  COMMERCIAL  INDUSTRIAL  FARM BUILDINGS  FARM LAND	CULVERT			
COST DISTRIBUTION	SEWER APPLICATION NUMBER WATER APPLICATION NUMBER	763 <u>4</u> 43 <u>2</u> 8501			
CULVERT DIAMETER 450mm x LENGTH 3.5 m @ = 1800 = 18					
SKETCH (NOT TO SCALE)  RD. NAME OR NO.  STREET LINE  BOULEVARD	B2Z575 LOT OR HOUSE NO.	INDICATE RD. NAME OR NO.			
LAKE RIDGE RD #23  ROAD NAME & NUMBER  REMARKS REMOVE EXISTING AND REPLACE WITH ONE AND HALF  LENGTHS OF 450mm CULVERT.					
AND AGREE TO PAY THE REGION THE WORKS IN ACCORDANCE WITH THE R THE REGIONAL MUNICIPALITY OF DUPORTION OF THE DRIVEWAY SURFACE W	ONAL MUNICIPALITY OF DURHAM TO INSTITUTE TOTAL COST THEREOF AS DETERMINED TO THE PROPERTY OF T	NED BY THE COMISSIONER OF OPENINGS. I FURTHER AGREE THAT			

Page 88 of 151

APPROVED: REGION OF DURHAM

From: Deena Hunt
To: Brock Clerks

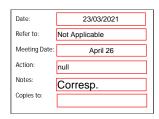
**Subject:** FW: World Elder Abuse Awareness Day - June 15

**Date:** March 22, 2021 1:55:15 PM

Attachments: EAPO WEAAD PROCLAMATION 2021 watermark.doc

Tammy Rankin Legacy Award.pdf

image005.png image006.png image007.png image008.png



I don't know if you've seen this? Proclamation request

#### Deena Hunt

Deputy Clerk

The Corporation of the Township of Brock 1 Cameron Street East, P.O. Box 10 Cannington, Ontario, L0E 1E0

Tel: 705-432-2355, Ext. 237 | Toll Free: 1-866-223-7668 | Fax: 705-432-3487

Deena.Hunt@brock.ca | townshipofbrock.ca | choosebrock.ca

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From: Patricia Nokes <Patricia.Nokes@durham.ca> On Behalf Of John Henry

Sent: March 18, 2021 4:08 PM

**To:** Deena Hunt <Deena.Hunt@brock.ca>; Bobbie Drew <bdrew@scugog.ca>; Dan Carter <dcarter@oshawa.ca>; Dave Barton <dbarton@uxbridge.ca>; Don Mitchell <mayor@whitby.ca>; Dave Ryan <dryan@pickering.ca>; Keyzers, Heather <hkeyzers@clarington.net>; Shaun Collier <shaun.collier@ajax.ca>

**Cc:** jjosephson <jjosephson@brockchc.ca>; chair <chair@durham.ca>

**Subject:** World Elder Abuse Awareness Day - June 15

Dear Durham Region Mayors,

Please join me to support the work of Durham Elder Abuse Network (DEAN) by Proclaiming June 15th as World Elder Abuse Awareness Day in your community.

For the approximately 10 years, Oshawa Senior Community Centres (OSCC 55+) has hosted a World Elder Abuse Awareness Day (W.E.A.A.D.) event which included various speakers and dedicated elder abuse professionals in Durham Region's Former Senior Safety Advisor, the late Tammy Rankin used this venue as an opportunity to speak about the current climate of Elder Abuse in the region.

Last year the Durham Elder Abuse Network (DEAN) became more formally involved and added the "Tammy Rankin Legacy Award" in the event. DEAN has been an active network in Durham Region since the early 90's and was spearheaded by Ms. Rankin. The Network includes individuals and organization from across the Region including social services, justice, for profit, non-profit, home care services, long term care, retirement, shelter workers, mental health and hospitals. Although DEAN is not a direct response to elder abuse issues it has been instrumental in leading advocacy and education events throughout the Region and provides direct support to dedicated staff.

These types of awareness raising events are highlighted throughout the world; our partners at Elder Abuse Prevention Ontario will help us share what we are doing with others all across the country. How wonderful will it be show how Durham Region has come together to address this issue.

This year DEAN is challenging all Durham Region Mayors to proclaim June 15 as "WEAAD Day" and to share your support during the virtual World Elder Abuse Awareness Day. By doing so, you will demonstrate your recognition of the important role of our older adults, the paths they have paved for the rest of us, and that Elder Abuse will not be tolerated in your community. Older adults deserve Dignity, Respect, and nothing less.

Please join me in proclaiming June 15th as World Elder Abuse Awareness Day and reading your proclamation at the:

Virtual World Elder Abuse Awareness Day (W.E.A.A.D.) Event on June 15th at 2:00 p.m.

Rsvp by June 1 to:

Jennifer Josephson, Chairperson – Durham Elder Abuse Network jjosephson@brockchc.ca

705 308 2673

If you are unable to attend the World Elder Abuse Awareness Day (W.E.A.A.D.) event, please feel free to send a short video message by June 1st to: <a href="mailto:jiosephson@brockchc.ca">jiosephson@brockchc.ca</a>.

I have attached a sample of a proclamation for your use and a nomination form for the Tammy Rankin Award should you have any individuals you would like to nominate.

Please direct any nominations or questions to Jennifer: <u>jiosephson@brockchc.ca</u>

Thank you for supporting this important initiative.

Sincerely,





#### John Henry | Regional Chair and CEO

Regional Municipality of Durham | Office of the Regional Chair & Chief Administrative Officer 605 Rossland Road East, Whitby, Ontario L1N 6A3 905.668.7711 ext 2001 or 1.800.372.1102 ext 2001 Corporate Values: • Ethical Leadership • Accountability • Service Excellence • Continuous Learning and Improvement • Inclusion

- facebook.com/RegionofDurham
- twitter.com/RegionofDurham
- youtube.com/RegionofDurham

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# MUNICIPAL PROCLAMATION WORLD ELDER ABUSE AWARENESS DAY June 15, 2021

WHEREAS:	Older Ontarians deserve to be treated with respect as leaders, mentors, volunteers and important, activated to be treated with respect as leaders.	
WHEREAS:	In 2006, the International Network for the Prevention United Nations International Plan of Action, proclain the significance of elder abuse as a both a public he	med June 15 <sup>th</sup> the day to recognize
WHEREAS:	2021 marks the 16 <sup>th</sup> Anniversary of World Elder Ab recognition will promote a better understanding of and	-
WHEREAS:	Durham Elder Abuse Network recognizes the imporsocial change in our communities by raising awaren neighbours, friends, family members and all global adults;	ess through the education of
WHEREAS:	Locally, seniors are at risk of being abused each year	r; and
WHEREAS:	Social isolation and Ageism are major risk factors of	elder abuse in Ontario; and
WHEREAS:	Preventing abuse of older adults will not only help i allow older adults to continue to live as independent contribute to the life and vibrancy of Ontario; and	
WHEREAS:	Where there is respect there can be no abuse; there are urged to join this global movement to Stop Abus	•
June 15, 2021 encourage all the success ar	I, of of of as World Elder Abuse Awareness Day in of our residents to recognize and celebrate seniors and vitality of Ontario.	, Ontario and and their ongoing contributions to
Dated on this d	day of, 2021	Signature



# Tammy Rankin Legacy Award

Tammy Rankin was the Senior Safety Advisor for the Municipality of Durham, a founding member of the Durham Elder Abuse Network (D.E.A.N.) and developed a partnership with the Durham Regional Police Senior Support Coordinator position. Tammy worked tirelessly to advocate for and support the senior population in our community. She was known for going above and beyond the scope of her position and putting "her seniors first". The Durham Elder Abuse Network is committed to the advocacy and education within our community to keep seniors safe.

D.E.A.N. is proud to support the "Tammy Rankin Legacy Award" with an opportunity to showcase an inspiring individual or organization with a powerful story about going above and beyond to make a meaningful impact in the lives of seniors and their families.

#### **Eligibility Criteria:**

- Must work or volunteer in the Durham Region
- Be willing to provide a short bio be photographed with regards to award

#### **Considerations:**

- Submissions must not contain confidential information or restricted intellectual property that should not be circulated in the public domain
- The information contained in the submission may be used by D.E.A.N. for promotional purposes. This may include social media and imagery contained in the application.
- Applicants are expected to grant D.E.A.N. consent to publish any material contained in the application
- Submissions must be submitted to deancoord@gmail.com no later than March 31, 2020



# **Tammy Rankin Legacy Award**

# Nomination form

Name of Nominee:	
Nominee Organization:	
Nominee's email:	
Nominee's daytime phone number:	
Name of Nominator:	
Nominator Organization:	
Nominator's email:	
Nominator's day time phone number:	
*Attach separate sheets for more space and mark, "see attached"	
1. Summary of nominee – please provide a short description of the nominee.	
2. How did this individual or organization go above and beyond to support a sen	iors?
	. ()2
3. How did this care make a meaningful impact the lives of a senior(s) and their of	caregiver(s)?
$\square$ 'X' if you are including attachments such as letters of support (optional)	
Number of attachments	
Page 93 of 151	

From: Becky Jamieson
To: Maralee Drake

Subject: FW: 2021 Durham Region Mayors" Gala supporting Ontario Philharmonic endorsement request - gala date

October 21st 2021

**Date:** March 25, 2021 8:20:47 AM

Attachments: 1 2020DRMG Guidebook virtual v.pdf

image001.png

FYI

#### **Becky Jamieson**

Clerk



The Corporation of the Township of Brock 1 Cameron Street East, P.O. Box 10

Cannington, Ontario, LOE 1E0

Tel: 705-432-2355, Ext. 240 | Toll-Free: 1-866-223-7668 | Fax: 705-432-3487 bjamieson@townshipofbrock.ca | townshipofbrock.ca | choosebrock.ca

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From: Laura < laura@ontariophil.ca>
Sent: March 24, 2021 3:13 PM

To: John Grant <john.grant@brock.ca>; mayor@brock.ca

Cc: Becky Jamieson <Becky.Jamieson@brock.ca>

Subject: Fwd: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement

request - gala date October 21st 2021

Hello Mayor Grant;

The email address I had in my files was wrong. I am trying to get this to you again. Cheers, Laura

Laura Vaillancourt | Executive Director
Ontario Philharmonic | www.ontariophil.ca
18 Simcoe Street South | Oshawa | ON L1H 4G2
905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca

From: "Laura" < laura@ontariophil.ca>

**Sent**: 3/24/21 1:03 PM

To: "jgrant@townshipofbrock.ca" <jgrant@townshipofbrock.ca>

Cc: "Becky Jamieson" < becky.jamieson@brock.ca>

Subject: Fwd: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement

request - gala date October 21st 2021

Dear Mayor Grant;

I would like to begin with offering sincere condolences to you, your council colleagues, Township of Brock staff and residents for the loss of Mayor Debbie Bath-Hadden. She was such a vibrant spirit.

The purpose of my email is to request the endorsement of Township of Brock for the 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic.

Your endorsement includes the use of the corporate logo on our gala material. A sample is attached - our 2020 Sponsor Guidebook. There is no monetary requirement.

The gala is a virtual format again this year due to Covid circumstances. There is more information in the original email sent on February 22, 2021.

If you have any questions, I am pleased to receive them via email or phone. At your convenience. I routinely work weekends also.

Walking with you in sympathy now and in friendship always,

#### Laura

Laura Vaillancourt | Executive Director
Ontario Philharmonic | www.ontariophil.ca
18 Simcoe Street South | Oshawa | ON L1H 4G2
905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca

From: "Laura" < laura@ontariophil.ca >

**Sent**: 2/22/21 10:56 AM

To: <iohn.henry@durham.ca>, <dbarton@uxbridge.ca>, <shaun.collier@ajax.ca>,

<mayor@ajax.ca>, <mayor@pickering.ca>, <dbathhadden@townshipofbrock.ca>,

<mayordrew@scugog.ca>, <mayor@clarington.net>, <mayor@whitby.ca>,

<Dan.carter@oshawa.ca>

Cc: "Sherry Bassin" < bassinhockey@gmail.com >, "emily@lennybreau.com"

<emily@lennybreau.com>, "profjohn1943@gmail.com" profjohn1943@gmail.com>, "Jim

Roughley" < iroughley@roughleyinsurance.com >, "ilabricciosa@opuc.on.ca"

< ilabricciosa@opuc.on.ca >, "patricia.nokes@durham.ca" < patricia.nokes@durham.ca >, "Colleen

Baskin" < cbaskin@town.uxbridge.on.ca >, "Jennifer.Larmand@ajax.ca"

<jennifer.larmand@ajax.ca>, "credmond@pickering.ca" <credmond@pickering.ca>,

<bigamieson@townshipofbrock.ca>, "Lisa Fitton" <\fitton@scugog.ca>, "Lisa Fitton"

<a href="mailto:scugog.ca">. "ellish@whitby.ca"<ellish@whitby.ca">. <a href="mailto:hKeyzers@clarington.net">hKeyzers@clarington.net</a>,

"Igeorge@oshawa.ca" <Igeorge@oshawa.ca>, "morton@oshawa.ca" <morton@oshawa.ca>

**Subject**: 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic endorsement request - gala date October 21st 2021

Good Day Mayors Ryan, Barton, Bath-Hadden, Collier, Mitchell, Carter, Drew, Foster and Regional Chair & CEO Henry;

It is our pleasure to inform you of the 2021 Durham Region Mayors' Gala supporting Ontario

Philharmonic (OP) developments. The 2021 Durham Region Mayors' Gala supporting Ontario Philharmonic is scheduled for October 21st, 2021 at 6pm. The 2021 gala is a virtual format for the second year, due to Covid circumstances.

Ontario Philharmonic is, once again, asking for your endorsement of the gala and permission to use your municipality's corporate logo on our gala material. I have attached a 2020 sample for your convenience, demonstrating how OP displays the logos.

As leaders of the region, we deeply appreciate your endorsement of the gala. In this second year of producing a virtual format gala, we are sure to engage many more corporate sponsors.

Since OP's 2020 gala, we have been adjusting our community program series that serves under-served children/youth of Durham Region. The need has changed and increased due to the myriad effects of Covid, especially social distancing and sheltering at home practices. Your endorsement of the gala assists us greatly in continuing this work and enlisting the help of corporate sponsor prospects.

Please respond to this request for your endorsement with use of your municipal logo at your earliest convenience.

Thank you again for your valuable support.

Sincerely;

Laura

CC: Board of Directors: Sherry Bassin | Jim Roughley | Emily Hughes | Ivano Labricciosa | John Green

Laura Vaillancourt | Executive Director
Ontario Philharmonic | www.ontariophil.ca
18 Simcoe Street South | Oshawa | ON L1H 4G2
905-571-3100 desk | 905-706-5799 cell
laura@ontariophil.ca



## Pflag Canada Durham Region

13/04/2021

April 26, 2021

Not Applicable

Corresp

Refer to:

Action

Meeting Date

6-470 King St W, Suite 108 Oshawa, ON L1J 2K9 9052310533 Inquiries@pflagdurhamregion.com www.PFLAGDurhamRegion.com

# **April 8th, 2021**

RE: Flag Raising & Proclamation for May 17th 2021

#### **Executive Committee, Management and Members**

For the next edition of the *International Day Against Homophobia, Transphobia* and *Biphobia* on May 17th, 2021, *PFLAG Canada Durham Region* which works within local and regional communities, invites the Municipalities, Community Organizations and Businesses of the Durham Region to individually make a meaningful gesture to combat Homophobia, Transphobia and Biphobia as well as honour the countless lives lost due to intentional acts of violence or prejudice.

With Covid-19 isolating and weighing on the mental health of many people in our community, it is now more important than ever for municipalities to show their support and acceptance for the 2SLGBTQI+ community.

We therefore request Municipalities to pass a resolution proclaiming May 17th as the International Day Against Homophobia, Transphobia and Biphobia its next meeting. With each year more and more municipal officials in Canada are using this day to send out to their fellow citizens a message of acceptance, openness, and hope.

The second effort we propose consists in raising the Pride Flag on one of the municipality's flagpoles on **May 17th** and keeping the flag up for a week. We understand that a flag raising ceremony may not be possible due to the restrictions of Covid-19 so instead, we ask that the municipality allows one or two of our staff members to be present at the time of the flag raising to take pictures.

Sincerely yours,

Natasha Francis (Pronouns She/Her/They/Them)

**PFlag Placement Student** 

PFLAG Canada Durham Region Natasha@pflagdurhamregion.com





# The Lions Club of Beaverton (Incorporated under the Laws of Ontario on August 18, 1954)

Date:	13/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp.
Copies to:	

March 12th, 2021

Township of Brock
1 Cameron St. E
Cannington, ON LOE 1E0

Dear Council,

The Beaverton Lions Club respectfully requests Council's consideration to support an electronic LED sign in front of the Beaverton Town Hall to replace the existing damaged sign. The club passed a motion to fund the sign subject to Council approval. The new sign is 8ft. wide and 3ft. high fitting between the current structure and maintaining the current top. The sign will serve as a community board for the use of all community organizations, the Township, and users of the Hall to promote their activities. The Club has reached out to several service clubs and users of the Hall who are very happy with this project.

Having had an on-site meeting with Paul Lagrandeur and contact with Becky Jamieson it was decided to request that the Township provide in-kind support if needed and purchase the sign on behalf of the Club to save H.S.T. The Club is aware that the sign will become Township property and will sign an agreement as such. The sign will be shipped free from California. The Club intends to install the sign this spring and understands that this request may involve Finance, Clerks, Works/Facilities and Buildings.

Should Council support the project please establish a contact person.

Sincerely,

Cody Windebank

Terry Clayton

President

Committee Chair

P.O. Box 297 Beaverton, ON, L0K 1A0



#### Registered Nurses' Association of Ontario L'Association des infirmières et infirmiers autorisés de l'Ontario

#### DURHAM NORTHUMBERLAND CHAPTER

PTER

Refer to: Council

Meeting Date: April 26, 2021

Action: null

Notes: Corresp.

Copies to:

Mayor Grant Township of Brock 1 Cameron Street East Cannington, ON L0E 1E0

Thursday April 15th, 2021

**Re: Request for Nursing Week Proclamation** 

**Dear Mayor Grant** 

The Registered Nurses' Association of Ontario (RNAO) is the professional association representing registered nurses, nurse practitioners, and nursing students in Ontario. Since 1925, RNAO has advocated for healthy public policy, promoted excellence in nursing practice, increased nursing's contribution to shaping the health care system, and influenced decisions that affect nursing and the public they serve.

The COVID-19 pandemic has brought to light the courage and commitment that nurses show every day in their work and the important role that nurses play in the community. We are once again preparing to celebrate **Nursing Week** this year, which will run from **May 10**<sup>th</sup> **to May 16**<sup>th</sup>, **2021**, and looking to obtain proclamations. Nursing Week is an opportunity to celebrate the unique contributions of nurses individually and together working across all health care sectors, including those who remain on the frontlines in hospitals, primary care centers, and long-term care, but also those in public health, the community sector, education, and research. From the bedside to the boardroom, nurses continue to make the world a healthier place.

We would be honoured if the Township of Brock observed and proclaimed this week as "Nursing Week" to show acknowledgement and support for local nurses across Durham and surrounding regions (please see template attached for sample proclamation or are welcome to submit your own version). We plan to share the proclamations with nurses to show recognition on behalf of city officials and the community.

Warm Regards,

Kathleen Pikaart, BSc (Hon), BScN, RN President RNAO Durham Northumberland Chapter

#### **PROCLAMATION**

# **NURSING WEEK May 10 – 16, 2021**

**WHEREAS:** the health and well-being of people is the biggest priority for our

community; and

**WHEREAS:** in the [name of city/town/municipality], nurses are an integral part of

our health-care system, serving residents of all ages with skill,

knowledge, caring and commitment; and

**WHEREAS:** nurses have a unique perspective and a broad understanding of the

concepts of good health; and

**WHEREAS:** members of the national nursing community are recognizing the

hard work and dedication of nurses, in the [name of

city/town/municipality] May 10-16, 2021, has been designated "Nursing Week" to acknowledge and promote the contributions of

nurses in our community.

NOW

**THEREFORE:** I, [name of Mayor], on behalf of [name of city/town municipality] and

the [number of people in city/town/ municipality] do hereby proclaim May 10-16, 2021 as "Nursing Week" in the [name of city/town/municipality], and encourage everyone to recognize the many services provided by our dedicated nurses and the tremendous contribution they make to the health of our residents and the well-

being of our community every day.



Date:	20/04/2021
Refer to:	Council
Meeting Date:	April 26, 2021
Action:	null
Notes:	Corresp
Copies to:	

#### Township of Brock Interoffice Memorandum

To:

Mayor and Members of Council

From:

Maralee Drake, Deputy Clerk

Subject:

Beaverton Harbour Advisory Committee – Updated Terms of Reference

Date:

Monday, April 19, 2021

Please find enclosed updated Terms of Reference for the Beaverton Harbour Advisory Committee (BHAC).

Changes have been made to Section 2. Mandate of the Terms of Reference to remove the Beaverton Skywoman project and to focus the direction of the committee on providing recommendations for the Beaverton Harbour based on previously conducted studies.

A decision on the Beaverton Skywoman project will be made by Council.

End of Memorandum

Respectfully submitted,

Maralee Drake Deputy Clerk



# Beaverton Harbour Advisory Committee (BHAC)

#### **Terms of Reference**

#### 1. Purpose

The Beaverton Harbour Advisory Committee is an advisory Committee of Council, established to complete a review of the Beaverton Harbour and provide input and recommendations to Council on different projects.

#### 2. Mandate

- 2.1 With staff support the committee will review the Beaverton Harbour and Thorah Island Harbour and provide recommendations to Council prior to December 31, 2021. In doing so the committee will review and consider the following:
  - Beaverton Harbour Study 1997;
  - Beaverton Harbour ReWilding project 2018;
  - Beaverton Harbour public survey 2019;
  - Existing practices;
  - Daytime and overnight parking at the Harbour; and
  - Ensure the public and community organizations are consulted during the review.

#### 3. Term

3.1 Membership on the BHAC will be for the length of time the Committee takes to complete their work.

#### 4. Composition

- 4.1 Council shall attempt to ensure that the BHAC is comprised of seven (7) voting members, appointed by Council, consisting of
  - Two (2) members of Council;
  - One (1) representative from Beaverton Special Events;
  - One (1) representative from the Beaverton Lions Club;
  - One (1) representative from the Thorah Island Ratepayers' Association; and
  - Two (2) citizen representatives.
- 4.2 Depending on the level of interest expressed by individuals, Council may, at its discretion reduce or increase the number of Committee members.
- 4.3 The Mayor is a non-voting ex-officio member of the BHAC

#### 5. Staff Support

- 5.1 The BHAC will receive administrative support from the Clerk's Department. This will include the recording of minutes, preparation of agenda, support necessary to convene a meeting and other support as may be necessary from time to time.
- 5.2 Additional Township staff will be consulted and provide input and advice to the Committee as required.

#### 6. Membership Selection

- 6.1 The Township of Brock shall place an advertisement within the newspaper and on its website requesting expressions of interest from individuals who are residents of the Township of Brock.
- 6.2 Applicants shall be required to submit a written expression of interest outlining their reasons for applying and whether they have any environmental background or experience.
- 6.3 Upon receipt of applications, Staff shall review all expressions of interest, and consider all candidates' qualifications.
- 6.4 Staff will provide a report to Council with recommendations for appointments to the BHAC.
- 6.5 The Township of Brock Term Limits Advisory Boards and Committees Policy shall be taken into consideration when selecting members to BHAC.

- 6.6 All persons appointed to the BHAC shall attended a mandatory Advisory Board and Committee Training prior to their first meeting.
- 6.7 All members appointed to the BHAC shall be required to adhere to the established by-laws, policies, and procedures of the Corporation of the Township of Brock that pertain to the committee.

#### 7. Chair/Vice-Chair

- 7.1 A Chair, whose responsibility will be to chair the meetings in accordance with the Township's procedural by-law, shall be selected by the Committee at the start of the Committee.
- 7.2 A Vice-Chair shall also be selected for the same term as the Chair and shall act as Chair when the Chair is absent or unable to fulfill his/her duties.

#### 8. Meetings of BHAC

- 8.1 The Committee shall hold as many meetings as required to complete its work. A schedule of meetings shall be established by staff and approved by the committee. Meetings shall be scheduled at a frequency established by the Committee that best addresses the workload and objectives of the Committee. In accordance with the requirements of the *Municipal Act*, notice of meetings shall be posted on the municipal website.
- 8.2 A member of the Clerk's Department shall act as recording secretary for the Committee and, in consultation with the Chair, be responsible for preparing the meeting agendas. Should a member of the Clerk's Department be unable to fulfill these duties, the Committee shall appoint an acting secretary.
- 8.3 All meetings of the Committee shall be open to members of the public.

#### 9. Quorum

- 9.1 A quorum shall consist of a simple majority of appointed voting-members.
- 9.2 If there is no quorum after fifteen (15) minutes of the scheduled start time, the meeting will be cancelled and/or rescheduled.

#### 10. Annual Work Plan/Budget

10.1 Council and the BHAC shall work jointly in developing an annual work plan. The allocation of fiscal resources necessary to implement the work plan shall be at the discretion of Council. 10.2 The BHAC shall attend as a delegation before Council to present its accomplishments and report in June of 2021.

#### 11. Conflict of Interest

11.1 A conflict of interest may arise for Committee members when their personal business interests conflict with the duties and decisions of the Committee. Municipal conflict of interest requirements as defined by the *Municipal Conflict of Interest Act* will apply to the Committee.

#### 12. Reimbursement of Expenses

- 12.1 It is acknowledged that there are no per diems for any Committee positions and it is acknowledged that none of the above positions shall be paid for their services.
- 12.2 All Committee members are considered volunteer positions.

#### 13. Attendance Policy

13.1 Each member of the BHAC shall assume an active role in the Committee's activities. After three (3) consecutive absences, the Chair or staff member shall follow-up with the absent member to determine the cause of the absences. Members who miss three (3) consecutive meetings without providing reasonable cause and/or who are not fulfilling their respective responsibilities, as determined by the Committee, will be deemed to have forfeited their membership.

\*Original Terms of Reference Approved by Committee of the Whole on September 21, 2020 Resolution No. 19.7.

Date:	20/04/2021	7			
Refer to:	Council				
Meeting Date:	April 26, 2021				
Action:	null				
Notes:	Corresp.				
Copies to:			•		
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#### LEASE AGREEMENT

THIS AGREEMENT made this 315t MARCH , 2021.

BETWEEN:

#### **Sunderland and District Historical Society**

(hereinafter called the "Lessee")

OF THE FIRST PART;

- and -

#### The Corporation of the Township of Brock,

(hereinafter called the "Lessor")

OF THE SECOND PART.

WHEREAS the Lessee desires to use the lands and premises located at 14 Church Street North, Sunderland urban area, for the purposes of a museum to store and display historical artifacts pertinent to the geographical area in which it is located (hereinafter referred to as the "Lands");

And WHEREAS the Corporation of the Township of Brock is agreeable to the use of the Lands by the Lessee for a term of ten (10) years to be computed from the 1<sup>st</sup> day of April, 2021, and from thenceforth ensuing and to be fully completed and ended on the 31<sup>st</sup> day of March, 2031;

YIELDING AND PAYING THEREFOR the sum of ONE (\$1.00) DOLLAR for the entire term of this lease, the receipt of which is hereby acknowledged by the Lessor upon execution of these presents.

# AND THE SAID LESSEE DOTH HEREBY COVENANT WITH THE SAID LESSOR AS FOLLOWS:

- 1. That it will pay all charges for electric energy, water supply, heat, gas, and janitorial services used by the Lessee in the subject premises.
- 2. That it will well and sufficiently maintain the said premises and buildings now located thereon or which may hereafter be erected thereon, in good and substantial repair.
- 3. That it will not erect thereon any buildings, not make any major alterations to the grades of the said premises or substantially alter the landscaping thereof without the express approval in writing of the said Lessor.
- 4. That it will maintain sufficient contents and liability insurance and the Lessor shall be named as an additional insured in the amount of not less than \$2,000,000, a copy of which shall be provided.
- 5. That the said premises will not, during the said term, be at any time used for any purpose other than for a museum and the storage and display of historical artifacts open to the public and operated by the Lessee; provided that the Lessee may make reasonable charges for admission to the building occupied and operated by them for the said historical museum purposes.
- 6. That it will not, during the said term, assign, sublet, transfer or set over the whole or any part of the said premises without leave and the Lessee hereby waives and renounces the benefit of any present or future act of the legislature of Ontario which allow the Lessee to assign or sublet this lease without leave of the Lessor.

#### AND THE LESSOR DOTH HEREBY COVENANT WITH THE SAID LESSEE AS FOLLOWS:

1. That it will maintain sufficient fire insurance coverage on the said premises and maintain sufficient liability coverage for its own purposes.

- 2. That it will allow the Lessee quiet enjoyment of the premises.
- 3. That it will maintain and properly groom any flower beds and landscaping on the said premises in a good and husbandlike manner.
- 4. That it will be responsible for snow removal from the said premises as may be required for the purposes of the said Lessee.
- 5. That it will maintain the existing heating and air conditioning system, inclusive of annual inspections, present within the building and the existing security system on an on-going basis.
- 6. That it will maintain all fire extinguishers inclusive of inspections as well as elevator repairs, maintenance, inspections, and licences.
- 7. That the existing window coverings, stacking chairs, desks, and stationary shelving units will be provided to the Lessee at no cost throughout the term of this Agreement.

## IT IS FURTHER DECLARED AND AGREED:

- 1. That this lease may be terminated by either party by giving the other party six (6) months notice of its intention to terminate this lease.
- 2. Such notice shall be by way of a registered letter forwarded by the Lessor to the Lessee at the following address:

Sunderland & District Historical Society c/o Larry Doble 35 Ianson Drive Greenbank, Ontario LOC 1B0

and, if forwarded by the Lessee to the Lessor, at the following address:

Clerk's Department Corporation of the Township of Brock 1 Cameron Street East, P.O. Box 10 Cannington, Ontario L0E 1E0

IN WITNESS WHEREOF the parties hereto have hereunto affixed their Corporate Seals under the hands of their proper signing officers in that behalf.

THE CORPORATION OF THE TOWNSHIP OF BROCK

SIGNED, SEALED AND DELIVERED In the Presence of

	MAYOR
	CLERK
	SUNDERLAND AND DISTRICT HISTORICAL SOCIETY
<u>Xydea Doble</u> Vitness	Jarry M. Doble CHAIRMAN Per:
Uitness Witness	Per: TREASURER.

		Date:	20/04/2021
From:	<u>Chris Terzis</u>	Refer to:	Council
To:	Maralee Drake	Meeting Date:	April 26, 2021
Cc:	Ingrid Svelnis; Paul Lagrandeur; Cria Pettingill	Antion:	745111 20, 2021
Subject:	Request for Enbridge Line into Cedarhurst Beach Road		null
Date:	April 19, 2021 3:24:33 PM	Notes:	Corresp.
Attachments:	Request for approval of Enbridge line into Cedarhurst Beach Road 04 19 2021pdf	Copies to:	

#### Hi Maralee

Per instructions from Ingrid Svelnis, please find our request with supporting information for the Township to allow Enbridge to install a line across the last bit of Concession 3 road allowance, joining into our property at Cedarhurst Beach Road. Ingrid advised that there is a Township meeting later this month. Could you kindly ensure our request is included on the agenda.

Should you have any questions or need more information please let me know.

Thank you very much

Chris Terzis

Request for approval of Enbridge line into Cedarhurst Beach Road.

### Location

We are located at the dead end portion of CC3 north of the ravine, where CC3 joins into our property. There is no lake access on the north side of the ravine without crossing our property. I have attached the Township aerial photo on file received from Debbie Vandenakker, and also a recent picture of this last leg of CC3 road allowance looking east. On both these pictures, a red line has been shown on how the Enbridge line would come in.

### **Background/History/ Brock Township Report**

I have had multiple discussions with Paul Lagrandeur (copied) on this last bit of road allowance. Both sides of this last portion of CC3 road allowance function as a (snow/rain) storm water catch, drainage system. The exposed ravine itself, a steep drop off, full of large jagged rocks and sharp tree branches, fills to river levels during storms and snow meltdowns. To experience the phenomena this spring was fascinating. I was advised last year 2020, that the challenges this road allowance poses for public use including no lake access (north side of ravine), public liability concerns, costs to re-develop, were amongst the reasons that led to this location not being on the recommended list of locations in the Brock Township report for future development sites. My understanding is this report is up for review this year.

### CC3 Road Allowance Maintenance. (west of Cedarhurst Beach Road)

The Township has always had an arrangement with prior owners of Cedarhurst Beach Road, whereby maintenance for this last bit of CC3 north of the ravine, is performed by the owners of 26080 Cedarhurst Beach Rd. It is our intention to keep this partnership with the Township, and continue with this road maintenance.

### **Canada Post and Miller Waste Collection**

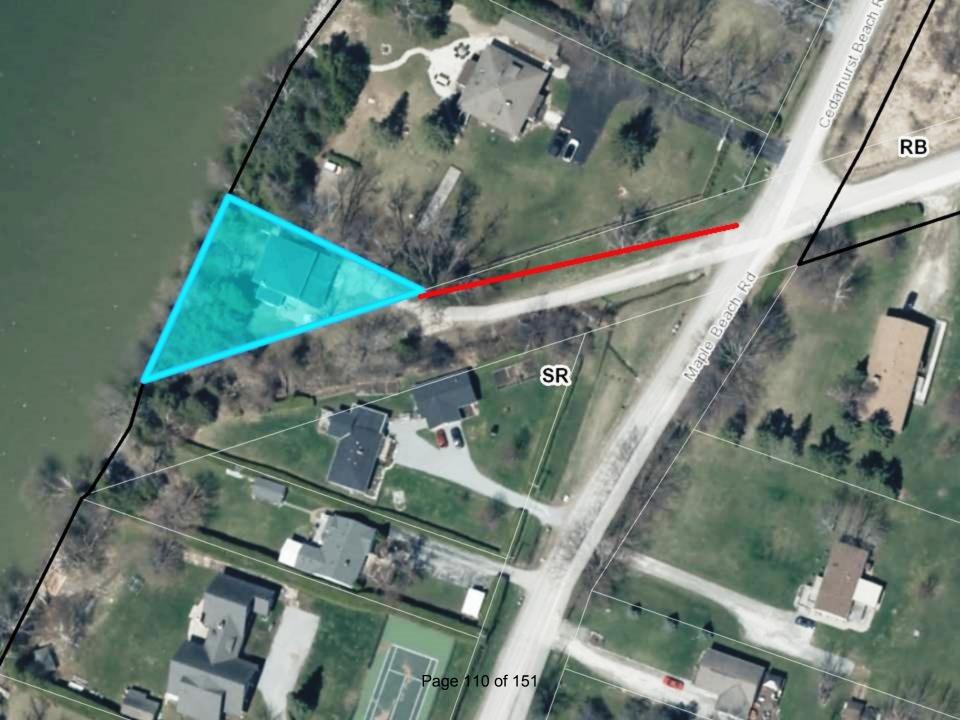
Our Waste collection and Canada Post mail delivery occurs on Cedarhurst Beach Rd. Canada Post and Miller Waste have both told us they will not drive their vehicles down CC3 road allowance to our house, and instructed us to place waste for pickup, and our mail box on Cedarhurst Beach Road.

Re: our mailbox; I have to say coming from a community based mailbox service, seeing the flag up on our mailbox was very exciting for us and personal.

My wife and I have retired to Cedarhurst Beach Road. Enbridge have advised us that they can put a gas line in for us prior to next winter. They have told us that the process takes time, and have asked us to obtain approval for the easement from the Township.

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Thank you very much Chris Terzis			
Thank you very mach	very much	Chris Terzis	





# THE CORPORATION OF THE TOWNSHIP OF BROCK BY-LAW NUMBER 3032–2021

A BY-LAW TO CANCEL, REDUCE OR REFUND TAXES

**WHEREAS** Section 357 and 358 of the Municipal Act, S.O. 2001, c. 25, as amended, provides for an application to Council for the cancellation, reduction or refund of taxes levied in the year in respect of which the application is made;

**AND WHEREAS** certain applications to the Council for cancellation, reduction or refund of taxes levied have been made;

**AND WHEREAS** it is deemed advisable to cancel, reduce or refund such taxes as set out in Schedule "A" attached hereto and forming part of this by-law;

**NOW THEREFORE** the Council of the Corporation of the Township of Brock enacts as follows:

- 1. THAT the Treasurer is hereby authorized and directed to cancel, reduce or refund certain taxes as outlined in Schedule "A" attached hereto and forming part of this by-law.
- 2. THAT this by-law shall come into force and effect on the date of its enactment.

THIS BY-LAW READ A FIRST AND SECOND TIME THIS 26th DAY OF APRIL, 2021.

	MAYOR
	CLERK
THIS BY-LAW READ A THIRD 1 2021.	IME AND FINALLY PASSED THIS 26 <sup>th</sup> DAY OF APRI
	MAYOR
	CLERK

SCHEDULE "A"

Roll#	Name	Year	# of Days	Township Taxes	Region Taxes	School Bd Taxes	Total	Description
010 004 09720	Beaverton Commons	2019 2020	56 366	46.49 305.87	61.41 398.15	16.29 104.04	124.19 \$ 808.06	Class change from exempt
010 004 09722	Beaverton Commons	2019 2020	56 366	46.49 305.87	61.41 398.15	16.29 104.04	\$ 124.19 \$ 808.06	Class change from exempt
030 006 17810	Marshman	2019	154	(152.33)	(201.21)	(640.09)	\$ (993.63)	Class change from CT to RT
050 007 01800	loannou	2019 2020	32 366	(37.06) (413.83)	(48.95) (538.68)	(12.99) (140.76)		Structure fire
040 004 28800	Watman	2019	191	(391.39)	(516.98)	(137.15)	\$ (1,045.52)	House demolished
040 003 12200	McMann	2019 2020	33 366	(115.56) (1,295.46)	(152.64) (1,686.30)	(40.49) (440.64)		Structure fire
010 005 43700	Env.Can. Brunne	2020	278	(78.58)	(102.29)	(26.73)	\$ (207.60)	Structure fire
020 040 02600	2404202 Ont Inc	2020	366	(537.15)	(665.56)	(2,089.00)	\$ (3,291.71)	Class change from CT to RT
030 006 17300	Reg. of Durham	2020	203	(681.10)	(886.59)	(231.67)	\$ (1,799.36)	Class change from RT to EN
040 001 28600	Frisby	2020	198	(1,075.57)	(1,400.07)	(365.85)	\$ (2,841.49)	Demolished home to rebuild
			TOTAL	(4,073.31)	(5,280.15)	(3,884.71)	(13,238.17)	<del>-</del>

### THE CORPORATION OF THE TOWNSHIP OF BROCK

### **BY-LAW NUMBER 3033-2021**

AND CONTROL THE USE OF PARKS AND PARK BUILDINGS UNDER THE JURISDICTION OF THE TOWNSHIP OF BROCK

BEING A BY-LAW TO AMEND BY-LAW NUMBER 1977-2006-PP, BEING A BY-LAW TO REGULATE

WHEREAS Council deems it appropriate to amend By-law Number 1977-2006-PP to prohibit fishing from public docks and boat launch ramps and has the authority to do so;

NOW THEREFORE BE IT ENACTED by the Council of the Corporation of the Township of Brock as follows:

- THAT Section 1 of By-law Number 1977-2006-PP is amended by inserting the following clauses which shall read as follows and that the remaining subclauses of Section 1 be relettered:
  - a) "Fish" means fishing for, catching, or attempting to catch fish by any method; and,
  - b) "Township Dock" means any structure located on lands owned or under the control of the Township of Brock and used as a dock or boat launch or recovery area together with all adjacent and underlying lands related thereto;
- 2. THAT Section 3 of By-law Number 1977-2006-PP is amended by inserting the following clauses which shall read as follows:
  - "z) fish from a Township Dock unless written approval is received from the Municipal Clerk."
- 3. THAT this By-law shall come into force and effect upon the date of its passage.

THIS BY-LAW READ A FIRST, SECOND AND THIRD TIME THIS 26th DAY OF APRIL, A.D., 2021.

Mayor John Grant	 Deputy Clerk Deena Hunt

### The Corporation of The Township of Brock

### **By-law Number 3035-2021**

### To levy and collect taxes for the year 2021

Whereas subsection 290 of the <u>Municipal Act</u>, S.O. 2001, c. 25, as amended (the "Act"), provides for the council of a local municipality in each year to prepare and adopt a budget including estimates of all sums required for the purposes of the municipality; and

Whereas subsection 312(2) of the Act provides that for the purposes of raising the general local municipal levy the council of a local municipality shall, each year, pass a by-law levying a separate tax rate, as specified in the by-law, on all the assessment in each property class in the local municipality rateable for local municipal purposes; and

Whereas subsection 257.7(1) of the <u>Education Act</u>, R.S.O. 1990, c. E.2, as amended, requires a municipality to levy and collect tax rates for school purposes on such tax rates as are prescribed by Ontario Regulations and

Whereas The Regional Municipality of Durham has passed By-law Number 07-2021 to establish tax ratios and to specify the percentage by which tax rates are to be reduced for prescribed property sub class, By-law Number 08-2021 to set and levy the 2021 rates of taxation for Regional General Purposes and By-law 10-2021 to set the 2021 rates for Regional Solid Waste Management Purposes and By-law 09–2021 to set the 2021 rates for Regional Transit Purposes;

Now therefore the Council of the Corporation of the Township of Brock enacts as follows:

- 1. The taxes for the year 2021, together with all other rents or rates payable as taxes shall be due and payable on and from the 1st day of January 2021.
- 2. For the year 2021, The Corporation of the Township of Brock shall levy upon the Residential Assessment, Farm Assessment, Managed Forest Assessment, Commercial Assessment, Industrial Assessment, Multi-Residential Assessment and Pipeline Assessment the rates of taxation per current value assessment for general purposes and estimates for the current year as set out in Schedule "A" attached to this By-law.
- 3. The levy provided for in Schedule "A" shall be reduced by the amount of the interim levy for 2021.
- 4. For payment-in-lieu of taxes due to The Corporation of the Township of Brock, the actual amount due to The Corporation of the Township of Brock shall be based on the assessment roll and the tax rates for the year 2021.
- 5. All taxes and other rates payable as taxes shall, subject to Section 13, be paid in 2 installments, and shall be due and payable on or before the respective dates set out below:

Installment 1 - July 23, 2021 Installment 2 - September 24, 2021

- 6. A percentage charge of 1.25 per cent is imposed as a penalty for nonpayment of taxes on first day of default and on the first day of each calendar month thereafter in which default continues, until December 31, 2021.
- 7. Interest charges in respect of unpaid taxes other than those levied for the current year, shall be added at the rate of 1.25 per cent per month for each month or fraction of it until the taxes in default are paid.
- 8. The Tax Collector shall be authorized to accept part payment from time to time on account of any taxes due; such part payment shall not affect the collection of any percentage charge imposed or collectable under Section 6 or Section 7 in respect to nonpayment of taxes or of any installment thereof.
- 9. Nothing in this by-law shall prevent the Tax Collector from proceeding at any time with the collection of any rate, tax or assessment, or any part thereof, in accordance with the provisions of the statutes and by-laws governing the collection of taxes.
- 10. Where the sum of the total annual taxes for which any person is chargeable in the 2021 taxation year for municipal, school, local improvement and other special purposes, upon any real property assessed in one parcel to the same owner would according to the assessment thereon be less than \$10.00, the sum of such taxes shall be deemed to be \$10.00 and shall be so entered on the Tax Collector's roll and the difference between the sum that would have been entered but for this section and the sum of \$10.00 shall form part of the general funds of the Corporation of the Township of Brock.
- 12. The Tax Collector may mail, or cause to be mailed to the residence or place of business of such person indicated on the last revised assessment roll, a notice specifying the amount of taxes payable.
- 13. All moneys raised, levied or collected under the authority of this by-law shall be paid into the hands of the Treasurer to be applied and paid to such persons and in such manner as the laws of Ontario and the by-laws or resolutions of the Council direct.
- 14. The Tax Collector is hereby authorized to revise assessments and resulting tax rates as deemed necessary in conjunction with changes made by the Municipal Property Assessment Corporation (MPAC) to the returned roll and revised in the Online Property Tax Analysis Program (OPTA).
- 15. If any section or portion of this By-law or of Schedule "A" is found by a court of competent jurisdiction to be invalid, it is the intent of the Council of the Corporation of the Township of Brock that all remaining sections and portions of this By-law and of Schedule "A" continue in force and effect.

This By-law read a first, second and third time this 26th day of April, A.D., 2021.

Mayor John Grant
Deputy Clerk

Schedule A
The Corporation of the Township of Brock
2021 Tax Rates and Levy

2021 1421	tates and Levy	CVA	Township	Region	Education	Total	Total	Total	Total	Total
Code	Property Class		Tax Rate	Tax Rate	Tax Rate	Tax Rates	Township Levy	Regional Levy	Education Levy	Levy
CTN	Commercial Occupied	71,775,131	0.00666658	0.00865494	0.00880000	0.02412152	478,494.41	621,209.45	631,621.15	1,731,325.01
CUN	Commercial Excess Land	1,768,000	0.00666658	0.00865494	0.00880000	0.02412152	11,786.51	15,301.93	15,558.40	42,646.84
CXN	Commerical Vac Lands	2,742,200	0.00666658	0.00865494	0.00880000	0.02412152	18,281.09	23,733.58	24,131.36	66,146.02
GTN	Parking Lots	626,000	0.00666658	0.00865494	0.00880000	0.02412152	4,173.28	5,417.99	5,508.80	15,100.07
XTN	New Construction- Com	5,290,900	0.00666658	0.00865494	0.00880000	0.02412152	35,272.19	45,792.42	46,559.92	127,624.53
FT	Farm	405,491,086	0.00091953	0.00119379	0.00038250	0.00249582	372,860.33	484,071.20	155,100.34	1,012,031.87
ITN	Industrial Occupied	14,837,400	0.00930332	0.01207813	0.00880000	0.03018145	138,037.12	179,208.05	130,569.12	447,814.28
IUN	Industrial Excess Land	471,000	0.00930332	0.01207813	0.00880000	0.03018145	4,381.86	5,688.80	4,144.80	14,215.46
IXN	Industrial Vac Lands	662,400	0.00930332	0.01207813	0.00880000	0.03018145	6,162.52	8,000.55	5,829.12	19,992.19
JTN	New Construction-Industrial	6,237,500	0.00930332	0.01207813	0.00880000	0.03018145	58,029.47	75,337.34	54,890.00	188,256.81
JUN	New Construction-Ind Ex Ld	74,700	0.00930332	0.01207813	0.00880000	0.03018145	694.96	902.24	657.36	2,254.55
JXN	New Construction-Ind Vc Ld	0	0.00930332	0.01207813	0.00880000	0.03018145	0.00	0.00	0.00	0.00
MT	Multi-Residential Occupied	18,103,400	0.00858149	0.01114101	0.00153000	0.02125250	155,354.21	201,690.16	27,698.20	384,742.57
NT	New Multi-Residential Occ	5,479,000	0.00505740	0.00656582	0.00153000	0.01315322	27,709.51	35,974.13	8,382.87	72,066.51
PTN	Pipeline	5,253,000	0.00565234	0.00733820	0.00880000	0.02179054	29,691.73	38,547.56	46,226.40	114,465.69
RT	Residential	1,725,592,392	0.00459764	0.00596893	0.00153000	0.01209657	7,933,650.94	10,299,940.20	2,640,156.36	20,873,747.50
TT	Managed Forest	7,899,600	0.00114941	0.00149223	0.00038250	0.00302414	9,079.88	11,788.02	3,021.60	23,889.49
Total		2,272,303,709					\$9,283,660.00	\$12,052,603.62	\$3,800,055.80	25,136,319.42

### **BY-LAW NUMBER 3036-2021**

BEING A BY-LAW TO AUTHORIZE THE CORPORATION OF THE TOWNSHIP OF BROCK TO ENTER INTO A SITE PLAN AGREEMENT WITH 2753883 ONTARIO INC. REGARDING PART LOT 1, CONCESSION 13, BROCK

(MUNICIPALLY KNOWN AS B22575 LAKERIDGE ROAD, CANNINGTON, ON)

**WHEREAS** Section 41 of the Planning Act, R.S.O. 1990 provides that a municipality may enter into agreements dealing with and ensuring the provision of any or all of the facilities, works or matters mentioned therein;

**AND WHEREAS** the Council of the Corporation of the Township of Brock deems it expedient to enter into an agreement with 2753883 Ontario Inc. for the development and use of the lands described therein;

**NOW THEREFORE BE IT ENACTED** by the Council of the Corporation of the Township of Brock as follows:

1. THAT the Mayor and Deputy Clerk are hereby authorized to sign and affix the Corporate Seal to a Site Plan Agreement between the Corporation of the Township of Brock and 2753883 Ontario Inc as contained in Schedule 1 – Site Plan Development Agreement attached to and forming part of this by-law.

THIS BY-LAW READ TWICE THIS 26th DAY	OF APRIL, A.D., 2021.
Mayor John Grant	Deputy Clerk Deena Hunt
THIS BY-LAW READ A THIRD TIME AND FI 2021.	NALLY PASSED THIS 26 <sup>th</sup> DAY OF APRIL, A.D.
Mayor John Grant	Deputy Clerk Deena Hunt

### SCHEDULE 1 OF BY-LAW NUMBER 3036-20201

### SITE PLAN DEVELOPMENT AGREEMENT

THIS AGREEMENT made this 26th day of April, 2021

**BETWEEN:** 

### **2753883 ONTARIO INC.**

(hereinafter called the "Owner")

OF THE FIRST PART,

and

### THE CORPORATION OF THE TOWNSHIP OF BROCK

(hereinafter called the "Township")

OF THE SECOND PART

**WHEREAS** this Agreement has been entered into pursuant to Section 41 of the Planning Act, R.S.O. 1990, c. P.13, as amended;

**AND WHEREAS** Subsection 10 of Section 41 of the Planning Act, as amended, provides for the registration of Site Plan Development Agreements on the title of the Lands;

**AND WHEREAS** the Owner warrants and represents that there are no encumbrancers of the Lands, save and except the Encumbrancers herein;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that in consideration of mutual covenants herein contained and other good and valuable consideration, the parties hereby covenant and agree as follows:

### 1. Prohibition

The Owner hereby agrees that no development or redevelopment will proceed or take place on the Lands except as shown on plans, drawings and specifications approved by Council of the Township (hereinafter referred to as the "Site Development Plans"), and without limiting the generality of the foregoing, development or redevelopment shall include the construction, erection or placing of one or more buildings or structures that has the effect of substantially increasing the size or usability thereof, or the laying out and establishment of a commercial parking lot, or the construction, erection, installation or placement on the Lands of any loading spaces, parking areas, garbage container areas, landscaping, lighting, drainage facilities, access driveways or fencing.

# 2. Completion and Security

a) The Owner agrees that it shall construct and provide the structures, buildings, facilities, services or works shown on the Site Development Plans within two years of approval by Council of the Site Development Plans.

### 3. <u>Construction</u>

The Owner shall undertake all construction activity on the Lands in such a manner so as not to unreasonably interfere with adjoining lands or traffic on adjacent roadway. The Owner shall control all dust, mud and debris resulting from any construction activities and remove the same promptly from any municipal catch basin, manhole, sewer, ditch, culvert, roadway, boulevard or sidewalk. The Owner shall reimburse the Township for any damage to any municipal services, facilities or works resulting from the development or redevelopment of the Lands, howsoever caused and the determination of the Director of Public Works or his designate with respect to whether or not said damage was caused by the

owner or with respect to the extent of the damage shall be final and binding on all parties.

### 4. Maintenance

The Owner shall maintain, in good repair and in a safe and clean condition, the Lands and Boulevard, vegetation, structures, buildings, facilities, services, works and landscaping improvements on the Lands and Boulevard at his own expense and shall do all acts necessary to comply with and properly carry out and provide for the maintenance and use thereof, including the replacement or repair of broken, damaged or worn material or parts and the replacement of dead or deceased vegetation. The Owner shall further keep the Lands and Boulevard free and clear of all refuse, debris and obstructions.

# 5. <u>Building or Demolition Permits</u>

Notwithstanding the provisions of this agreement, the Owner hereby acknowledges that the Township is not obligated to issue any building permits or demolition permits or grant any other permits or consents with respect to any development or redevelopment on the Lands unless:

- a) all federal, provincial and municipal statutes, regulations, by-laws, ordinances, orders and requirements have been complied with;
- b) any other agreements with the Township, the Regional Municipality of Durham or any other governmental body or agency are not in default; and
- c) all property and business taxes with respect to the Lands have been paid in full.

In the event the development or redevelopment of the Lands herein contemplated requires any other municipal or other governmental approvals, including but not limiting the generality of the foregoing, a building permit, a consent for a severance or rezoning or a variance pursuant to the provisions of the Planning Act, R.S.O. 1990, a permit for access, ingress or egress, approvals pursuant to the provisions of the Environmental Assessment Act, R.S.O. 1990, or the Environmental Protection Act, R.S.O. 1990, the approval of the Medical Officer of Health, the approval of the Conservation Authority having jurisdiction, the approval of the Minister of Health or the approval of any other governmental body or agency, then in such event the Owner hereby agrees not to commence any work on the Lands or demolish or alter any structures on the Lands unless all such approvals, permits or rezoning have been obtained.

### 6. <u>Landscaping</u>

Landscaping shall be completed in accordance with the site development plans as set out in Schedule "B" attached and those special conditions set out in Schedule "C" attached. All approved landscaping shall be maintained in a healthy growing condition at all times.

### 7. Garbage

The Owner shall store all garbage in the garbage storage facilities as shown on the Site Development Plans. If the garbage storage facilities are designed for the use of a bulk lift container, it shall be the Owner's responsibility to provide for such container and for the regular removal and replacement of the same as may be reasonably required. In the event no garbage storage facilities are shown on the Site Development Plans, all garbage shall be stored indoors.

### 8. <u>Hydro</u>

The Owner shall, at its sole cost, comply with the requirements of Ontario Hydro, or its successor, and Veridian Connections, including bearing the cost of the relocation of existing hydroelectric facilities if applicable.

### 9. Costs

The Owner shall pay to the Township, forthwith upon demand, all reasonable costs and expenses incurred by the Township, whether directly or indirectly, in connection with this Agreement and the approval of any Site Development Plans. Without limiting the generality of the foregoing, such costs and expenses shall include a charge for the processing of the Site Development Plans by the consultants retained by the Township incurred in connection with this Agreement, the supervision of all of the works undertaken in connection therewith or in ensuring compliance with this agreement and the registration thereof on title to the Lands.

### 10. Fire Access Routes

The Owner shall designate such driveways as shown on the Site Development Plans as fire access routes (if applicable) or hereafter so designated by the Fire Chief for the Township and shall keep them clear and unobstructed at all times. The Owner shall erect and maintain signs approved by the Chief Building Official for the Township designating the fire access routes.

### 11. Lighting

The Owner agrees that any lights used for the illumination of the building or parking areas shall be so arranged by diverting the lights away from adjoining lands so as to minimize the light affecting adjoining lands.

### 12. Owner's Expense

The Owner acknowledges that where this Agreement obliges the Owner to perform any work or do anything it is to be done at the Owner's expense and not at the Township's expense.

### 13. Registration

The Owner hereby consents to the registration of this Agreement on the title of the Lands.

### 14. Acknowledgment by Encumbrancers

The Encumbrancers (if applicable) hereby acknowledge that they are aware of all of the terms, covenants and conditions contained in this Agreement and agrees to be bound by such terms, covenants and conditions in the event that it should obtain control, possession or equitable ownership of the Lands.

### 15. Indemnification by Owner

The Owner shall defend, indemnify and save harmless the Township against all actions, causes of action, suits, claims and demands whatsoever which may arise directly or indirectly by reason of this agreement or the Owner undertaking the development or redevelopment herein referred to.

### 16. Insurance

Prior to the commencement of any construction of any Services or grading on the Lands or issuance of any building permit for the Lands, the Owner shall maintain commercial general liability insurance, and continue to maintain such insurance until the Chief Building Official for the Township certifies that any building or structure located on the Lands is fit for occupancy and has issued an unconditional Lot Clearance Certificate therefore, against all damages or claims for damage with an insurance company satisfactory to the Township. Such policy or policies shall include the Township as an additional insured and a certificate of insurance shall be delivered to the Township and be in full force and effect until such certification by the Township's Engineer. Such certificate of insurance shall be in a form acceptable to the Township's Solicitor and without limiting the generality of the foregoing, such insurance shall provide:

- (a) that the minimum limits shall be not less than \$5,000,000.00 for any single occurrence;
- (b) that it includes a cross-liability and completed operation coverage;
- (c) that it shall not contain an exclusion for blasting, shoring, underpinning raising or demolition of any building or structure, collapse of any structure or subsidence of any structure or land from any cause;
- (d) that the insurance premium has been prepaid for a period of not less than one year;
- (e) that the policy will provide that it is not cancellable unless prior notice by registered mail has been received by the Township from the insurer not less than thirty (30) days prior to the cancellation date;
- (f) in the event of claims made against the Township to which the deductible applies, the Owner shall be solely responsible for paying the deductible; and
- (g) Where a subcontractor is retained for work where Professional Liability coverage is a contract requirement, the Owner must ensure that the Professional Liability insurance is in an amount not less than two million dollars (\$2,000,000) per claim.

### 17. Right of Entry

The Owner covenants and agrees with the Township to grant and hereby grants to the Township or its authorized representatives the right to enter upon the Lands or any part thereof in order to ascertain whether or not the provisions of this Agreement have been complied with in full.

### 18. Default

In the event of any default by the Owner pursuant to any of the terms of this Agreement, in addition to any other remedies available to the Township and without any limitation thereof, the Township may:

- a) undertake or compete any obligation of the Owner hereunder;
- b) enter upon the Lands through its servants or agents for any purpose whatsoever;
- c) issue a stop work order with respect to any further development, redevelopment or work upon the Lands; and
- d) recover from the Owner all costs and expenses incurred by the Township whether directly or indirectly, with respect to the default or the remedy thereof and collect such costs and expenses in like manner as municipal taxes.

### 19. Drainage

The Owner shall not take any action or cause any work to be done that will adversely affect drainage from or onto properties adjoining the Lands, and the Owner shall with the prior approval of the Township, at the Owner's expense, construct such drainage works as may be required. Notwithstanding the aforesaid, the Owner shall indemnify and save harmless the Township with respect to drainage from or onto lands adjoining the Land as a result of the development or redevelopment hereby contemplated and the construction of any works, facilities or structures on the Lands.

### 20. Occupancy

The Owner covenants and agrees that there shall be no occupancy of buildings until all requirements of this Agreement have been complied with and the Chief Building Official has issued an Occupancy Certificate. The Chief Building Official may, however, issue a conditional Occupancy Certificate provided the Letter of Credit is sufficient to cover any outstanding works.

### 21. Successors and Assigns

The parties hereto hereby covenant and agree that this Agreement shall be binding upon them, their respective heirs, executors, administrators, successors and assigns. In the event that the Lands are sold, conveyed, assigned, or transferred, or otherwise parted with possession or ownership, the proposed purchaser, successor or assignee ("Successor") shall, prior to closing, execute an assumption agreement acceptable to the Township's Solicitors which provides that all provisions of this Agreement will continue to be binding on the Successor to the Owner as if such Successor had entered into this Agreement in the place of the Owner and in the event of more than one Successor all of the parties collectively shall be deemed to be the Owner pursuant to the terms hereof. Further, the Owner shall be released and discharged from the obligations and provisions of this Agreement upon the execution of an assumption agreement by the Successor.

### 22. Invalidity

If a Court of competent jurisdiction should declare any section or part of a section of this Agreement to be invalid or unenforceable, such section or part of a section shall not be construed as being an integral part of the Agreement or having persuaded or influenced a party to this Agreement to execute the same, and it is hereby agreed that the remainder of the Agreement shall be valid and in full force and effect.

### 23. Counterparts

This Agreement may be executed electronically and in one or more counterparts, which together shall be deemed to be an original and such counterparts together shall constitute but one and the same instrument. Such counterparts may be delivered by electronic transmission.

### 24. Interpretation

In construing this Agreement, words in the singular shall include the plural and vice versa and words importing the masculine shall include the feminine, and the neuter and vice versa, and words importing persons shall include corporations and vice versa. In the event of any conflict or ambiguity in the Site Development Plans or Schedules to this Agreement, the decision of the Township shall be final and binding.

### 25. Notice

All notices, demands or requests provided for or permitted to be given pursuant to this agreement shall be made in writing as follows:

- a) if made to the Township, shall be addressed to the CAO & Municipal Clerk, The Corporation of the Township of Brock, P.O. Box 10, Cannington, Ontario, L0E 1E0;
- b) if made to the Owner, at his respective address for service shown on the Document General attached to this Agreement in the Registry Office in which this Agreement is registered;

All notices, demands or requests shall be deemed to have been properly delivered personally or by prepaid and registered mail, return receipt guaranteed. If notice is given by mail, the same shall be effective five (5) business days of being deposited with the post

office, or upon proof of delivery by return receipt. However, in the event of a postal interruption, the notice shall be deemed to have been given during such period of interruption, unless such notice has actually been received.

IN WITNESS WHEREOF, the individual parties hereto have hereunto set their hands and seals and the Corporate parties have hereunto affixed their Corporate Seal as attested to by the hands of their proper signing officers in that behalf duly authorized.

SIGNED, SEALED AND DELIVERED in the presence of

	) THE CORPORATION OF THE TOWNSHIP OF BROCK
Authorized to be executed by By-law No.	) ) Per: ) Mayor – John Grant
3036-2021 enacted on The 26th day of April, 2021.	) Mayor – John Grant ) )
	) Per:
	) ) )
	) ) 2753883 ONTARIO INC.
	) Per:
Witness	) Tony Mancini
	) I have authority to bind the Corporation.
	) )
	) )
	) )
	)

### SCHEDULE "A" OF SITE PLAN AGREEMENT

### LEGAL DESCRIPTION OF THE LANDS

ALL AND SINGULAR that certain parcel or tract of land and premises situated, lying and being in the Township of Brock, in the Regional Municipality of Durham and being composed of:

**DESCRIPTION:** Part Lot 1, Concession 13 Brock, as in D217665; Brock. (Municipally known as B22575 Lakeridge Road, Cannington ON L0E 1E0.)

**PIN**: 720230016

OWNER: 2753883 Ontario Inc.

18 Lakeshore Road, Pefferlaw, ON L0E 1N0



# SCHEDULE "B" OF SITE PLAN AGREEMENT

# SITE DEVELOPMENT PLANS

Name of Drawing or Specification	Number of Sheet or Page & Project Number	Date of Plan Drawing or Specification	Prepared By	Date of Acceptance by Township
Plan 40R-31314	1 page	April 2, 2021	E.R. Garden	April 16, 2021
Topographic Sketch	1 page	December 2, 2020	E.R. Garden	April 16, 2021
Plan of Survey	1 page		E.R. Garden Limited	April 16, 2021
General Notes, Site Plan and OBC Matrix	16 pages	July 2020	Paul Marques Architect Inc.	April 16, 2021
Stormwater Management Plan	1 page	March 24, 2021	Lakeland Engineering	April 16, 2021
Culvert Permit	1 page	March 29, 2021	Region of Durham	April 16, 2021

### SCHEDULE "C" OF SITE PLAN AGREEMENT

### **SPECIAL CONDITIONS**

- 1. The Owner shall comply with all of the terms and conditions imposed by the Regional Municipality of Durham Works Department. The Township's Chief Building Official (the "CBO") will withhold the issuance of a building permit until such time as all approvals and permits are issued by the Regional Municipality of Durham Works Department. The Owner shall provide copies of all permits received to the Township prior to building permit issuance.
- 2. The Owner agrees and warrants that all works shall be constructed and maintained in accordance with the Site Development Plans contained within Schedule "B" of this Agreement and in accordance with the Township of Brock Design Criteria and Standard Drawings.
- 3. The Owner acknowledges and agrees that prior to the occupancy of any buildings or structures provided under the approval, the CBO shall be satisfied with respect to fire safety and emergency services requirements of the Township's Fire Chief, including the provisions of an adequate water supply for fire-fighting purposes are provided.
- 4. The Owner agrees that the Fire Access Route is to be designed to meet the requirements of Section 3.2.5.6 of the Ontario Building Code. The Owner also agrees that the placement of Fire Hydrants shall meet the requirements of Section 3.2.5.7 of the Ontario Building Code.
- 5. The Owner agrees that the earthworks and grading associated with this Agreement are to take place only between the hours of 7:00 a.m. and 7:00 p.m. and shall not take place on Sundays and Statutory Holidays.
- 6. The Owner shall maintain the Lands in a tidy condition and free from the accumulation of waste products and debris and shall cut all grasses and weeds at any time and from time to time to prevent growth in excess of six (6) inches in height. When all work is substantially performed pursuant to this Agreement, the Owner shall remove surplus products, tools, construction machinery, equipment, waste products and debris from the Lands, including any waste products caused by Third Parties.
- 7. The Owner acknowledges that fires shall not be set on the Lands. Should an illegal fire be set, the Owner hereby agrees to pay any costs which may be incurred as a result of the illegal fire.

### Landscaping

- 8. The Owner is solely responsible for ensuring that sufficient topsoil is available for the Lands. All areas shall be sodded and/or seeded as soon as possible and by no later than October 31, 2022 as indicated on the Site Development Plans identified on Schedule "B" of this Agreement.
- 9. The trees, shrubs, and other groundcover required, as noted on Schedule "B" shall be planted no later than October 31, 2022 and the trees, shrubs, and other groundcover shall thereafter continuously be maintained in a healthy living state by the Owner, and shall be replaced if necessary to ensure that at all times healthy living plants. If the Owner fails to complete or maintain the landscaping in accordance with this condition, the Township may undertake to do so, and the Letter of Credit may be drawn on to the extent necessary to complete or maintain the landscaping.

### Stormwater Management

10. The Owner shall construct all storm drainage and stormwater management facilities in accordance with the Site Development Plans and with the approval of the Township or the Lake Simcoe Region Conservation Authority ("LSRCA").

- 11. The Owner covenants and agrees to keep in a proper state of repair all storm drainage systems, Stormwater management facilities, and to do all maintenance and repairs as the Owner may be directed to do in writing by the Township.
- 12. The Owner shall inspect all erosion and sedimentation control measures weekly and after each rainfall event and twice per day during prolonged rainfall events. Sediment accumulation of more than one-half the height of the sedimentation control device will require the contractor to remove the sediment or install a second sediment control device.
- 13. The Owner agrees to maintain all erosion and sedimentation control measures until such time that all disturbed areas have received a healthy growth of vegetation. The Owner acknowledges and agrees that they are solely responsible for repairing off-site sedimentation damage resulting from the failure of the erosion and sedimentation control measures.
- 14. The Owner agrees to implement all of the recommended inspection and maintenance measures as contained within Schedule "B".

### **Drainage & Servicing Easements**

15. The Owner covenants and agrees that such drainage and servicing easements as may be required for utilities, servicing, and drainage purposes shall be obtained and granted at the sole cost and expense of the Owner to the appropriate authority and shall be in the form as may be required by the appropriate authority or the Township's solicitor.

### Lighting

- 16. The Owner acknowledges and agrees that full cut-off (FCO) lighting fixtures shall be used to ensure that all site lighting shall be directed to the ground so as to ensure that lighting does not trespass onto adjacent lands.
- 17. The Owner shall be responsible for all financial arrangements and obligations with Veridian Connections or Hydro One for the installation of the below ground electrical distribution system and site lighting and agrees to submit proof of this arrangement to the Township.

### **Pre-Construction Meeting**

18. The Owner shall convene a meeting, prior to commencement of construction to be attended by the Owner's consulting engineer, all contractors to be employed on the site to construct the services, such persons as the Township may direct, and the Township's Director of Public Works, where involved, to review the schedules of construction.

### Construction Access

- 19. The Owner agrees that any damage to public roads and services as a result of the works provided in this Agreement shall be repaired by the Owner at their sole cost and to the satisfaction of the Township. The Owner further agrees it is the sole responsibility of the Owner to control mud-tracking, dust and debris from the Lands, and shall undertake whatever remedies are required by the Township at the sole cost of the Owner, forthwith upon notification by the Township.
- 20. The Owner shall not be permitted to store any materials and/or equipment on opened and maintained public road allowances.

### **Architectural**

21. The Owner agrees that the exterior finish of the building shall be consistent with the renderings provided as noted within Schedule "B".

### SCHEDULE "D" OF SITE PLAN AGREEMENT

### FINANCIAL OBLIGATIONS

### 1. **Development Charges**

The Owner hereby agrees to pay a Development Charge for the structure to be constructed, at the time of issuance of a building permit for that structure. The amount of the Development Charge payable shall be the Development Charge in effect at the time of the issuance of a building permit. The Owner acknowledges and agrees that the Development Charge has been set pursuant to The Township's current Development Charges By-Law. The Owner further acknowledges and agrees that said By-law provides for an indexing of the Development Charge, annually on July 1.

The Owner hereby covenants and agrees that if the payment described above is not paid on the due date, the Township may, in its sole discretion, place the total amount due, plus any administrative charges, on the taxes of the Lands.

ROAD ALLOWANCE BETWEEN CONCESSIONS 13 AND 14 NORTHWEST CORNER OF LOT 1, CONCESSION 13 PIN 72023-0015 PART 1, PLAN 40R-3232  $C^{*}$ N7377'40"E (N73'23'00"£ P1) (N73'17'40"E P4) 3.05 (78.18 P1) N72"01"50"E (MEAS) (78.33 DEED) 77.95 (P4MMEAS) *7*5.95 - 2.00  $\geq$ ORP B 13.11  $\langle f \rangle$  $\langle f \rangle$ PIN 72023-0016 (LT) PART 1 OA 73.55 GEN71\*30'40"E (MEAS) 75.55 (P2,P48MEAS) (1727)(N72'45'10'E P2) (78.33 DEED) RIIPIN 72023-0017 ---LORP A См (мто) TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

ONTARIO LAND SURVEYOR

REGISTRAR FOR THE LAND TITLES DIVISION OF DURHAM (No 40)

	SCHEDULE					
PART	PART OF LOT	CONCESSION	PART OF PIN	AREA		
1	1		72023-0016 (LT)	105.54 SQ.M		

PART 1 CONSISTS PART OF PIN 72023-0016 (LT)

PLAN OF SURVEY OF

# PART OF LOT 1 **CONCESSION 13**

# TOWNSHIP OF BROCK REGIONAL MUNICIPALITY OF DURHAM

SCALE 1: 300

20 metres E.R.GARDEN LTD.

"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

<u>LEGEND</u>

■ DENOTES SURVEY MONUMENT FOUND

☐ DENOTES SURVEY MONUMENT PLANTED

SIB DENOTES STANDARD IRON BAR SSIB DENOTES SHORT STANDARD IRON BAR

IB DENOTES IRON BAR

CM DENOTES CONCRETE MONUMENT

(917) DENOTES R.A. GARDEN, O.L.S.

(1727) DENOTES E.R. GARDEN, O.L.S.

(OU) DENOTES ORIGIN UNKNOWN

PIN DENOTES PROPERTY IDENTIFICATION NUMBER

P1 DENOTES PLAN 40R-3232

P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991

P3 DENOTES HWY PLAN 135 (MTO FILE P-2800-49) P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020

DEED DENOTES INSTRUMENT 0217665

PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4910982.473	644375.265
ORP B	4911097.450	644417.856

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNCAR'ES SHOWN ON THIS PLAN.

# BEARING REFERENCE

BEARINGS ARE UTW GRID, DERIVED FROM OBSERVED REFERÊNCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999819.

# SURVEYOR'S CERTIFICATE

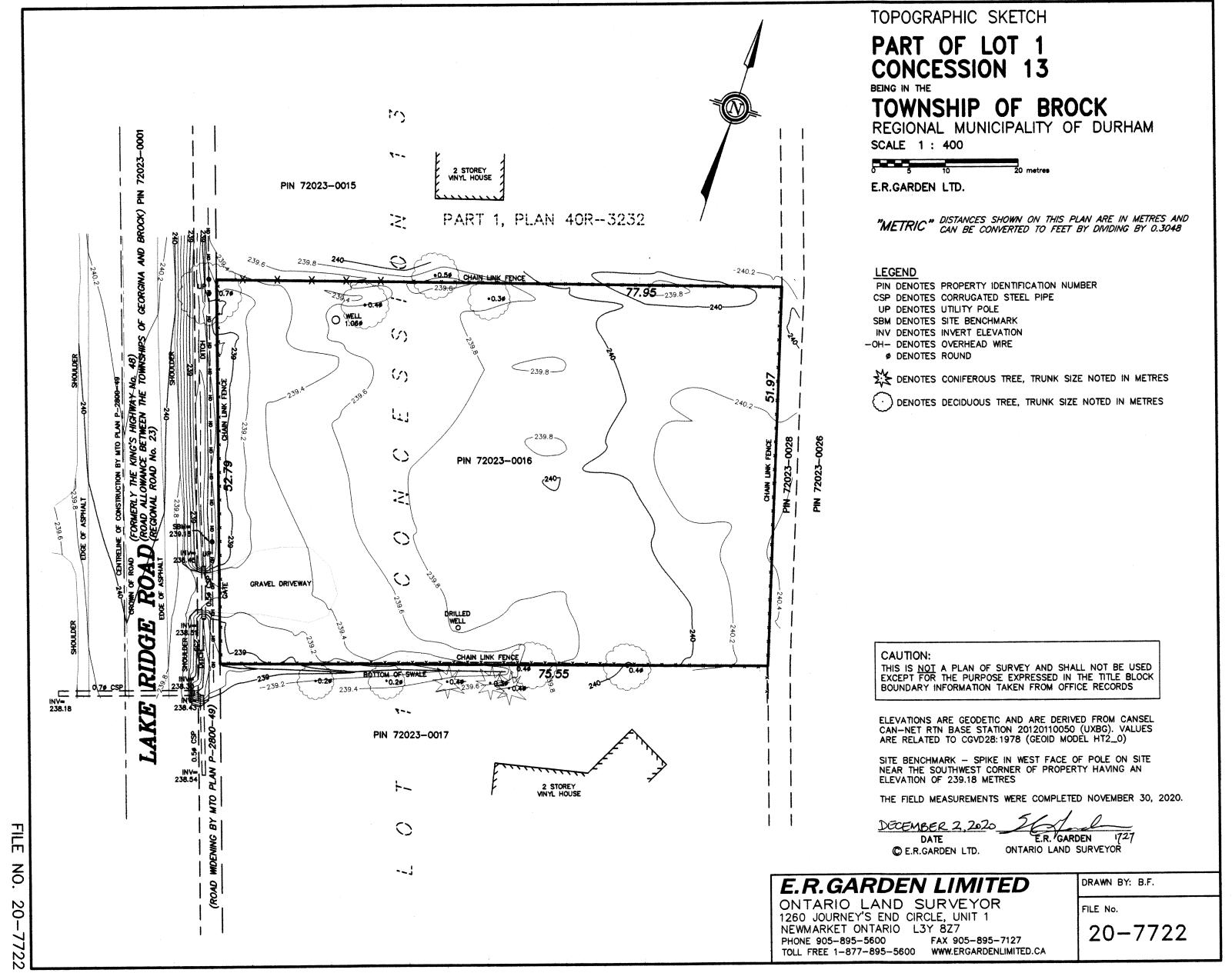
I CERTIFY THAT :

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 26TH DAY OF MARCH, 2021.

# E.R.GARDEN LIMITED

ONTARIO LAND SURVEYOR 1260 JOURNEY'S END CIRCLE, UNIT 1 NEWMARKET ONTARIO L3Y 8Z7 PHONE 905-895-5600 FAX 905-895-7127 FIELDWORK BY: B.F. DRAFTING BY: R.D.

FILE NUMBER: 21 - 7776



ROAD ALLOWANCE BETWEEN CONCESSIONS 13 AND 14 NORTHWEST CORNER OF LOT 1, CONCESSION 13 PIN 72023-0015 PART 1, PLAN 40R-3232 14 N73°17'40"E *3.05* -(N73°23'00"E P1) (78.18 P1) N73°17'40"E (P4&MEAS) (78.33 DEED) 77.95 (P4&MEAS) *75.95* - 2.00 13.11 (f)PIN 72023-0016 (LT) PART 1 ROA. - 2.00 *73.55* RIDG **75.55** (P2,P4&MEAS) (1727) (78.33 DEED) PIN 72023-0017 N17.52'00"W 43.46

UNDER THE LAND TITLES ACT RECEIVED AND DEPOSITED DATE REPRESENTATIVE FOR LAND E.R. GARDEN REGISTRAR FOR THE LAND TITLES ONTARIO LAND SURVEYOR DIVISION OF DURHAM (No 40)

PLAN 40R-

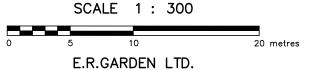
SCHEDULE PART PART OF LOT CONCESSION PIN AREA 13 72023-0016 (LT) 105.54 SQ.M

PLAN OF SURVEY OF

# PART OF LOT 1 **CONCESSION 13**

TOWNSHIP OF BROCK

REGIONAL MUNICIPALITY OF DURHAM



"METRIC" DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

# LEGEND

■ DENOTES SURVEY MONUMENT FOUND

I REQUIRE THIS PLAN TO BE DEPOSITED

- ☐ DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CM DENOTES CONCRETE MONUMENT
- (917) DENOTES R.A. GARDEN, O.L.S. (1727) DENOTES E.R. GARDEN, O.L.S.
- (OU) DENOTES ORIGIN UNKNOWN
- PIN DENOTES PROPERTY IDENTIFICATION NUMBER
- P1 DENOTES PLAN 40R-3232
- P2 DENOTES PLAN BY A. KARKLINS DATED SEPTEMBER 23, 1991 P3 DENOTES MTO PLAN P-2800-49
- P4 DENOTES PLAN BY E.R. GARDEN DATED OCTOBER 29, 2020
- DEED DENOTES INSTRUMENT D217665
- PWF DENOTES POST & WIRE FENCE

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES ARE TO AN URBAN ACCURACY PER SECTION 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4XXXXXXXXX	6XXXXXXXX
ORP B	4XXXXXXXXX	6XXXXX.XXX

CAUTION: COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

# BEARING REFERENCE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999XXX.

# SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 17TH DAY OF JULY, 2020.

DATE	E.R. GARDEN
	ONTARIO LAND SURVEYOR

E.R.GARDEN LIMITED

ONTARIO LAND SURVEYOR 1260 JOURNEY'S END CIRCLE, UNIT 1 NEWMARKET ONTARIO L3Y 8Z7 FAX 905-895-7127 PHONE 905-895-5600

TOLL FREE 1-877-895-5600 WWW.ERGARDENLIMITED.CA

FIELDWORK BY: X.X. DRAFTING BY: R.D.

> FILE NUMBER: 21-7776

# **GENERAL NOTES**

# **GENERAL REQUIREMENTS (01001)**

PART 1 - GENERAL

1.1 GENERAL

- .1 VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WITHOUT ADDITIONAL COST TO THE OWNER.
- .2 THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT. PART 2 - PROJECT CO-ORDINATION
- 2.1 GENERAL CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS.
- PART 3 CUTTING AND PATCHING
- 3.1 APPROVALS
- .1 SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING
  - INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENTS
- VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR WORK OF OWNER OR SEPARATE CONTRACTOR.
- 3.2 INSPECTION
- INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING. AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK.
  BEGINNING OF CUTTING AND PATCHING MEANS ACCEPTANCE OF EXISTING CONDITIONS.
- 3.3 EXECUTION
- PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE WORK. REMOVE AND REPLACE DEFECTIVE AND NON—CONFORMING WORK.
- PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PRESENT
- PERFORM WORK TO AVOID DAMAGE TO OTHER WORK.
  PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING

PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK, CUTTING AND

- EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT
- EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTORE RESISTANT ELEMENTS, AND SK EXPOSED SURFACES.

  7. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT ALLOWED.

  8. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS.

  9. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.

  10. AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL
- THICKNESS OF THE CONSTRUCTION ELEMENT. .11 REFINISH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT.
- PART 4 SUBMITTALS
- 4.1 ADMINISTRATIVE
- SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.

  WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.

  REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS. .4 VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.
- 4.2 SHOP DRAWINGS AND PRODUCT DATA
- THE TERM "SHOP DRAWNO" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.

  INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
- ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE.
- SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLE REQUEST. SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.
- 4.3 OPERATING MAINTENANCE MANUALS
- TWO WEEKS PRIOR TO SUBSTANTIAL PERFORMANCE OF THE WORK, SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.
  MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE INFORMATION.
  BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER. ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS.
- 4.4 RECORD DRAWINGS
- AFTER AWARD OF CONTRACT; G.C., WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT.
   RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES.
- IDENTIFY DRAWINGS AS "PROJECT RECORD COPY". MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE FOR INSPECTION ON SITE BY
- .4 ON COMPLETION OF WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO ARCHITECT.

# PART 5 - REPORTS

SITE PLAN

SCALE: NTS

SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED CONSULTANTS.

- PART 6 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS
- 6.1 INSTALLATION AND REMOVAL
- PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK EXPEDITIOUSLY. .2 REMOVE FROM SITE ALL SUCH WORK AFTER USE.
- 6.2 SITE STORAGE AND OVERLOADING PROPERTY
- REFER TO CC 33 PROTECTION OF WORK AND.
  CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS .3 DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDANGER THE WORK.
- 6.3 SANITARY FACILITIES PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH AUTHORITIES.
- .2 MAINTAIN IN CLEAN CONDITION.
- .1 PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE.
  .2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
  .3 PAY FOR UTILITY CHARGES AT PREVAILING RATES.
- 6.5 TEMPORARY POWER .1 PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.

  2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL.
- 6.6 TEMPORARY TELEPHONE .1 PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.
- .1 PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND
- LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH
- MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND DEBRIS.
  REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE END OF EACH WORKING DAY.
  CLEAN INTERIOR AREAS PRIOR TO START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING
- PART 7 MATERIAL AND EQUIPMENT
- 7.1 PRODUCT AND MATERIAL QUALITY .1 REFER TO CC 39- LABOUR AND PRODUCTS.
- PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE
- PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS INTOGRACULT IN SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PROVIDED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES CAUSED BY REJECTION.
- CAUSED BY REJECTION.

  SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- .1 HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOILING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE.
  STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH MANUFACTURER'S SEALS AND LABELS INTACT.
  STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.
- UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.
- NOTIFY ARCHITECT IN WRITING, OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION.

  IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.
- WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS.
   DO NOT EMPLOY ANY UNFIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.
   DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS
- .1 IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT WHERE INDICATED OTHERWISE.
  .2 BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS DIRECTED BY ARCHITECT.
- PART 8 PROJECT CLOSEOUT 8.1 FINAL CLEANING

- REFER TO CC 42 CLEAN UP AND FINAL CLEANING OF THE WORK.

  WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.

  REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY ARCHITECT IN WRITTEN FORM.

  LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.

  CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.

  REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.

  VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVRES AND SCREENS.

  WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND PER SPECIFICATIONS.

  BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.

- PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT ON POSSESSION DAY: INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR INSTRUCTION.
- 8.3 DOCUMENTS

- COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
  SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.
  SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
  PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
  EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY PERIOD REQUIREMENTS.
  SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND MONIES REMAINING DUE.
  CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE.
- .1 PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY.
- DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED. CORRECT SAME.

  WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.

  MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT. CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

# **DEMOLITION NOTES**

- 1. DEMOLITION WORK WILL NOT AFFECT ADJACENT AREAS OR SPACES , TENANCIES, SURFACES, STRUCTURES ETC. ANY DAMAGE
- 2. CONTRACTOR TO PROVIDE ALL REQUIRED HOARDING, BRACING, BARRICADES, SHORING, SIGNAGE ETC. DURING DEMOLITION.

CAUSED TO THE ABOVE RESULTING FROM DEMOLITION SHALL BE MADE GOOD AT NO EXTRA COS

- 3. ACCESS TO SITE IS TO BE MAINTAINED AT ALL TIMES. PROVIDE PROTECTION TO ALL EXISTING SURFACES TO REMAIN IE. SIDEWALKS, CURBS, ASPHALT, ETC. MAKE GOOD ANY DAMAGE AT NO EXTRA COST
- 4. CONTRACTOR MUST TAKE ALL MEASURED TO PREVENT COLLAPSE, MOVEMENT, SETTLEMENT OF ALL ADJACENT PROPERTY,
- 5. ALL AUTHORITIES HAVING JURISDICTION TO BE NOTIFIED PRIOR TO CUTTING, CAPPING OR DISCONNECTING UTILITIES & SERVICES.
- 6. ALL ELECTRICAL TO BE REMOVED BY A LICENSED ELECTRICAL TRADE. MAKE SAFE PRIOR TO REMOVAL. 7. ALL MECHANICAL TO BE REMOVED BY A LICENSED MECHANICAL TRADE.
- 8. EQUIPMENT & MATERIAL FROM DEMOLITION BECOMES PROPERTY OF THE CONTRACTOR.
- 9. REMOVE ALL ABANDONED CONDUIT, PIPE, WIRES, DUCTS ETC. CONTRACTOR SHALL NOT AFFECT ALL OPERATING SYSTEMS IN THE PREMISES (AND ADJACENT) AT ANY TIME. UNDERGROUND PIPES TO BE CAPPED.

# LIST OF DRAWINGS:

**ARCHITECTURAL** 



# architect inc

TEL. (647) 352-2121 FAX (647) 352-2122

# **ARCHITECTURAL**

- AO GENERAL NOTES, SITE PLAN
- & OBC DATA MATRIX
- A1 SITE PLAN
- CONSTRUCTION PLAN
- ROOF PLAN
- A4 ELEVATIONS
- A5 ELEVATION & SECTIONS
- A6.0 GENERAL NOTES A6.1 GENERAL NOTES
- A6.2 GENERAL NOTES

# **STRUCTURAL**

S2 ROOF FRAMING

# **MECHANICAL**

- M2 NOTES

- H.V.A.C.
- NOTES М3

Firm Name: PAUL MARQUES ARCHITECT INC.

Ontario Building Code Data Matrix Parts 3

⊠ New □ Addition □ Renovation
□ Change of Use □ Addition and renovation

Occupancy Use
GROUP F DIV. 3 STORAGE GARAGE

Existing

<u> N/A</u>

□ selected floor areas □ basement

□High □Minor storage building □Explosive or hazardous substances

Seismic design required for Table 4.1.1.18. items 6 to 21: ( (IE Fa Sa (0.2)) ? 0.35 or Post-disaster) 図 No □Yes

Floor Level/Area Occupancy Type Based On Occupant Load (Persons)

223.7 SM F3 46 SQM/PERSON 5

116.1 SM F3 46 SQM/PERSON 3 101.1 SM F3 46 SQM/PERSON 3

| Wall EBF L.D. L/H Required Construction Cladding FRR (H) Type Required Type Required Type Required

WEST 167.2 18.3 1:5.6 100% □Noncombustible□Noncombustib

NORTH 83.6 12.2 1:2.8 100% Noncombustible Noncombustible

EAST 167.2 44 1:5.5 100% | Noncombustible | Noncombustible

SOUTH 83.6 9.8 1:2.8 79% □Noncombustible □Noncombustible

| Floor Level/Area | Occupant Load | Companie | Compani

All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.

\*TENANT FIT-UP WORK INCLIDING WASHROOM FACILITIES AND BARRIER-FREE REQUIREMENTS TO BE SUBMITTED FOR PERMIT UNDER SEPARATE APPLICATION

□No □Yes □N/A □No □Yes □N/A

□ No □Yes □N/A

☐ in lieu of roof rating ☐ none

Proposed: □Single stage □ Two stage □None

Existing New Total
- 464.5 464.5

\_\_0\_\_\_

3.00 Building Code Version: O. Reg. 332/12 Last Amendment O. Reg. 191/14

\_\_\_\_1 \_\_\_ Storeys above grade

GROUP F, DIVISION 3, 1STOREY

⊠Not Required □ Required

⊠Not Required □ Required

3.14 Water Service/
Supply is Adequate New DRILLED WELL AS OF JULY 2020(#A271523 MINISTRY OF ENVIRONMEN

Heavy Timber Construction: ☑ No ☐ Yes

mportance Category: □Low ⊠Low human occupancy □Post-disaster shelter

3.21 Required Fire Resistance Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating?

Compliance Path:

Climatic Zone:

3.17 Seismic Hazard Index: (IE Fa Sa (0.2)) = \_\_\_\_

⊠ No □Yes

\_\_\_\_1 \_\_\_ Street(s)

⊠ No □Yes

ETR = EXISTING TO REMAIN

A] 1.4.1.2.& 3.2.1.1.

3.2.2.10. & 3.2.5.

2.1.5. & 3.2.2.17.

1.2.1.(3) & T4.1.2.1.B

1.2. & 3.3.1.19.

2.20. - 83. & 3.2.1.4.

4.1.8.18.(2)

Building Code Reference

Certificate of Practice Number: 4602

LANDLORD'S WORK STORAGE GARAGE

2610 WESTON ROAD TORONTO, ON TEL (647) 352-2121

22575 LAKE RIDGE ROAD.

Name of Project:

3.02 Major Occupancy

3.03 Superimposed Major Classification:

3.06 Mezzanine Area (m)

3.07 Building Height

3 08 High Bulding

3.09 Number of streets/

3.11 Sprinkler System

3.19 Barrier-free Design:

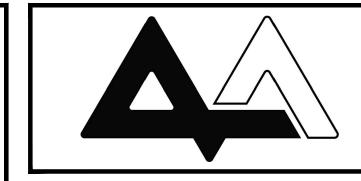
3.20 Hazardous Substances:

3.24 Energy Efficiency:

Firfighter access

# SO FOOTING DESIGN STRUCTURE FRAMING

- P1 PLUMBING



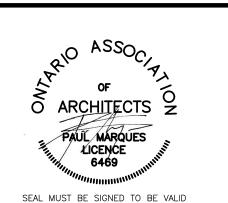
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The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021



2610 WESTON ROAD, #207 NORTH YORK, ONTARIO M9N 2B1 TEL: 647.352.2121



<sup>o</sup>roj no.: 20-914

WORKSHOP / CUSTOM GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

Drawing Name: GENERAL NOTES SITE PLAN AND **OBC MATRIX** 

Date: JULY 2020

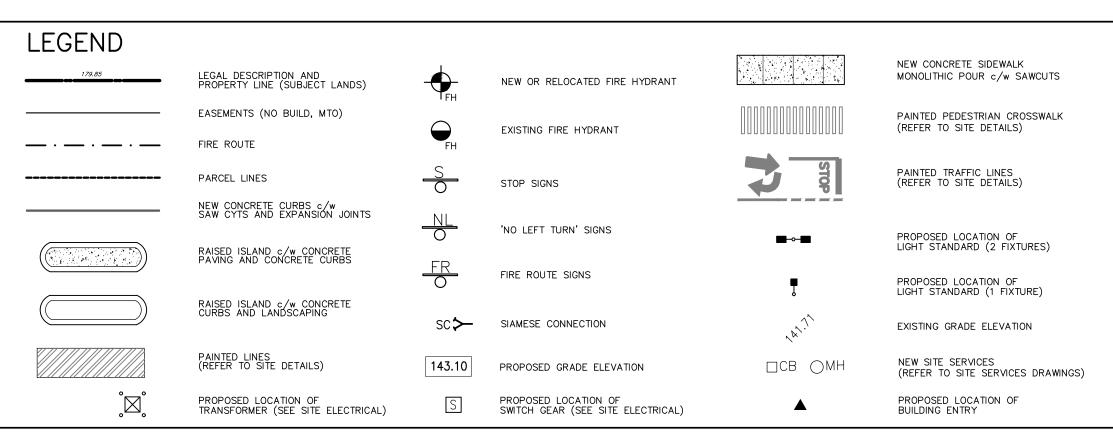
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SCALE: NTS

**NOT USED** 

Page 133 of 151



A1 / SCALE: 1:250

TOTAL SITE AREA:	0.96 ACRES (0.39 Ha)
BUILDING AREA:	464.5 SM (5,000 SF)
GROUND FLOOR AREA:	464.5 SM (5,000 SF)
GROSS FLOOR AREA:	464.5 SM (5,000 SF)
LOT COVERAGE	11.84% (464.5 SM)
LANDSCAPE AREA	85.19%
NUMBER OF UNITS:	3
HEIGHT OF BUILDING:	8.36m
PARKING:	12
BARRIER-FREE PARKINGS	_
FRONT YARD SETBACK	16.39m
REAR YARD SETBACK	44.00m
INTERIOR YARD SETBACK	
NORTH PROPERTY LINE	9.81m
SOUTH PROPERTY LINE	12.19m

NOTE:

EXISTING LINES AND SITE CONDITIONS SHOWN ON THIS DRAWING WERE TAKEN FROM OWNER'S INFORMATION.

SITE PLAN PROVIDED BY OWNER AND THE ACCURACY OF THE EXISTING INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY.

THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR, LICENSED IN THE PLACE OF WORK, TO:

1. ESTABLISH PERMANENT BENCH MARKS, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE;

2. VERIFY POSITIONING OF EXISTING BUILDINGS IF/WHEN USED TO ESTABLISH LOCATION OF NEW SITE ELEMENTS;
3. ESTABLISH LOCATION OF NEW BUILDINGS AND OTHER SITE ELEMENTS SUCH AS CURBS, SIDEWALKS, DRIVEWAYS, LIGHT POSTS, ETC. ALL NEW BUILDINGS TO BE POSITIONED USING DIMENSIONS FROM PROPERTY LINES ONLY, AND/OR FROM ADJACENT EXISTING BUILDINGS WHERE INDICATED (AND VERIFIED AS PER #2 ABOVE).

ALL OTHER NEW SITE ELEMENTS TO BE POSITIONED FROM NEW BUILDINGS AND/OR PROPERTY LINES USING WRITTEN DIMENSIONS ONLY.

3a. THE CONTRACTOR IS TO ESTABLISH THE LOCATION OF ALL NEW BUILDINGS, STRUCTURES, CURBS ETC. PRIOR TO COMMENCING WORK. CONTRACTOR TO PROVIDE WRITTEN CONFIRMATION BY THE LAND SURVEYOR THAT THE ESTABLISHED LOCATIONS OF NEW & EXISTING BUILDINGS MATCH THE SITE PLAN.

3b. CONSTRUCTION CANNOT COMMENCE UNTIL ALL BUILDINGS HAVE BEEN STAKED OUT BY A LAND SURVEYOR.

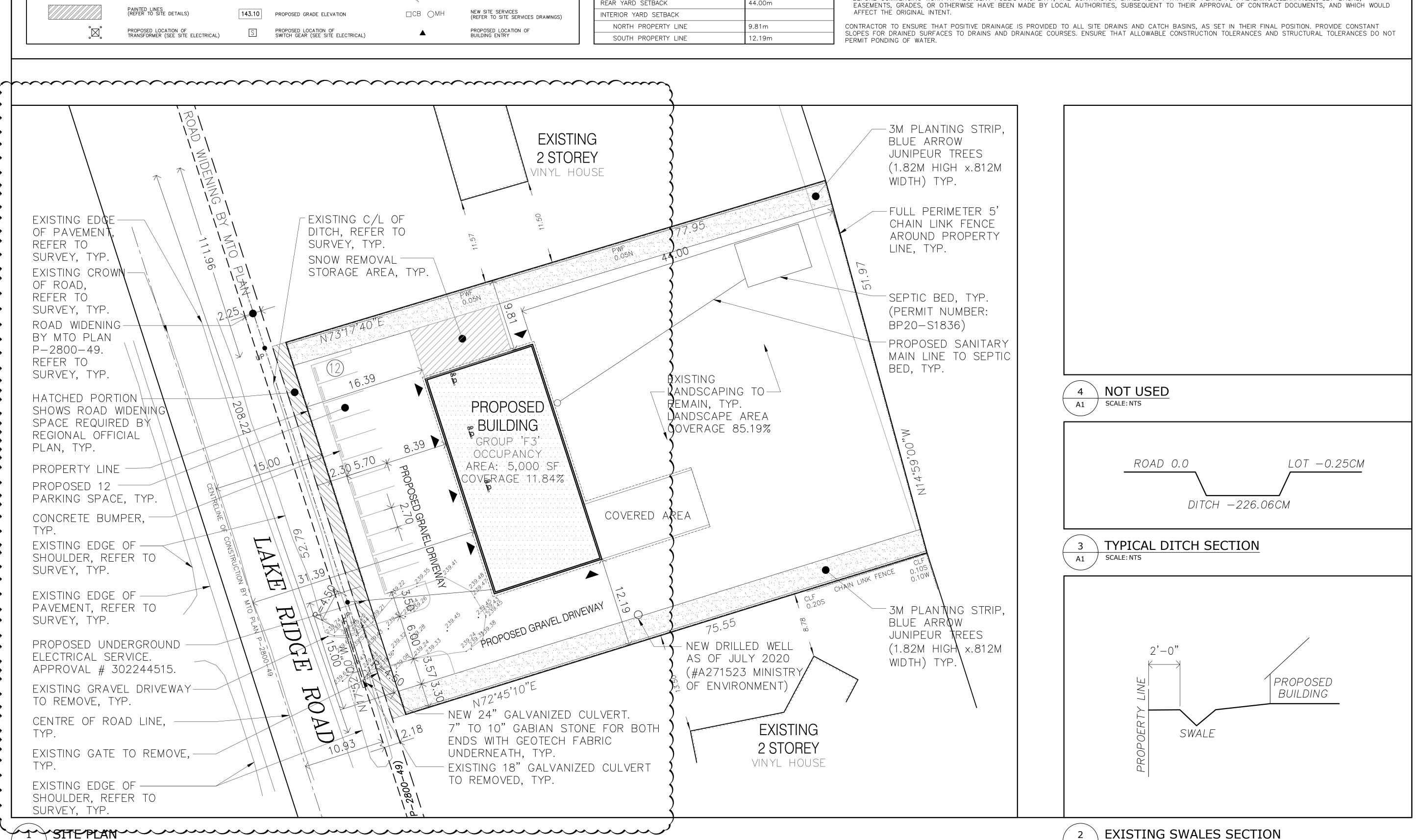
4. VERIFY LOCATION OF PROPERTY LINES AND MAINTAIN THROUGHOUT DURATION OF CONSTRUCTION;

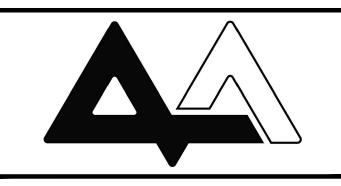
5. VERIFY ELEVATIONS OF FLOOR LEVELS AS CONSTRUCTION PROCEEDS, AND RELATE TO BENCH MARK DATUM;
6. VERIFY THAT PRESENT, OR KNOWN FUTURE RESTRICTIONS, ARE NOT VIOLATED BY CONSTRUCTION ON SITE OR LINES OF TRAVERSE TO ALL PUBLIC UTILITIES;
7. CORRELATE GEODETIC ELEVATION OF BENCH MARK DATUM WITH ELEVATIONS IN USE BY PUBLIC UTILITIES ADJACENT TO PROJECT;

8. VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWINGS;

9. PROVIDE AS BUILT SITE PLAN SHOWING NEW BUILDING(S) LOCATION (PART OF CONTRACT CLOSEOUT);
BEFORE COMMENCING WORK AT ADJACENT PUBLIC PROPERTY, THE CONTRACTOR SHALL VERIFY THAT NO PLANS FOR ALTERING CLEARANCES, SET—BACKS,
EASTERD TO REPORT OF CONTRACT DOCUMENTS, AND WHICH WOULD

SCALE: 1:500





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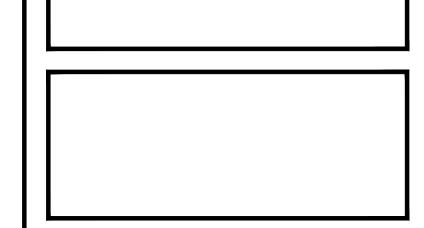
must assume full responsibility and bear costs for any

corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	03/11/2021
	CITY COMMENT	03/19/2021
	CITY COMMENT	04/14/2021







WORKSHOP / CUSTOM
GARAGE
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

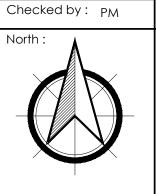
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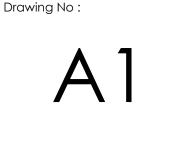
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Proj no.: 20-914 Date: JULY 2020

Drawn by: JK Scale: AS NOTED

SITE PLAN





# GENERAL CONSTRUCTION NOTES

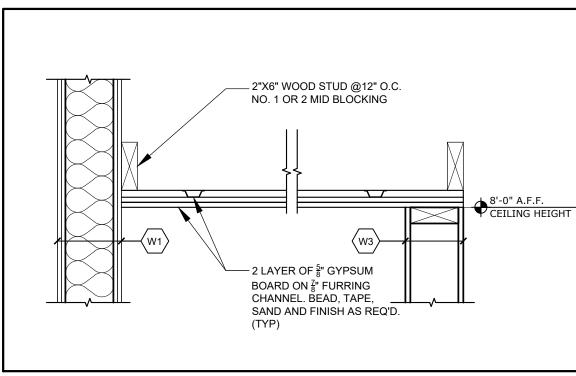
- ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT. TYP.
- 2. PROVIDE SLIDING CONNECTION TO U/S OF BEAMS, DECK OR JOIST FOR ROOF DEFLECTION AS
- 3. FIRE SEAL AT ROOF DECK, FLOOR AND ALL WALL PENETRATIONS TO SUIT RATING OF WALL. APPLICATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND TO THE SATISFACTION OF ALL AUTHORITIES HAVING JURISDICTION FOR ALL RATED WALLS.
- 4. CUT DRYWALL TO SUIT STRUCTURE, CAULK AND SEAL ROOF DECK, FLOOR AND ALL WALL PENETRATIONS, TYP.
- 5. ALL DIMENSIONS TO THE FACE OF GWB UNLESS NOTED OTHERWISE
- $6. \hspace{0.5cm} \hbox{FOR LOCATIONS OF UNDER FLOOR CONDUITS REFER TO ELECTRICAL DRAWINGS}. \\$
- 7. FOR LOCATIONS OF UNDER FLOOR PLUMBING REFER TO MECHANICAL DRAWINGS.
- 8. FOR DOOR SCHEDULE REFER TO DRAWING A7
- 9. PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 09250, TYP.)
- 10. PROVIDE 'BACKSTOP NT' AIR BARRIER AT ALL AREAS WHERE PLYWOOD SHEATHING IS INDICATED.

·	LEGEND		
	NEW SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.		
D1	NEW 3'-2" X 7'-0" 45MIN FIRE RATED HOLLOW METAL DOOR AND FRAME PAINTED MIN. 2 COATS C/W HINGES, LEVER LOCKSET, CLOSER, DOOR STOP, ETC. ALL DETAILS TO SUIT OBC AND TENANTS REQUIREMENTS, TYP.		
D2	MANUALLY OPERATED 10'-4"W X 14'-0"H EXTERIOR ROLLING SERVICE DOOR 610 BY OVERHEAD DOOR C/W FLAT SLATS SECURITY BARS AND LOCKING HARDWARE. ALL COMPONENTS TO BE FINISHED WITH POWDERGUARD ZINC FINISH. OMIT BOTTOM WEATHERSEAL FOR DRAINAGE.		
GL1	FIXED TEMPERED SAFETY GLASS IN ANODIZED ALUMINUM FRAME OPTOS LOW PROFILE BY TEKNION OR APPROVED EQUAL. SIZE AS PER PLAN.		

	WALL TYPES
W1	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -3" Z-BAR AT 24" O.C. VERTICAL OR HORIZONTAL TO SUITE SIDING WITH 3" SEMI-RIGID INSULATION(MIN. R-15) -7/16" WALL SHEALTHING -TYVEK AIR BARRIER -R24 SPRAY FOAM CLOSED CELL 2LB -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C. WITH 1/2" PLYWOOD SHEATHING ON BOTH SIDE
W2	1 HR FIRE RATED PARTITION TO U/S OF DECK: SIMILAR TO ULC W310  -5/8" GYPSUM BOARD 'TYPE C' TAPED AND SANDED, READY FOR TENANT FINISHES ON, -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF STRUCTURE ABOVE, FILLED WITH BATT INSULATION BETWEEN STUDS. PROVIDE SLIDING CONNECTION AT U/S OF ROOF DECK OR JOIST FOR DEFLECTION ON, -5/8" GYPSUM BOARD 'TYPE C' TAPED AND SANDED, READY FOR TENANT FINISHES ON, -FIRE SEAL TO FIRE STOP SYSTEM WH DESIGN No. AD/PV 60-01 AT ROOF DECK AND FLOOR TO SATISFACTION OF AUTHORITIES HAVING JURISDICTION -CUT DRYWALL TO SUIT ROOF DECK FLUTES
W3	-PROVIDE FIRE STOP AT ALL WALL PENETRATIONS  1 HR FIRE RATED PARTITION TO 8'-0" AF.F.: SIMILAR TO ULC W310  -SAME CONSTRUCTED AS WALL W2
W4	EXTERIOR WALL -1 LAYERS OF STEEL SLIDING, -2"X6" WOOD STUDS @ 12" O.C. TO U/S OF ROOF. SHEER WALL WITH BLOCK AT 5'-0" O.C1 LAYERS OF STEEL SLIDING

CONSTRUCTION NOTES		
1	1 NEW 2 PIECE WASHROOM. REFER TO MECHANICAL DRAWINGS, TYP.	
2	ALL GLAZING TO BE OF TYPE GL1 UNLESS NOTED OTHERWISE. REFER TO DOOR AND FRAME SCHEDULE, TYP.	
3	STRUCTURAL WOOD POST COLUMN. REFER TO ELEVATION DRAWING, SECTION AND STRUCTURAL DRAWINGS, TYP.	
4	SHEAR WALL. REFER TO STRUCTURAL DRAWINGS, TYP.	
5	INSTALL NEW SUSPENDED 1HR FIRE RATED DRYWALL CEILING AT 8'-0" A.F.F. REFER TO 3 / A2 DETAIL DRAWINGS, TYP.	

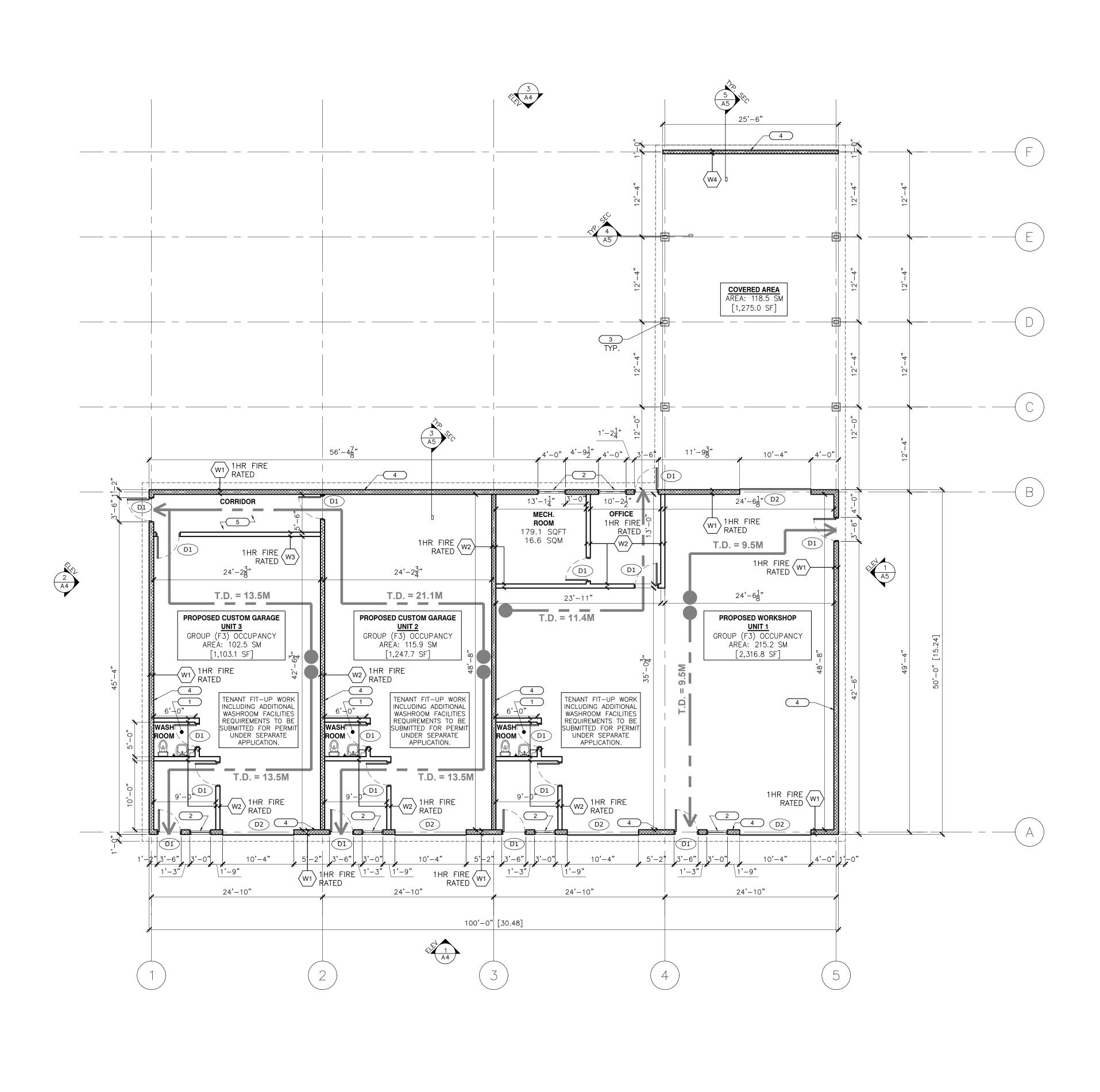


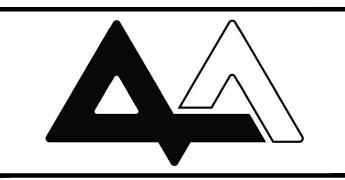


3 TYPICAL DRYWALL CEILING DETAIL
SCALE: NTS

CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"





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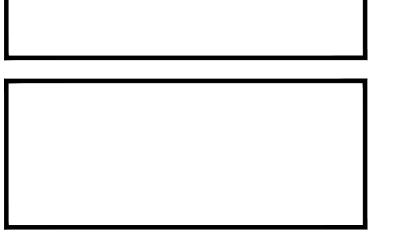
corrections or damages resulting from his work.

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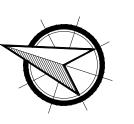
WORKSHOP / CUSTOM GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

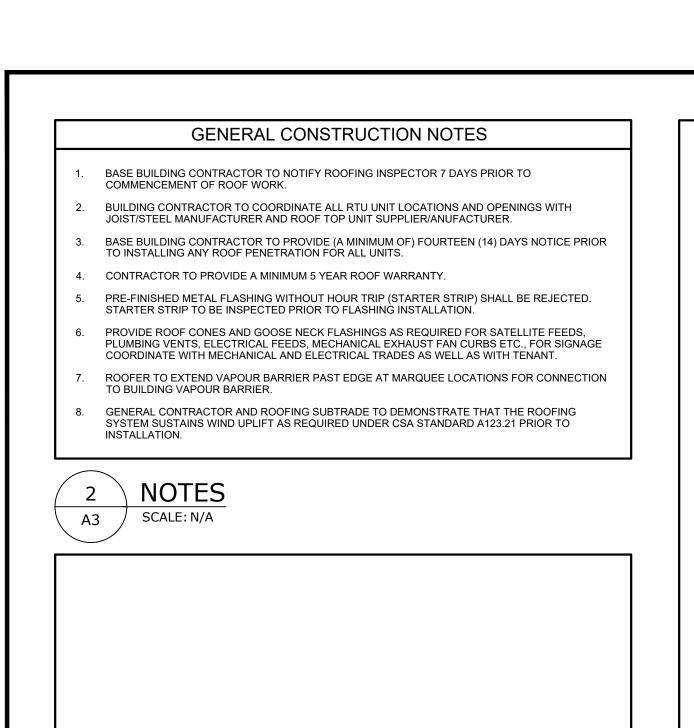
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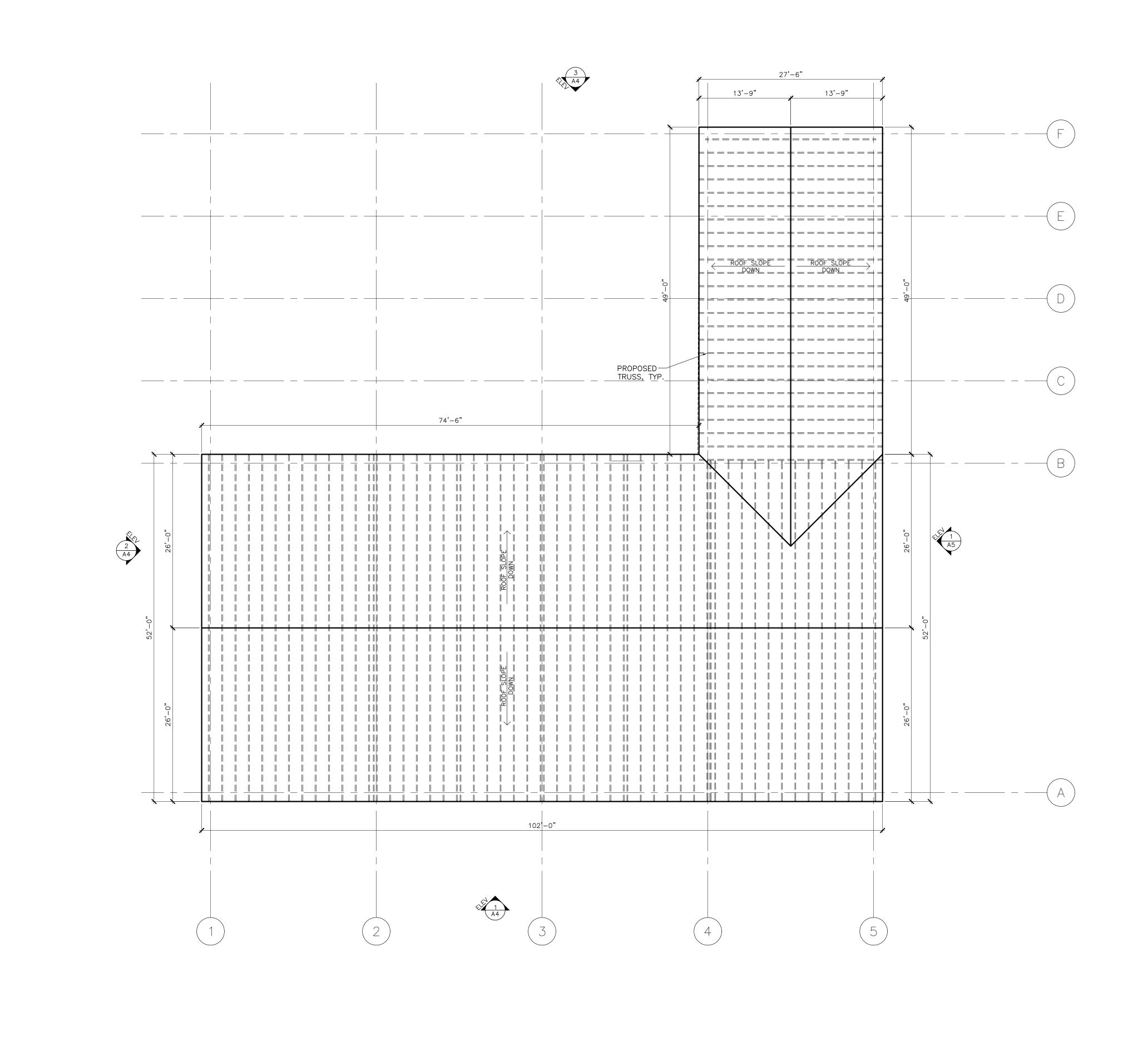
CONSTRUCTION PLAN

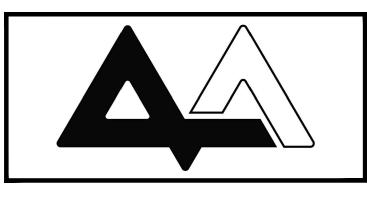
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A2







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corrections or damages resulting from his work.

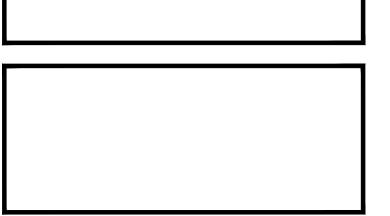
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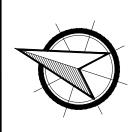
WORKSHOP / CUSTOM GARAGE

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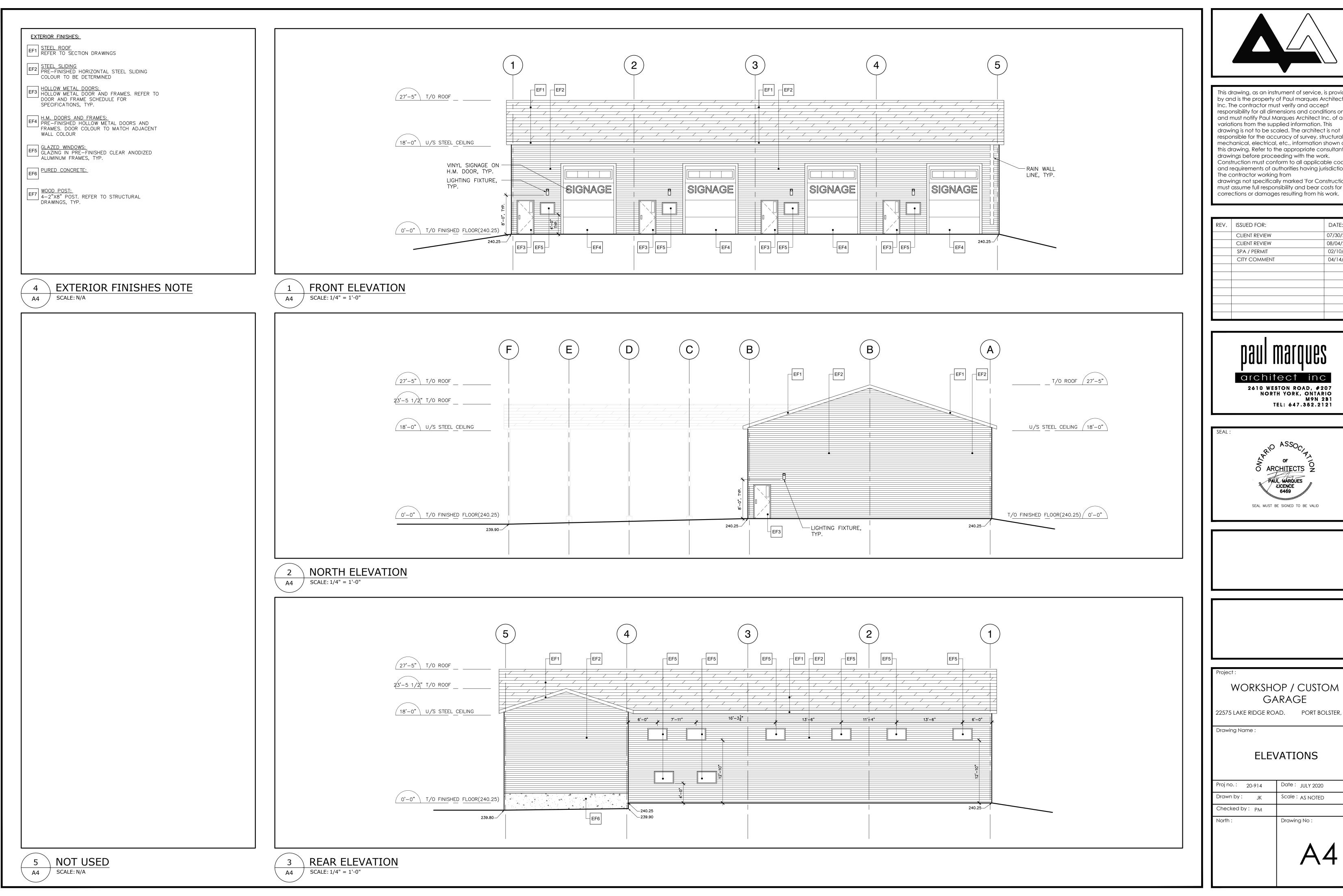
**ROOF PLAN** 

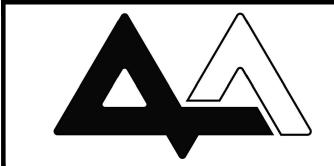
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**ROOF PLAN** 





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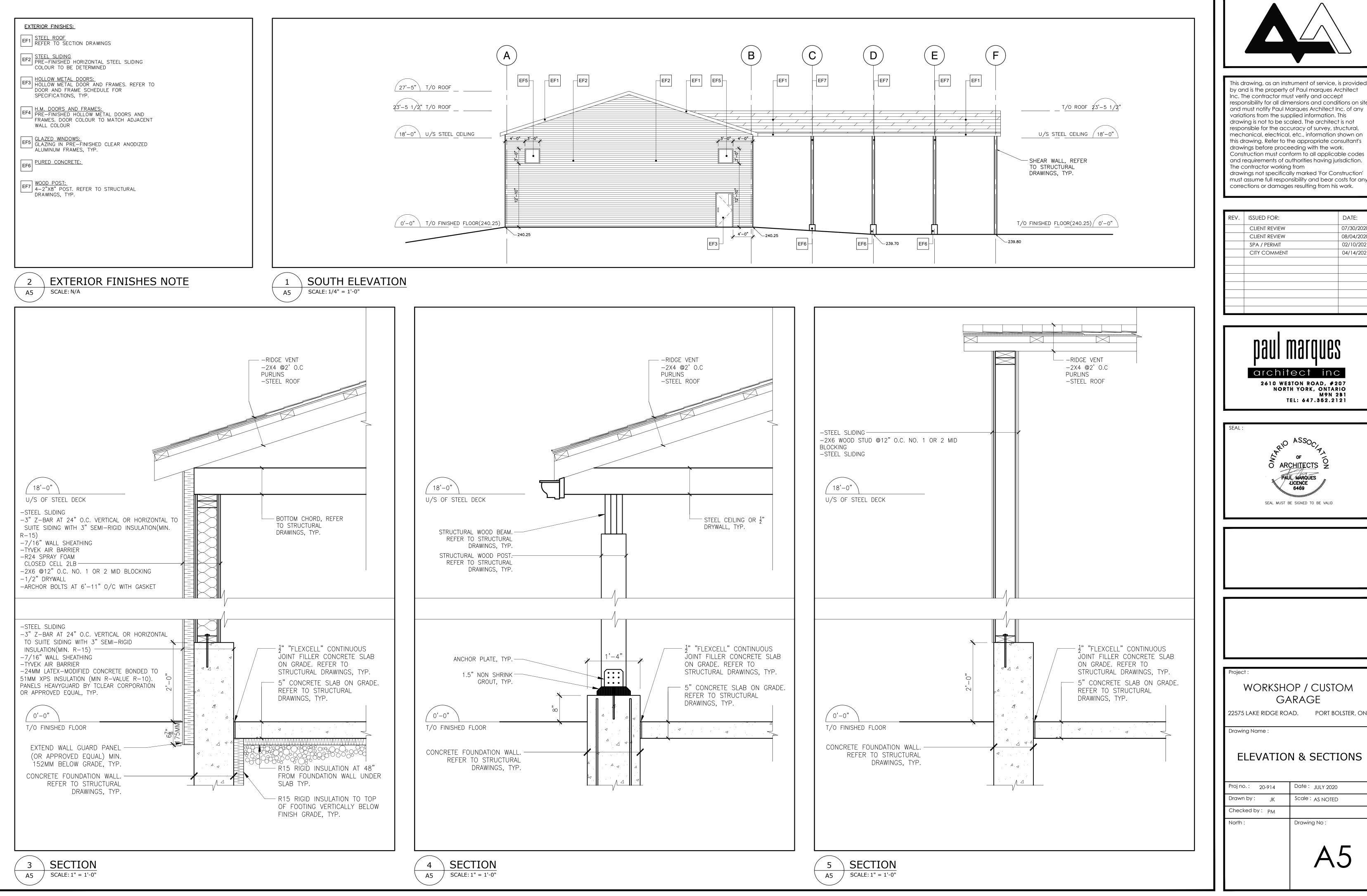


WORKSHOP / CUSTOM GARAGE

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**ELEVATIONS** 

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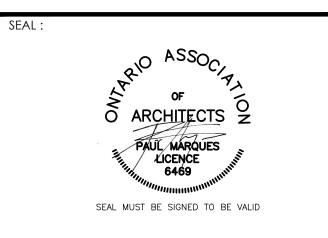


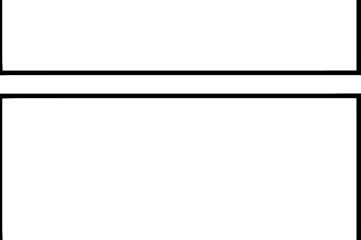
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drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

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WORKSHOP / CUSTOM

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**ELEVATION & SECTIONS** 

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# **GENERAL NOTES**

# **GENERAL REQUIREMENTS (01001)** PART 1 - GENERAL 1.1 GENERAL VISIT THE SITE AND COMPARE THE DRAWINGS AND SPECIFICATIONS WITH ALL EXISTING SITE CONDITIONS INCLUDING ALL CONDITIONS SURROUNDING THE SITE PRIOR TO COMMERCIAL WORK. FAILURE TO VISIT THE SITE IN NO WAY RELIEVES THE TRADE CONTRACTOR FROM THE NECESSITY OF FURNISHING ANY MATERIAL, OR PERFORMING ANY WORK IN ACCORDANCE WITH DRAWINGS AND .2 THE CONTRACTORS ARE RESPONSIBLE TO GIVE ALL NOTICES, OBTAIN ALL PERMITS AND APPROVALS, ARRANGE FOR INSPECTION OF WORK BY INSPECTION AUTHORITIES, AND PAY ALL FEES IN ORDER THAT THE WORK MAY BE CARRIED OUT AND COMPLETED ON SCHEDULE. THE OWNER SHALL APPLY AND PAY FOR THE BUILDING PERMIT. PART 2 - PROJECT CO-ORDINATION 2.1 GENERAL CO-ORDINATE PROGRESS OF THE WORK, PROGRESS SCHEDULES, SUBMITTALS, USE OF THE SITE, TEMPORARY UTILITIES, CONSTRUCTION FACILITIES AND CONTROLS. PART 3 - CUTTING AND PATCHING 3.1 APPROVALS .1 SUBMIT WRITTEN REQUEST IN ADVANCE OF CUTTING OR ALTERATION WHICH AFFECTS THE FOLLOWING STRUCTURAL INTEGRITY OF ANY ELEMENT OF THE PROJECT INTEGRITY OF WEATHER-EXPOSED OR MOISTURE-RESISTANT ELEMENT EFFICIENCY, MAINTENANCE, OR SAFETY OF ANY OPERATIONAL ELEMENT, VISUAL QUALITIES OF SIGHT-EXPOSED ELEMENTS, OR WORK OF OWNER OR SEPARATE CONTRACTOR. 3.2 INSPECTION INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING AFTER UNCOVERING, INSPECT CONDITIONS AFFECTING PERFORMANCE OF WORK. 3.3 EXECUTION .1 PERFORM CUTTING, FITTING, AND PATCHING INCLUDING EXCAVATION AND FILL, TO COMPLETE THE PROVIDE OPENINGS IN NON-STRUCTURAL ELEMENTS OF WORK FOR PENETRATIONS OF MECHANICAL AND ELECTRICAL WORK. CUTTING AND PATCHING TO ROOF ELEMENTS MAY ONLY BE PERFORMED WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND ONLY WITH THE OWNER'S ROOFING CONTRACTOR PERFORM WORK TO AVOID DAMAGE TO OTHER WORK. PREPARE SURFACES TO RECEIVE PATCHING AND FINISHING. EMPLOY ORIGINAL INSTALLER TO PERFORM CUTTING AND PATCHING FOR WEATHER EXPOSED AND MOISTURE RESISTANT ELEMENTS, AND SIGHT EXPOSED SURFACES. CUT RIGID MATERIALS USING POWER SAW OR CORE DRILL. PNEUMATIC OR IMPACT TOOLS NOT RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH CONTRACT DOCUMENTS FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH

SURFACES.

10 AT PENETRATION OF FIRE RATED WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS WITH FIRE RATED MATERIAL, FULL THICKNESS OF THE CONSTRUCTION ELEMENT.

11 REFINISH SURFACES TO MATCH ADJACENT FINISHES; FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION. FOR AN ASSEMBLY, REFINISH ENTIRE UNIT. PART 4 - SUBMITTALS 4.1 ADMINISTRATIVE SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS

SUBMIT TO CONSULTANT SUBMITTALS LISTED FOR REVIEW. SUBMIT WITH REASONABLE PROMPTNESS AND IN AN ORDERLY SEQUENCE SO AS NOT TO CAUSE DELAY IN THE WORK.

WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.

REVIEW SUBMITTALS PRIOR TO SUBMISSION TO THE CONSULTANT. THIS REVIEW REPRESENTS THAT NECESSARY REQUIREMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND CO-ORDINATE WITH THE REQUIREMENTS OF THE WORK AND THE VERIFY FIELD MEASUREMENTS AND AFFECTED ADJACENT WORK IS CO-ORDINATE.

# 4.2 SHOP DRAWINGS AND PRODUCT DATA

- THE TERM "SHOP DRAWING" MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, PERFORMANCE CHARTS, BROCHURES AND OTHER DATA WHICH ARE TO BE PROVIDED BY THE CONTRACTOR TO ILLUSTRATE DETAILS OF A PORTION OF THE WORK.
  INDICATE MATERIALS, METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, ERECTION DIAGRAMS, CONNECTION, EXPLANATORY NOTES AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
- ADJUSTMENTS MADE ON SHOP DRAWINGS BY ARCHITECT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE. MAKE CHANGES IN SHOP DRAWINGS AS ARCHITECT MAY REQUIRE SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLE REQUEST.
- SUBMIT FIVE (5) COPIES OF PRODUCT DATA SHEETS OR BROCHURES FOR EACH REQUIREMENT REQUESTED IN SPECIFICATION SECTIONS AND AS ARCHITECT MAY REASONABLY REQUEST WHERE SHOP DRAWINGS WILL NOT BE PREPARED DUE TO STANDARDIZED MANUFACTURE OF PRODUCT.

# 4.3 OPERATING MAINTENANCE MANUALS

- SUBMIT TO CONSULTANT TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS.

  MANUALS TO CONTAIN OPERATIONAL INFORMATION ON EQUIPMENT, CLEANING AND LUBRICATION SCHEDULES, FILTERS, OVERHAUL AND ADJUSTMENT SCHEDULES AND SIMILAR MAINTENANCE
- BIND CONTENTS OF EACH VOLUME IN A THREE RING, HARD COVERED, PLASTIC JACKETED BINDER.
  ORGANIZE CONTENTS INTO APPLICABLE CATEGORIES OF WORK, PARALLEL TO SPECIFICATION SECTIONS. 4.4 RECORD DRAWINGS AFTER AWARD OF CONTRACT; G.C., WILL PROVIDE A COMPLETE SET OF BLACK LINE PRINTS FOR THE
- PURPOSE OF MAINTAINING RECORD DRAWINGS. ACCURATELY AND NEATLY RECORD DEVIATIONS FROM CONTRACT DOCUMENTS CAUSED BY SITE CONDITIONS AND CHANGES ORDERED BY ARCHITECT. RECORD LOCATIONS OF CONCEALED COMPONENTS OF MECHANICAL AND ELECTRICAL SERVICES IDENTIFY DRAWINGS AS "PROJECT RECORD COPY". MAINTAIN IN NEW CONDITION AND MAKE AVAILABLE
- .4 ON COMPLETION OF WORK AND PRIOR TO FINAL INSPECTION SUBMIT RECORD DOCUMENTS TO

# PART 5 - REPORTS

# 5.1 REPORTS

- SUBMIT 1 (ONE) COPY OF INSPECTION AND TEST REPORTS PROMPTLY TO EACH OF THE AFFECTED .2 PROVIDE COPIES TO SUBCONTRACTOR OF WORK BEING INSPECTED AND TESTED.
- PART 6 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS 6.1 INSTALLATION AND REMOVAL

# .1 PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS IN ORDER TO EXECUTE THE WORK

- .2 REMOVE FROM SITE ALL SUCH WORK AFTER USE.
- 6.2 SITE STORAGE AND OVERLOADING PROPERTY
- 2 CONFINE THE WORK AND THE OPERATIONS OF EMPLOYEES TO LIMITS INDICATED BY THE CONTRACT DOCUMENTS. DO NOT UNREASONABLY ENCUMBER THE PREMISES WITH PRODUCTS.

  3 DO NOT LOAD OR PERMIT TO BE LOADED ANY PART OF THE WORK WITH A WEIGHT OR FORCE THAT WILL ENDAUGED THE WORK. WILL ENDANGER THE WORK.
- 6.3 SANITARY FACILITIES .1 PROVIDE SUFFICIENT SANITARY FACILITIES FOR WORKERS IN ACCORDANCE WITH LOCAL HEALTH .2 MAINTAIN IN CLEAN CONDITION
- 6.4 WATER SUPPLY PROVIDE A CONTINUOUS SUPPLY OF POTABLE WATER FOR CONSTRUCTION USE. ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY AND PAY ALL COSTS FOR
- INSTALLATION, MAINTENANCE AND REMOVAL .3 PAY FOR UTILITY CHARGES AT PREVAILING RATES.

# 6.5 TEMPORARY POWER

- .1 PROVIDE AND PAY FOR TEMPORARY POWER REQUIRED DURING CONSTRUCTION FOR TEMPORARY LIGHTING AND THE OPERATING OF POWER TOOLS, TO A MINIMUM SUPPLY OF 230 VOLTS, 30 AMPS.

  .2 ARRANGE FOR CONNECTION WITH APPROPRIATE UTILITY COMPANY. PAY ALL COSTS FOR INSTALLATION, MAINTENANCE AND REMOVAL INSTALLATION, MAINTENANCE AND REMOVAL.
- 6.6 TEMPORARY TELEPHONE .1 PROVIDE AND PAY FOR TEMPORARY TELEPHONES NECESSARY FOR OWN USE.
- 6.7 EQUIPMENT, TOOL AND MATERIALS STORAGE PROVIDE AND MAINTAIN, IN A CLEAN AND ORDERLY CONDITION, LOCKABLE WEATHERPROOF SHEDS FOR STORAGE OF TOOLS, EQUIPMENT AND MATERIALS.

  2 LOCATE MATERIALS NOT REQUIRED TO BE STORED IN WEATHERPROOF SHEDS ON SITE IN A MANNER TO CASE THE LEAST INTERFERENCE WITH WORK ACTIVITIES.
- 6.8 PROJECT CLEANLINESS MAINTAIN THE WORK IN TIDY CONDITION, FREE FROM THE ACCUMULATION OF WASTE PRODUCTS AND
- REMOVE WASTE MATERIAL AND DEBRIS FROM THE SITE AND DEPOSIT IN WASTE CONTAINER AT THE

# END OF EACH WORKING DAY. 3 CLEAN INTERIOR AREAS PRIOR TO START OF FINISH WORK, MAINTAIN AREAS FREE OF DUST AND OTHER CONTAMINANTS DURING FINISHING OPERATIONS. PART 7 - MATERIAL AND EQUIPMENT

# 7.1 PRODUCT AND MATERIAL QUALITY

- REFER TO CC 39- LABOUR AND PRODUCTS PRODUCTS, MATERIALS, EQUIPMENT AND ARTICLES (REFERRED TO AS PRODUCTS THROUGHOUT THE SPECIFICATIONS) INCORPORATED IN THE WORK SHALL BE NEW, NOT DAMAGED OR DEFECTIVE, AND OF THE BEST QUALITY COMPATIBLE WITH THE SPECIFICATIONS FOR THE PURPOSE INTENDED. IF REQUESTED, FURNISH EVIDENCE AS TO TYPE, SOURCE AND QUALITY OF PRODUCTS PROVIDED. DEFECTIVE PRODUCTS WILL BE REJECTED, REGARDLESS OF PREVIOUS INSPECTIONS. INSPECTION DOES NOT RELIEVE RESPONSIBILITY, BUT IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. REMOVE AND
- CAUSED BY REJECTION.

  SHOULD ANY DISPUTE ARISE AS TO QUALITY OR FITNESS OF PRODUCTS, THE DECISION RESTS STRICTLY WITH ARCHITECT BASED UPON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

REPLACE DEFECTIVE PRODUCTS AT OWN EXPENSE AND BE RESPONSIBLE FOR DELAYS AND EXPENSES

# 7.2 STORAGE, HANDLING AND PROTECTION

- HANDLES AND STORE PRODUCTS IN A MANNER TO PREVENT DAMAGE, ADULTERATION, DETERIORATION AND SOILING AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WHEN APPLICABLE. STORE PACKAGED OR BUNDLED PRODUCTS IN ORIGINAL AND UNDAMAGED CONDITION WITH
- MANUFACTURER'S SEALS AND LABELS INTACT.

  .3 STORE PRODUCTS SUBJECT TO DAMAGE FROM WEATHERPROOF ENCLOSURES.

- 7.3 MANUFACTURER'S INSTRUCTIONS UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, INSTALL OR ERECT PRODUCTS IN ACCORDANCE
- WITH MANUFACTURER'S INSTRUCTIONS. DO NOT RELY ON LABELS OR ENCLOSURES PROVIDED WITH PRODUCTS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS. NOTIFY ARCHITECT IN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURERS.

  NOTIFY ARCHITECT IN WRITING, OF CONFLICTS BETWEEN THE SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS, SO THAT THE CONSULTANT MAY ESTABLISH THE COURSE OF ACTION. IMPROPER INSTALLATION OR ERECTION OF PRODUCTS, DUE TO FAILURE IN COMPLYING WITH THESE REQUIREMENTS, AUTHORIZES THE CONSULTANT TO REQUIRE REMOVAL AND REINSTALLATION AT NO INCREASE IN CONTRACT PRICE.

# GENERAL REQUIREMENTS (01001) CONT.

- WORKMANSHIP SHALL BE THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THE RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. IMMEDIATELY NOTIFY ARCHITECT IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCT REQUIRED RESULTS. DO NOT EMPLOY ANY UNFIT PERSON OR ANYONE UNSKILLED IN THEIR REQUIRED DUTIES.
- DECISIONS AS TO THE QUALITY OR FITNESS OF WORKMANSHIP IN CASES OF DISPUTE REST SOLELY WITH THE CONSULTANT, WHOSE DECISION IS FINAL.

.1 IN FINISHED AREAS CONCEAL PIPES, DUCTS AND WIRING IN FLOORS, WALLS AND CEILINGS, EXCEPT

# WHERE INDICATED OTHERWISE. 2 BEFORE INSTALLATION, INFORM ARCHITECT IF THERE IS A CONTRADICTORY SITUATION. INSTALL AS PART 8 - PROJECT CLOSEOUT

# 8.1 FINAL CLEANING

- REFER TO CC 42 CLEAN UP AND FINAL CLEANING OF THE WORK.
  WHEN THE WORK IS SUBSTANTIALLY PERFORMED, REMOVE SURPLUS PRODUCTS, TOOLS, CONSTRUCTION
  MACHINERY AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF THE REMAINING WORK.
  REMOVE WASTE MATERIALS AND DEBRIS FROM THE SITE AT REGULARLY SCHEDULED TIMES OR DISPOSE
  OF AS DIRECTED BY ARCHITECT. DO NOT BURN WASTE MATERIALS ON SITE, UNLESS APPROVED BY
- ARCHITECT IN WRITTEN FORM.
- ARCHITECT IN WRITTEN FORM.

  LEAVE THE WORK BROOM CLEAN BEFORE THE INSPECTION PROCESS COMMENCES.

  CLEAN AND POLISH GLASS MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE BROKEN, SCRATCHED OR DISFIGURED GLASS.

  REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FURNITURE FITMENTS AND WALLS.
- VACUUM CLEAN AND DUST BUILDING INTERIORS, BEHIND GRILLES, LOUVRES AND SCREENS.
  WAX, SEAL, SHAMPOO OR PREPARE FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER AND .9 BROOM CLEAN AND WASH EXTERIOR WALKS, STEPS AND SURFACES.
  .10 REMOVE DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.

# 8.2 SYSTEM DEMONSTRATION

PRIOR TO FINAL INSPECTION, DEMONSTRATE OPERATION OF EACH SYSTEM TO ARCHITECT ON POSSESSION DAY: INSTRUCT PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING PROVIDED OPERATION AND MAINTENANCE DATA AS THE BASIS FOR

- .1 COLLECT REVIEWED SUBMITTALS AND ASSEMBLE DOCUMENTS EXECUTED BY SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS.
  .2 SUBMIT MATERIAL PRIOR TO FINAL APPLICATION FOR PAYMENT.
- SUBMIT OPERATION AND MAINTENANCE DATA, RECORD DRAWINGS.
  PROVIDE WARRANTIES AND BONDS FULLY EXECUTED AND NOTARIZED.
  EXECUTE TRANSITION OF PERFORMANCE AND LABOUR & MATERIALS PAYMENT BOND TO WARRANTY
- PERIOD REQUIREMENTS.

  SUBMIT A FINAL STATEMENT OF ACCOUNTING GIVING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS CONSULTANT WILL ISSUE A FINAL CHANGE ORDER REFLECTING APPROVED ADJUSTMENTS TO CONTRACT PRICE NOT PREVIOUSLY MADE. PAYMENTS, AND MONIES REMAINING DUE
- 8.4 INSPECTION/TAKEOVER PROCEDURES
  - PRIOR TO APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE, CAREFULLY INSPECT THE WORK AND ENSURE IT IS COMPLETE, THAT MAJOR AND MINOR CONSTRUCTION DEFICIENCIES ARE COMPLETE, DEFECTS ARE CORRECTED AND THE BUILDING IS CLEAN AND IN CONDITION FOR
- DURING ARCHITECT'S INSPECTION, A LIST OF DEFICIENCIES AND DEFECTS WILL BE TABULATED.
- .3 WHEN ARCHITECT CONSIDERS DEFICIENCIES AND DEFECTS HAVE BEEN CORRECTED AND IT APPEARS REQUIREMENTS OF THE CONTRACT HAVE BEEN PERFORMED, MAKE APPLICATION FOR CERTIFICATE OF SUBSTANTIAL PERFORMANCE. REFER TO CC 25 FOR SPECIFICS TO APPLICATION.
- MAKE APPLICATION AND PAY FOR OCCUPANCY PERMIT CO-ORDINATE ALL SUBMITTALS AND INSPECTIONS AS REQUIRED.

# MASONRY PROCEDURES (04050)

- PART 1 GENERAL
- I.1 RELATED WORK MORTAR AND GROUT FOR MASONRY: - SECTION 4100
- MASONRY ACCESSORIES: SECTION 04150
  MASONRY REINFORCING AND CONNECTORS: SECTION 04160
  BRICK UNIT MASONRY: SECTION 04210 CONCRETE UNIT MASONRY: - SECTION 04220

# 1.2 REFERENCE STANDARDS

- .1 DO MASONRY WORK IN ACCORDANCE WITH CAN3-A371-M84, OR LATEST RELEVANT CODES, EXCEPT WHERE SPECIFIED OTHERWISE. 1.3 PRODUCT DELIVERY, STORAGE & HANDLING
- DELIVER MATERIALS TO JOB SITE IN DRY CONDITION. KEEP MATERIALS DRY UNTIL USE.

  STORE UNDER WATERPROOF COVER ON PALLETS OR PLANK PLATFORMS HELD OFF GROUND BY MEANS
  OF PLANK OR TIMBER SKIDS.
- 1.4 COLD WEATHER REQUIREMENTS
- .1 SUPPLEMENT CLAUSE 5.15.2 OF CAN3-A371-M84, OR LATEST RELEVANT CODES, WITH THE FOLLOWING .1 MAINTAIN TEMPERATURES OF MORTAR BETWEEN 5 ° CELSIUS AND 50° CELSIUS UNTIL USED. 1.5 HOT WEATHER REQUIREMENTS
- .1 PROTECT FRESHLY LAID MASONRY FROM DRYING TO RAPIDLY, BY MEANS OF WATERPROOF, NON-STAINING COVERINGS.
- KEEP MASONRY DRY USING WATERPROOF, NON-STAINING COVERINGS THAT EXTEND OVER WALLS AND DOWN SIDES SUFFICIENT TO PROTECT WALLS FROM WIND DRIVEN RAIN, UNTIL MASONRY WORKS IS COMPLETED AND PROTECTED BY FLASHINGS OR OTHER PERMANENT CONSTRUCTION. PROTECT MASONRY AND OTHER WORK FROM MARKING AND OTHER DAMAGE. PROTECT COMPLETED WORK FROM MORTAR DROPPINGS. USE NON-STAINING COVERINGS.

  PROVIDE TEMPORARY BRACING OF MASONRY WORK DURING AND AFTER ERECTION UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE.

### PART 2 - PRODUCTS 2.1 MATERIALS

- .1 MASONRY MATERIALS ARE SPECIFIED IN RELATED SECTIONS INDICATED IN 1.1.

- BUILD MASONRY PLUMB, LEYEL, AND TRUE TO LINE, WITH VERTICAL JOINTS IN ALIGNMENT. LAYOUT COURSING AND BOND TO ACHIEVE CORRECT COURSING HEIGHTS AND CONTINUITY OF BOND ABOVE AND BELOW OPENINGS, WITH MINIMUM OF CUTTING. 3.2 TOLERANCES
- .1 TOLERANCES IN NOTES TO CLAUSE 5.3 OF AN3-A371-M84 APPLY, OR LATEST RELEVANT CODES. 3.3 EXPOSED MASONRY
- REMOVE CHIPPED, CRACKED, AND OTHERWISE DAMAGED UNITS IN EXPOSED MASONRY AND REPLACE WITH UNDAMAGED UNITS.
- ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN TOOL WITH ROUND JOINTER TO PROVIDE SMOOTH, COMPRESSED, UNIFORMLY CONCAVE JOINTS WHERE CONCAVE JOINTS ARE INDICATED. ALLOW JOINTS TO SET JUST ENOUGH TO REMOVE EXCESS WATER, THEN RAKE JOINTS UNIFORMLY TO 6MM DEPTH AND COMPRESS WITH SQUARE TOOL TO PROVIDE SMOOTH COMPRESSED, RAKED JOINTS OF
- UNIFORM DEPTH WHERE RAKED JOINTS ARE INDICATED. STRIKE FLUSH ALL JOINTS CONCEALED IN WALLS AND JOINTS IN WALLS TO RECEIVE PLASTER, TILE, INSULATION, OR OTHER APPLIED MATERIAL EXCEPT PAINT OR SIMILAR THIN FINISH COATING. 3.5 CUTTING
- CUT OUT NEATLY FOR ELECTRICAL SWITCHES, OUTLET BOXES, AND OTHER RECESSED, OR BUILT-IN OBJECTS.

  MAKE CUTS STRAIGHT, CLEAN AND FREE FROM UNEVEN EDGES BUILDING—IN

  1 BUILD IN ITEMS REQUIRED TO BE BUILT INTO MASONRY.

  2 PREVENT DISPLACEMENT OF BUILT—IN ITEMS DURING CONSTRUCTION, CHECK PLUM, LOCATION AND ALICNMENT FREQUENTLY, AS WORK PROGRESSES.
  - BRACE DOOR JAMBS TO MAINTAIN PLUMB. FILL SPACES BETWEEN JAMBS AND MASONRY
- .1 USE PARGING MORTAR SPECIFIED IN SECTION 04100 MORTAR AND GROUT FOR MASONRY.
  .2 APPLY PARGING IN UNIFORM COATING NOT LESS THAN 10MM THICK, WHERE INDICATED.
- .1 USE 14 MPA CONCRETE TO SECTION 03300 CAST IN PLACE CONCRETE, WHERE CONCRETE FILL IS .2 USE GROUT TO CSA A170-M1976, OR LATEST RELEVANT DOES, WHERE GROUT IS USED IN LIEU OF
- .3 INSTALL BUILDING PAPER BELOW VOIDS TO BE FILLED WITH CONCRETE OR GROUT, KEEP PAPER 25 MM 3.8 PROVISION FOR MOVEMENT
- LEAVE 3 MM SPACE BELOW SHELF ANGLES. LEAVE 6 MM SPACE BETWEEN TOP OF NON-LOAD BEARING WALLS AND PARTITIONS AND STRUCTURAL
- 3.9 LOOSE STEEL LINTELS .1 INSTALL LOOSE STEEL LINTELS. CENTRE OVER OPENING WIDTH.
- .1 PROVIDE CONTINUOUS CONTROL JOINTS AS INDICATED OR AS RECOMMENDED BY REFERENCE STANDARDS OR REQUIRED FOR GOOD CONSTRUCTION PRACTICE.
- 3.11 EXISTING WORK .1 MAKE GOOD EXISTING WORK. USE MATERIAL TO MATCH EXISTING. 3.12 TESTING
- .1 INSPECTION AND TESTING WILL BE CARRIED OUT BY TESTING LABORATORY DESIGNATED BY CONSULTANT.
  .2 COST OF TESTING WILL BE PAID BY OWNER.

# MASONRY, MORTER & GROUT (04100)

PART 1 - GENERAL

1.1 RELATED WORK

- - 1.2 REFERENCE STANDARD
    - .1 DO MASONRY MORTAR AND GROUT WORK IN ACCORDANCE WITH CSA A179-M94 (R1999), OR LATEST EDITION, EXCEPT WHERE SPECIFIED ELSEWHERE.

.1 MASONRY PROCEDURES: - SECTION 04050

PART 2 - PRODUCTS

# 2.1 MATERIALS

- MORTAR AND GROUT: CSA A179-M1976, OR LATEST EDITION. USE AGGREGATE PASSING 1.18 MM SIEVE WHERE 6MM THICK JOINTS ARE INDICATED. 2.2 MATERIAL SOURCE
- .1 USE SAME BRANDS OF MATERIALS AND SOURCE OF AGGREGATE FOR ENTIRE PROJECT.
- 2.3 MORTAR TYPES MORTAR FOR EXTERIOR MASONRY ABOVE GRADE: CSA 179
- LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS. NON-LOAD BEARING: TYPE N BASED ON PROPORTION SPECS. PARAPET WALLS, UNPROTECTED WALLS:
- TYPE N BASED ON PROPORTION WALLS .4 MORTAR FOR FOUNDATION WALLS, MANHOLES, SEWERS, PAVEMENTS, WALKS, AND OTHER EXTERIOR MASONRY AT OR BELOW GRADE: TYPE M BASED ON PROPORTION SPECIFICATIONS.
- .5 MORTAR FOR INTERIOR MASONRY:

  .1 LOAD BEARING: TYPE N BASED ON PROPORTION SPECIFICATIONS.

  NON-LOAD BEARING: TYPE O BASED ON PROPORTION SPECIFICATIONS.

  FOLLOWING APPLIES REGARDLESS OF MORTAR TYPES AND USES SPECIFIED ABOVE.

  MORTAR FOR CALCIUM SILICATE BRICK AND CONCRETE BRICK. TYPE O BASED ON PROPORTION
- 2.4 GROUT .1 GROUT: TO CSA A179-M94 (R1999) , TABLE 3, OR LATEST EDITION.
- PART 3 EXECUTION
- MIX GROUT TO SEMI-FLUID CONSISTENCY
  PRE-HYDRATE POINTING MORTAR BY MIXING INGREDIENTS DRY, THEN MIX AGAIN ADDING JUST ENOUGH WATER TO PRODUCE DAMP UNWORKABLE MIX THAT WILL RETAIN ITS' FORM WHEN PRESSED INTO A BALL. ALLOW STANDING FOR NOT LESS THAN ONE (1) HOUR AND NOT MORE THAN TWO (2) HOURS, AND THEN REMIXING WITH SUFFICIENT WATER TO PRODUCE MORTAR OF PROPER CONSISTENCY FOR

# MASONRY ACCESSORIES (04150)

- PART 1 GENERAL
- 1.1 RELATED WORK MASONRY PROCEDURES: SECTION 04050
  MASONRY REINFORCING AND CONNECTORS — SECTION 04160
- PART 2 PRODUCTS
- 2.1 MATERIALS
- CONTROL JOINT FILLER: PURPOSE-MADE ELASTOMER TO ASTM D2240-81, OR LATEST EDITION, OF SIZE AND SHAPE INDICATED. NAILING INSERTS: 0.6 MM THICK PURPOSE-MADE GALVANIZED STEEL INSERTS FOR SETTING IN MORTAR
- MASONRY FLASHING: ONE OF THE FOLLOWING: USE SPECIFIED MATERIAL WHERE INDICATED ON
- GRACE BITUTHENE 3000 (INCL. PRIMER P3100)
  LAP ADHESIVE: RECOMMENDED BY MANUFACTURER OF FLASHING MATERIAL.
  WEEP HOLE VENTS: PURPOSE MADE PVC OR GALVANIZED STEEL, DESIGNED TO DRAIN
- PART 3 EXECUTION
- 3.1 CONTROL JOINTS .1 INSTALL CONTINUOUS CONTROL JOINT FILLERS IN CONTROL JOINTS AT LOCATIONS INDICATED.
- INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY OVER FLASHINGS, IN EXTERIOR WYTHES OF CAVITY WALL AND MASONRY VENEER WALL CONSTRUCTION, AT MAXIMUM HORIZONTAL SPACING OF
- INSTALL WEEP HOLE VENTS IN VERTICAL JOINTS IMMEDIATELY BELOW THE TOP RECESS BRICK TO VENT THE CAVITY IN EXTERIOR WYTHES OF CAVITY WALLS AT 32" O.C.
- INSTALL NAILING INSERTS IN MORTAR JOINTS AT 400 MM O.C. EACH WAY FOR ATTACHMENT OF ALL STRAPPING, WHERE INDICATED OR REQUIRED. 3.4 MASONRY FLASHING INSTALL FLASHING IN MASONRY IN ACCORDANCE WITH CAN3 A371-M94, OR LATEST EDITION, AS FOLLOWS:
- INSTALL FLASHINGS UNDER EXTERIOR MASONRY BEARING ON FOUNDATIONS. WALLS SLABS, SHELF ANGLES AND STEEL ANGLES OVER OPENINGS. INSTALL FLASHINGS UNDER WEEP HOLE COURSES AND AS INDICATED. .2 IN DOUBLE WYTHE WALLS AND VENEERED WALLS, CARRY FLASHING FROM FRONT EDGE OF MASONRY, UNDER OUT WYTHE, THEN UP BACKING NOT LESS THAN 150 MM AND AS FOLLOWS:

  .1 FOR MASONRY BACKING EMBED FLASHING 2.5 MM IN JOINT.

FOR CONCRETE BACKING INSERT FLASHING INTO REGLETS.

FOR GYPSUM BOARD BACKING, BOND TO WALL USING MANUFACTURER'S RECOMMENDED ADRICATIVE.

4. LAP JOINTS 150 MM AND SEAL WITH ADHESIVE.
INSTALL BITUTHENE FLASHING ABOVE EACH COURSE OF RECESSED BRICK AS WELL TO ALLOW WATER

# MASONRY REINFORCING AND CONNECTORS (04160)

- PART 1 GENERAL
- MASONRY PROCEDURES: SECTION 04050 MASONRY MORTAR AND GROUT SECTION 04100
- MASONRY ACCESSORIES: SECTION 04150 BRICK UNIT MASONRY: SECTION 04210 .5 CONCRETE UNIT MASONRY: - SECTION 04220
- 1.2 REFERENCE STANDARDS
- PART 2 PRODUCTS
- ONNECTORS: TO CAN3-A370-M94, OR LATEST EDITION REINFORCEMENT: TO CANS—A371—M94, OR LATEST EDITION.

  EXTERIOR MASONRY ANCHORS TO STEEL STUD TIES TO BAILEY ADJUSTABLE VENEER ANCHORS. NO SUBSTITUTES WITHOUT PRIOR WRITTEN APPROVAL FROM ARCHITECT. ANCHORS TO BE HOT DIPPED AND

# PART 3 - EXECUTION

3.1 INSTALLATION INSTALL MASONRY CONNECTORS AND REINFORCEMENT IN ACCORDANCE WITH CAN3-A370-M94 AND CAN3-A371-M94, OR LATEST EDITION UNLESS INDICATED OTHERWISE.

- I.1 RELATED WORK MASONRY PROCEDURES: SECTION 04050
  MASONRY MORTAR AND GROUT: SECTION 04100
  MASONRY ACCESSORIES: SECTION 04150
  MASONRY REINFORCING AND CONNECTORS: SECTION 04160
- PART 2 PRODUCTS 2.1 BRICK SELECTION
- .1 TO MATCH EXISTING UNLESS OTHERWISE SPECIFIED. PART 3 - EXECUTION
- BOND: RUNNING.
  COURSING HEIGHT: 200 MM FOR THREE BRICKS AND THREE JOINTS UNLESS OTHERWISE INDICATED.
  JOINTING: CONCAVE UNLESS OTHERWISE INDICATED. MIXING AND BLENDING: MIX UNITS WITHIN EACH PALLET AND WITH OTHER PALLETS TO ENSURE UNIFORM BLEND OF COLOUR AND TEXTURE.

# MASONRY CONCRETE UNITS (04220)

- PART 1 GENERAL
- 1.1 RELATED WORK
- 1 MASONRY PROCEDURES: SECTION 04050 2 MASONRY MORTAR AND GROUT: SECTION 04100 3 MASONRY ACCESSORIES: SECTION 04150
- MASONRY REINFORCING AND CONNECTORS: SECTION 04160

### PART 2 - PRODUCTS 2.1 MATERIALS

- .1 STANDARD CONCRETE MASONRY UNITS: TO CAN3—A165 SERIES M94 (R2001) (CAN3—A165.1), OR LATEST EDITION. THICKNESS AS REQUIRED TO MATCH EXISTING OR TO MEET MORE STRINGENT STRUCTURAL REQUIREMENTS.
- .2 200 MM THICK, 75% SEMI-SOLD CONCRETE BLOCK FOR 2 HR ULC FIRE RATING. PART 3 - EXECUTION
- 3.1 LAYING CONCRETE MASONRY UNITS
- DONE: NONTING:

  COURSING HEIGHT: 200 MM FOR ONE BLOCK AND ONE JOINT.

  JOINTING: CONCAVE WHERE EXPOSED OR WHERE PAINT OR OTHER FINISHING COATING IS SPECIFIED.
- 3.2 CLEANING MEANS OF TROWEL, FOLLOWED BY RUBBING LIGHTLY WITH SMALL PIECE OF BLOCK AND FINALLY BY

### MISCELLANEOUS METALS (05500) SIMULATED MASONRY (04700)

- PART 1 GENERAL
- 1.1 RELATED WORK
- ROUGH CARPENTRY: SECTION 06200
  BOARD INSULATION: SECTION 07212
- .4 EFS: SECTION 07245 .5 SEALANTS: SECTION 07900 .6 METAL STUD SYSTEM: SECTION 09111
- 1.2 REFERENCES:
- 1 GENERAL: STANDARDS LISTED BY REFERENCE, INCLUDING REVISION BY ISSUING AUTHORITY, FORM A PART OF THIS SPECIFICATION SECTION TO EXTENT INDICATED. STANDARDS LISTED ARE IDENTIFIED BY ISSUING AUTHORITY,
- .1 CSA A82.2-M78 AND CSA A82.4/A82.5/A82.6-M1978 (R1998) STANDARD TEST METHODS FOR SAMPLING AND TESTING BRICK AND STRUCTURAL CLAY TILE. CSA A362/A5/A8-93 - STANDARD SPECIFICATION FOR MASONRY AND PORTLAND CEMENT
- ASTM C177 STANDARD TEST METHOD FOR STEADY—STATE HEAT FLUX MEASUREMENTS AND THERMAL TRANSMISSION PROPERTIES ASTM C207 - STANDARD SPECIFICATION FOR HYDRATED LIME FOR MASONRY PURPOSES. 5 ASTM C270-02 - STANDARD SPECIFICATION FOR MORTAR FOR UNIT MASONRY. 6 ASTM C482 - STANDARD TEST METHOD FOR BOND STRENGTH OF CERAMIC TILE TO
- PORTLAND CEMENT .7 ASTM C567 - STANDARD TEST METHOD FOR DENSITY STRUCTURAL LIGHTWEIGHT CEMENT. .2 NATIONAL FIRE PROTECTION ASSOCIATION NFPA (NFPA) NFPA 255 - STANDARD FOR SAFETY FOR SURFACE BURNING CHARACTERISTICS OF BUILDING
- .3 NATIONAL BUILDING CODE (NBC)
  .1 WATER ABSORPTION .2 KRAFT WATERPROOF BUILDING PAPER
- 1.3 PRODUCT DELIVERY STORAGE & HANDLING
- DELIVERY MATERIALS TO JOB SITE IN DRY CONDITION. KEEP MATERIALS DRY UNTIL USE.
  STORE UNDER WATERPROOF COVER ON PALLETS OR PLANK PLATFORMS HELD OFF GROUND BY MEANS OF PLANK OR TIMBER SKIDS.
- PART 2 PRODUCTS MANUFACTURED STONE VENEER - DETAILS AS PER DRAWINGS. AVAILABLE FROM COMMONWEALTH
- BRICK & BLOCK 905-457-3654. PREMIXED: TYPE N PREMIXED MORTAR.
- MORTAR COLOR: IRON OXIDE COLOUR. 1 MINIMUM 2.5 LB. EXPANDED METAL LATH (DIAMOND MESH) GALVANIZED. BLACK METAL LATH (RUST INHIBITIVE) MAY BE USED FOR INTERIOR APPLICATIONS.

  .2 OR 18 GAUGE GALVANIZED WOVEN WIRE MESH.

2 1-1/4" TYPE S-12 PANCAKE HEAD SUPER TITE SCREWS. (USED FOR INSTALLATION TO METAL

DEPENDING ON LOCAL BUILDING CODE REQUIREMENTS, BARRIER SHOULD BE EQUAL TO NBC

- FOR METAL BUILDINGS & OPEN STUD CONSTRUCTION, MINIMUM 3.4 LB. 3/8" RIB EXPANDED GALVANIZED METAL LATH. .4 FASTENERS: GALVANIZED NAILS, STAPLES, CONCRETE NAILS.
- .5 MASONRY SEALERS: .1 SILANE BASED BREATHER TYPE SEALER (IF REQUIRED).

# STANDARD FOR KRAFT WATER-PROOF PAPER OR ASPHALT SATURATED RAG FELT OR ASTM D226, TYPE 1, NO. 15 FELT. NOTE: WEATHER-RESISTANT BARRIER MUST BE USED ON ALL EXTERIOR AND INTERIOR MORTAR APPLICABLE EXCEPT FOR THOSE OVER MASONRY, CONCRETE OR STUCCO.

- PART 3 EXECUTION 3.1 SURFACE PREPARATION FOR MORTAR INSTALLATIONS RIGID BACKWALL, WALLBOARD, PLYWOOD, PANELING, WALL SHEATHING, CONCRETE BOARD OR POLYSTYRENE INSULATION BOARD INSTALLED OVER A RIGID BACKWALL a: COVER SHEATHING WITH A BREATHER TYPE WEATHER RESISTANT BARRIER, LAP
  JOINTS 4" SHINGLE FASHION. THEN, IN ACCORDANCE WITH LOCAL BUILDING CODE,
- LAP AND INSTALL LATH OR MESH USING GALVANIZED NAILS OR STAPLES 6" ON CENTRE VERTICALLY, PENETRATING STUDS A MINIMUM OF 1". CONTINUOUSLY WRAF WEATHER-RESISTANT BARRIER AND METAL LATH A MINIMUM OF 16" AROUND ALL OUTSIDE AND MISTOR CONTINUOUSLY WAS AND MIST
- .2 CLEAN & UNTREATED: CONCRETE, MASONRY AND STUCCO.

  G: NO PREPARATION REQUIRED. EXAMINE NEWLY POURED CONCRETE CLOSELY TO ENSURE THAT ITS FINISHED SURFACE CONTAINS NO RELEASE AGENTS (FORM OIL).

  IF IT DOES CONTAIN FORM OIL, ETCH SURFACE WITH MURIATIC ACID, RINSE HOROUGHLY AND/OR SCORE WITH A WIRE BRUSH. .3 DIRTY, PAINTED OR SEALED: CONCRETE, MASONRY OR STUCCO a: SANDBLAST OR WATER BLAST TO ORIGINAL SURFACE (REMOVE SANDBLASTING DUST BY WASHING) OR SECURELY ATTACH LATH.
- .4 METAL BUILDINGS: g: LAP AND INSTALL 3/8" RIB EXPANDED METAL LATH TO METAL CLADDING SUPPORTS OF 20 GA. TO 12 GA. USING 1-1/4" TYPE S-12 PANCAKE HEAD SUPER TITE SCREWS. SCREWS MUST PENETRATE 3/8" BEYOND THE INSIDE FACE OF METAL SURFACE. SCREWS ARE TO BE INSTALLED ON CENTERS EQUAL TO 1 SCREW/SQ. T. AND SHALL NOT EXCEED 6" ON CENTRE IN ONE DIRECTION. APPLY 1/2" TO 3/4"

# a: LAP AND INSTALL PAPERBACK METAL LATH TO STUDS USING NAILS WHICH

PENETRATE A MINIMUM OF 1" AT 4" ON CENTRE. APPLY  $\frac{1}{2}$ " TO  $\frac{1}{2}$ " SCRATCH COAT AND ALLOW TO DRY 48 HOURS. 3.2 WATERTABLE/SILL INSTALLION 1 PROVIDE A TRANSITION PIECE BETWEEN A STONE WAINSCOT AND OTHER EXTERIOR FINISHES AND FOR WATER RUNOFF. THEY CAN ALSO BE USED AS A WINDOWSILL. INSTALL USING GALVANIZED METAL SUPPORT BRACKETS OR SUPPORT STRIP FASTENED WITH GALVANIZED NAILS OR SCREWS PENETRATING

SCRATCH COAT AND ALLOW TO DRY 48 HOURS.

STUDS 1" AT A MINIMUM OF 16" O.C. CAULK TOP OF WATERTABLE/SILL AS REQUIRED.

3.3 GROUND LEVEL INSTALLATION .1 KEEP THE FINISHED EDGE OF THE CULTURED STONE® PRODUCT A MINIMUM OF 4" ABOVE GRADE. USE OF 2"X 4"LEVELLING STRIP (STRAIGHT EDGE). THIS WILL PROVIDE A MEANS OF DRAINAGE, AVOID POSSIBLE STAINING OF THE STONE BY SOILS CONTAINING ALKALI OR OTHER MINERALS AND ACHIEVE THE LOOK OF NATURAL STONE THAT HAS BEEN INSTALLED ON A FOOTING OR FOUNDATION.

# .1 SPREAD CULTURED STONE® WALL VENEER OUT AT THE JOB SITE SO YOU HAVE A GOOD VARIETY OF SIZES, SHAPES AND COLOURS TO CHOOSE FROM. PLAN FOR SOME VARIETY AND CONTRAST IN THE OVERALL DESIGN. USE SMALL STONES NEXT TO LARGE STONES, HEAVY TEXTURED PIECES NEXT TO SMOOTH, THICK STONES NEXT TO THINNER ONES. MIXING CULTURED STONE® WALL VENEER FROM DIFFERENT BOXES DURING APPLICATION WILL ALLOW YOU TO ACHIEVE A DESIRABLE BALANCE OF STONES ON YOUR FINISHED PROJECT.

3.6 STARTING POINT

3.4 WORK AREA PREPARTION

- 3.5 MORTAR a. IF STONE IS BEING APPLIED IN HOT OR DRY WEATHER, THE BACK OF EACH PIECE SHOULD BE MOISTENED WITH A FINE SPRAY OF WATER OR A WET BRUSH TO ADEQUATELY PREVENT EXCESSIVE ABSORPTION OF MOISTURE FROM THE MORTAR. IF BEING INSTALLED OVER
- CONCRETE, MASONRY OR SCRATCH COAT SUBSTRATE, THE SUBSTRATE SURFACE AREA SHOULD ALSO BE DAMPENED BEFORE APPLYING MORTAR.

  APPLICATIONS SHOULD BE PROTECTED FROM TEMPERATURES BELOW FREEZING AS MORTAR b. APPLICATIONS SHOULD BE PROTECTED FROM TEMPERATURES BELOW FREEZING AS MORTAR WILL NOT SET UP PROPERLY UNDER SUCH CONDITIONS. DO NOT USE ANTIFREEZE COMPOUNDS TO LOWER THE FREEZING POINT OF MORTAR.

  2 MIXING: PREMIXED TYPE N OR USED A PORTLAND OR BLENDED CEMENT, MIX TO A FIRM, MOIST CONSISTENCY: MORTAR THAT IS TOO DRY AND CRUMBLY WILL NOT PROVIDE PROPER BOND. MORTAR THAT IS TOO WET WILL BE WEAK AND MESSY.

  3 MORTAR COLOUR: TINTING MORTAR COMPLEMENTS THE COLOUR OF THE STONE BEING INSTALLED. THIS WILL GREATLY ENHANCE THE APPEARANCE OF THE FINISHED INSTALLATION. REGULAR MORTARS CAN BE TINTED USING IRON OXIDE PIGMENTS AVAILABLE FROM YOUR DEALER.

  4 APPLYING MORTAR TO PREPARED SURFACE AREA.
- .4 APPLYING MORTAR TO PREPARED SURFACE AREA: a: USING A PLASTERER'S OR MASON'S TROWEL, APPLY MORTAR 1/2" TO 3/4" THICK TO PREPARED SURFACE AREA. DO NOT SPREAD MORE THAN A WORKABLE AREA (5 TO 10 SQ. FT.) SO THAT MORTAR WILL NOT "SET UP" BEFORE STONE IS APPLIED.
- .1 IN ORDER TO OBTAIN THE MOST NATURAL LOOK, JOINTS SHOULD BE AS NARROW AS POSSIBLE, AVERAGE SHOULD NOT EXCEED 1/2" IN WIDTH

.1 PRODUCTS ARE APPLIED STARTING FROM THE BOTTOM (FIRST COURSE) AND WORKING UP.

# SIMULATED MASONRY (04700) CONT.

- .1 PRESS EACH STONE INTO THE MORTAR BED FIRMLY ENOUGH TO SQUEEZE SOME MORTAR OUT AROUND
- THE STONE'S EDGES. APPLY PRESSURE TO THE STONE TO ENSURE A GOOD BOND. ENSURE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND BACK SURFACE OF THE STONE. MORTAR MAY ALSO BE APPLIED TO THE ENTIRE BACK OF THE STONE.

  NOTE: CARE MUST BE TAKEN TO AVOID SMEARING MORTAR ON SURFACE OF STONE. ACCIDENTAL
- SMEARS SHOULD BE REMOVED USING A WHISKBROOM ONLY AFTER MORTAR HAS BECOME CRUMBLY. INSTALL CORNER PIECES FIRST. NOTICE THAT THE CORNER PIECES HAVE A LONG AND A SHORT LEG.
- ALTERNATE THESE IN OPPOSITE DIRECTIONS.
  AFTER THE CORNER PIECES ARE IN PLACE, FLAT PIECES ARE APPLIED WORKING TOWARD THE CENTRE OF THE WALL.

  .4 PLACE THE INDIVIDUAL STONES CLOSE TOGETHER CREATING UNIFORM JOINTS BETWEEN THEM. CUT
- PLACE THE INDIVIDUAL STONES CLOSE TOGETHER CREATING UNIFORM JOINTS BETWEEN THEM. CUT AND TRIM AS REQUIRED TO ACHIEVE CONSISTENT WIDTH IN THE MORTAR JOINTS. THEN TRIM AND FIT SMALL PIECES INTO ANY REMAINING VOIDS.

  STONES CAN BE CUT AND SHAPED FOR FIT. USE WIDE MOUTH NIPPERS OR A HATCHET. SOME BROKEN STONES MAY BE FOUND IN THE BOX. FOR BEST-FINISHED APPEARANCE, COAT CUT OR BROKEN EDGES WITH MORTAR. IF POSSIBLE, POSITION CUT EDGES UP WHEN THEY ARE ABOVE EYE

# LEVEL, DOWN WHEN BELOW EYE LEVEL.

- .1 IF ADDITIONAL MORTAR IS REQUIRED, USE A GROUT BAG TO FILL IN JOINTS. CARE MUST BE TAKEN TO AVOID SMEARING MORTAR ON THE SURFACE OF STONE.
- .2 WHEN THE MORTAR JOINTS HAVE BECOME FIRM OR THUMBPRINT DRY (SETTING TIME WILL VARY
- DEPENDING ON WALL SURFACE AND CLIMATIC CONDITIONS), THEY SHOULD BE POINTED UP WITH A WOOD STICK OR METAL JOINTING TOOL. RAKE OUT EXCESS MORTAR, COMPACT AND SEAL EDGES AROUND STONES. CAREFUL ATTENTION TO PROPER AND EVEN JOINTING.
  AT THE END OF THE WORKDAY, OR WHEN MORTAR IS SUFFICIENTLY SET UP, THE FINISHED JOB SHOULD BE BROOMED OR BRUSHED TO REMOVE LOOSE MORTAR AND TO CLEAN THE FACE OF THE STONE. NEVER USE A WET BRUSH AS THIS WILL CAUSE STAINING THAT WILL BE DIFFICULT OR IMPOSSIBLE TO REMOVE. DO NOT USE ACID OR ACID BASE PRODUCTS.

# PART 1 - GENERAL

2.1 MATERIALS

- .1 REFERENCE STANDARDS .1 DO WELDING WORK IN ACCORDANCE WITH CSA W59-1989 (R2001) OR LATEST EDITION, UNLESS SPECIFIED OTHERWISE.
- 1.2 SHOP DRAWINGS
- SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH SUBMITTALS INDICATE MATERIALS, CORE THICKNESSES, FINISHES, CONNECTIONS, JOINTS, METHOD OF ANCHORAGE, NUMBER OF ANCHORS, SUPPORTS, REINFORCEMENT, DETAILS AND ACCESSORIES.
- CAREFULLY EXAMINE ALL DRAWINGS INCLUDE FOR ALL METAL ITEMS OF MISCELLANEOUS NATURE REQUIRED FOR FULL AND COMPLETE INSTALLATION OF ALL ITEMS SUPPLIED TO THE WORK. PART 2 - PRODUCTS
- STEEL SECTIONS AND PLATES: TO CAN/CSA-G40.20/G40.21, OR LATEST EDITION, GRADE 300W. STEEL PIPE: TO ASTM A53/A 53M-O2, OR LATEST EDITION, STANDARD WEIGHT, GALVANIZED FINISH. WELDING MATERIALS: TO CSA W59-1989 (R2001), OR LATEST EDITION. BOLTS AND ANCHOR BOLTS: TO ASTM A307-84A, OR LATEST EDITION.
- .5 GALVANIZING: HOT DIPPED GALVANIZING WITH ZINC COATING 600 G/M2 TO CSA G164-M1992, OR LATEST EDITION. .6 SHOP PRIMER: TO CAN/CSA 1.40M, OR LATEST EDITION.
  .7 ZINC PRIMER: ZINC RICH, READY MIX TO CGSB.
  .8 GROUT: NON-SHRINK, NON-METALLIC, FLOWABLE, 24H, MPA 15, PULLOUT STRENGTH 7.9 MPA.
- 2.2 FABRICATION FABRICATE WORK SQUARE, TRUE, STRAIGHT AND ACCURATE TO REQUIRED SIZE, WITH JOINTS CLOSELY FITTED AND PROPERLY SECURED.

  USE SELF-TAPPING SHAKE PROOF FLAT-HEADED SCREWS ON ITEMS REQUIRING ASSEMBLY SCREWS OR AS INDICATED. USE SCREWS FOR INTERIOR METAL WORK. USE WELDED CONNECTIONS EXTERIOR METAL WORK UNLESS OTHERWISE APPROVED BY CONSULTANT.

  WHERE POSSIBLE, FIT AND SHOP ASSEMBLE WORK, READY FOR ERECTION.

  ENSURE EXPOSED WELDS ARE CONTINUED IS FOR LENGTH OF FACH JOINT. FILE OR GRIND EXPOSED.

# ENSURE EXPOSED WELDS ARE CONTINUOUS FOR LENGTH OF EACH JOINT. FILE OR GRIND EXPOSED WELDS SMOOTH AND FLUSH. SEAL EXTERIOR STEEL FABRICATIONS TO PROVIDE CORROSION PROTECTION IN ACCORDANCE WITH CAN3-S16-O1, OR LATEST EDITION. ENSURE ALL EXPOSED EDGES AND CORNERS OF METAL FABRICATIONS, INCLUDING BUT NOT LIMITED TO

METAL CORNER GUARDS, ARE SMOOTH AND FREE FROM BURRS OR NICKS. THIS IS TO PREVENT ANY POSSIBLE OCCURRENCE OF INJURY FROM HANDLING OR CONTACT WITH SUCH FABRICATION. 2.3 SHOP PAINTING APPLY ONE SHOP COAT OF PRIMER TO METAL ITEMS, WITH EXCEPTION OF GALVANIZED OR CONCRETE ENCASED ITEMS.

USE PRIMERS UNADULTERATED, AS PREPARED BY MANUFACTURER. PAINT ON DRY SURFACES, FREE FROM RUST, SCALE, AND GREASE. DO NOT PAINT WHEN TEMPERATURE IS LOWER THAN 7 DEGREES

# .3 CLEAN SURFACES TO BE FIELD WELDED; DO NOT PAINT PART 3 - EXECUTION

- 3.1 ERECTION ERECT METALWORK SQUARE, PLUMB, STRAIGHT, AND TRUE, ACCURATELY FITTED, WITH TIGHT JOINTS
- AND INTERSECTIONS.

  PROVIDE SUITABLE MEANS OF ANCHORAGE ACCEPTABLE TO CONSULTANT SUCH AS DOWELS, ANCHOR CLIPS, BAR ANCHORS, EXPANSION BOLTS AND SHIELDS, AND TOGGLES.

  MAKE FIELD CONNECTIONS WITH HIGH TENSILE BOLTS TO CAN3—S16—O1 OR LATEST EDITION, OR WELD.

  HAND ITEMS OVER FOR CASTING INTO CONCRETE OR BUILDING INTO MASONRY TO APPROPRIATE TRADES TOGETHER WITH SETTING TEMPLATES. TOUCH-UP RIVETS, FIELD WELDS, BOLTS AND BURNT OR SCRATCHED SURFACES AFTER COMPLETION OF ERECTION WITH PRIMER.

  .6 TOUCH-UP GALVANIZED SURFACES WITH ZINC RICH PRIMER WHERE BURNED BY FIELD WELDING.
- 3.2 ANGLE LINTELS
- SUPPLY MASON WITH LOOSE ANGLE LINTELS OF SIZES INDICATED, FOR OPENINGS IN MASONRY WALLS UNLESS OTHERWISE NOTED. PRIME PAINT.
   PROVIDE 150 MM MINIMUM BEARING AT ENDS. WELD OR BOLT TOGETHER WHERE INSTALLED BACK—TO—BACK. 3.3 PIPE RAILINGS
- MM UNLESS OTHERWISE NOTED. SHOPPING CART CORRALS: 1-3/4"BRUSHED DIAMETER STAINLESS STEEL PIPE; BRUSHED STAINLESS STEEL FINISH (INCL. FLANGE), 3'2-1/2" IN HEIGHT, VERTICALS SPACED APPROX. 4'0"O.C., WITH A SECONDARY HORIZONTAL RAIL 1'- 8-3/4" A.F.F. TO CENTER; ALL POSTS TO BE CORED INTO FLOOR;

3.4 STEEL STAIRS

FLANGE OR POST BASED IS TO BE CONCEALED MANUFACTURERS FOR MODULAR RAILING SYSTEM BY GALLERY BRASSWORKS (905) 795-0808 SHOP DRAWINGS TO BE PROVIDED WITH PROFESSIONAL ENGINEERS' SEAL FOR ALL ITEMS NOTED ABOVE.

.1 PIPE RAILINGS: 40 MM NOMINAL OUTSIDE DIAMETER STEEL TO STAIRS. RAILINGS TO BE SUPPLIED WITH ALL NECESSARY SUPPORTS AND BRACKETS.
.2 EXTERIOR PIPE RAILINGS AT TRUCK DOCK AND SIDE RETAINING WALLS: GALVANIZED, DIAMETER 40

.1 SUPPLY AND INSTALL STEEL STAIRS, LANDING AND HANDRAILS AS SHOWN ON THE DRAWINGS. A STAIRS TO HAVE 250 MM (10 INCH.) STEEL CHANNEL STRINGERS, 50 MM (1-1/2 INCH) DEEP MASTIC FILLED 12-GAUGE PAN TREADS; 14-GAUGE STEEL RISERS.

B TREAD PANS TO BE FILLED WITH CONCRETE WHERE FINISHED WITH RESILIENT TILES, VINYL SHOP DRAWINGS TO BE PROVIDED WITH PROFESSIONAL ENGINEER'S SEAL FOR ALL ITEMS NOTED

.3 PAINT STEEL STAIRS AND HANDRAILS, BENJAMIN MOORE # 2120-10 JET BLACK.

GALVANIZE EXTERIOR LADDERS AFTER FABRICATION.

3.5 ACCESS LADDERS FABRICATE LADDER FROM 2-1/2"X 3/8"STEEL FLAT BAR WITH 3/4"DIAMETER RODS WELDED IN POSITION. RUNGS AT 12 C/C. LADDER BRACKETS 3"X 8"ANGLE STRAPS, BOLTED TO WALL WITH 3/4" DIAMETER GALVANIZED BOLTS AT 36"O.C.

GALVANIZE FINISH FOR EXTERIOR, PRIME PAINT FOR INTERIOR; FINISH PAINT BENJAMIN MOORE

- INSTALL SECURITY HOOPS WHERE REQUIRED DUE TO HEIGHT IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS. FLAT METAL 75 MM WIDE, 6 MM THICK WELDED TO VERTICALS. START HEIGHT AT NO MORE THAN 2.2M (7 FT.) FROM FLOOR OR BOTTOM OF LADDER AND EXTEND 3 3.6 ROOF ACCESS HATCH
- SUPPLY AND INSTALL PREFABRICATED ROOF ACCESS HATCH AS INDICATED ON DRAWINGS. PAINT FINISH GREY #9- BENJAMIN MOORE #1473. SUPPLY AND INSTALL 200 MM DIAMETER STEEL PIPE, CONCRETE FILLED BOLLARDS AT GRADE LEVEL RECEIVING DOORS, COMPACTOR SLABS, AND PROTECTION AROUND ANY EQUIPMENT OR BUILDING COMPONENT SUBJECT TO DAMAGE BY TRUCKS. PROVIDE AND INSTALL SIMILAR AT EXTERIOR

MM CHECKERED PLATE COMPLETE WITH HANDLES, FOR BACKSTORE AREAS AND TILE-COVERED COVERS

SUPPLY STEEL ANGLE OR CHANNEL FRAMES REQUIRED FOR ANY OPENINGS, VANITIES, AND SHELVES NOT SPECIFIED ELSEWHERE AND FOR EXTENSIONS AND FRAMING FOR OVERHEAD DOORS.
PROVIDE 50 X 50 X 6MM STEEL ANGLE FRAMES WITH 10 X 10 MM STOP WELDED TO THE TOP OF THE ANGLE FOR ALL FLOOR OPENINGS SUCH AS CATCH BASINS, SUMP PUMPS, ETC. COVERS SHALL BE 6

3.9 EXTERIOR RECEIVING DOOR FRAMES

3.8 FRAMES AND COVERS

STOREFRONT AS INDICATED ON DRAWINGS.

.1 SUPPLY AND INSTALL EXTERIOR RECEIVING DOOR FRAMES

# EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240)

PART 1 — GENERAL .1 RELATED SECTIONS

SECTION 07900 - SEALANTS

.2 REFERENCED DOCUMENTS

DS107 INSTALLATION DETAILS DSC131 DRYVIT SPECIFICATION FOR EPS DS204 OUTSULATION APPLICATION INSTRUCTIONS DS152 CLEANING AND RECOATING DS153 EXPANSION JOINTS AND SEALANTS DS410 COLOR PRIME DS435 BACKSTOP TM PRODUCT SHEET. 2 NATIONAL BUILDING CODE OF CANADA .1 PART 3 SECTIONS: 3.1.4., 3.1.5., & 3.2.3. .2 PART 9 SECTION 9.27 .3 UNDERWRITERS LABORATORIES OF CANADA .1 CAN/ULC-S134 .4 AMERICAN SOCIETY OF TESTING AND MATERIALS .1 ASTM C79, C1117, 84 AND C150

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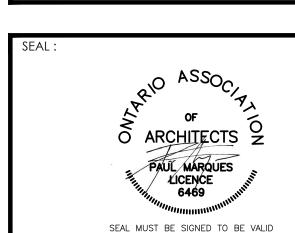
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NORTH YORK, ONTARIO

TEL: 647.352.2121

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WORKSHOP / CUSTOM

Drawing Name :

GENERAL NOTES

GARAGE

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

<sup>o</sup>roj no.: 20-914 Date: JULY 2020 Scale: AS NOTED Drawn by: Checked by: PM Drawing No:

- I.1 RELATED WORK
- .1 DO REINFORCING AND CONNECTING OF MASONRY IN ACCORDANCE WITH CAN3-A370-M94, AND CAN3-A371-M94, OR LATEST EDITION UNLESS SPECIFIED OTHERWISE.

- MASONRY BRICK UNITS (04210)
- PART 1 GENERAL
- 3.1 LAYING
- 3.2 CLEANING MASONRY .1 CLEAN IN ACCORDANCE WITH BRICK SUPPLIER'S RECOMMENDATIONS.

# **GENERAL NOTES** EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT PART 1 - GENERAL 1.3 SYSTEM DESCRIPTION: DUAL BARRIER, DRAINING SYSTEM 1. THE DRYVIT OUTSULATION SYSTEM IS CONSIDERED A COMBUSTIBLE WALL CLADDING THAT MAY BE USED IN A NON-COMBUSTIBLE CONSTRUCTION AS IT IS DEFINED IN THE NATIONAL BUILDING CODE OF CANADA, PART 3, SECTION 3.1.5. THE OUTSULATION SYSTEM MAY ALSO BE USED IN COMBUSTIBLE CONSTRUCTION AS PER SECTION 3.1.4. 2. THE DRYVIT OUTSULATION SYSTEM HAS BEEN EVALUATED BY CCMC AND IS LISTED TO PERFORM AT A LEVEL EQUAL TO OR GREATER THAN THAT REQUIRED BY PART 9, SECTION 9.27. FOR NOTE: A SECONDARY MOISTURE BARRIER IS PART OF ALL CCMC EIFS EVALUATIONS AND IS REQUIRED (WHERE A CCMC LISTING OF SYSTEMS AND MATERIALS IS CODE ENFORCED). ON THIS PROJECT 1.4 DESIGN REQUIREMENTS 1. SUBSTRATE/SUBSTRATE SYSTEMS SHALL BE ENGINEERED BY OTHERS THE MAXIMUM DEFLECTION UNDER FULL FLEXURAL DESIGN LOADS OF THE SUBSTRATE SHALL NOT EXCEED 1/240 TIMES THE SPAN. THE SUBSTRATE SHALL BE FLAT WITHIN $\pm 1/8$ " IN A 4' RADIUS. .3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE SUBSTRATE SURFACE IS OF A TYPE AND CONDITION ACCEPTABLE FOR THE PROPOSED SUBSTRATE IS ACCEPTABLE FOR APPLICATION. APPLICATION OF OUTSULATION SHALL BE TO THE FOLLOWING RECOMMENDED SUBSTRATE: 1. PROPIETARY TREATED CORE, FIBRE—FACED GYPSUM SHEATHING MEETING ASTM C1177. 2. POURED CONCRETE, CLEAN OF ALL DUST, FORM AGENTS, AND OTHER DELETERIOUS 3. UNIT MASONRY AND VENEER (UNGLAZED) MEETING THE INSPECTION REQUIREMENTS OF A DRYVIT REPRESENTATIVE. 4. EXTERIOR CEMENT BD. APPROVED BY DRYVIT. 2. AIR/MOISTURE BARRIERS AIR MOISTURE BARRIER OR "SECONDARY BARRIER" IS A DESIGN REQUIREMENT. LINE OF AIR TIGHTNESS IS LOCATED WITHIN THE WALL ASSEMBLY. THIS BARRIER ALSO FUNCTIONS AS THE AIR BARRIER SYSTEM. DRYVIT SECONDARY BARRIERS MEET NBCC REQUIREMENT FOR AIR BARRIERS HAVING AN AIR LEAKAGE RATE OF <0.05 L/s.m2 @ 75 Pa. BARRIER MATERIALS FOR DRYVIT SYSTEMS. .1 BACKSTOP, A WATER RESISTANT AIR BAR- RIER MEMBRANE HAVING A WATER VAPOUR PERMEANCE OF >1000 Ng/Pa.S.M.2, FIELD MIXED 1:1 WITH CEMENT. DRYVIT GRID TAPE, DRYVIT FLASHING TAPE AND FLASHING TAPE PRIMER SHALL BE USED IN CONJUNCTION WITH THE AIR BARRIER MATERIALS LISTED ABOVE FOR MAINTAINING BARRIER CONTINUITY THROUG- OUT THE WALL SYSTEM WHEN REQUIRED. 3WHERE POSSIBLE, FIT AND SHOP ASSEMBLE WORK, READY FOR ERECTION. BACKSTOP-FOR DENSGLASS GOLD SHEATHING BACKSTOP NT-FOR PLYWOOD SHEATHING INSTALLATION OF AIR BARRIERS TO PROCEED IMMEDIATELY AFTER INSTALLATION OF SHEATHING. .4 SEAL AROUND PROJECTING MASONRY TIES WHERE APPLICABLE. 1. THE INSULATION BOARD EDGE SHALL BE COMPLETELY ENCAPSULATED WITH DRYVIT BASE COAT MATERIAL AND MESH AT ALL SYSTEM TERMINATIONS 2. THE LENGTH AND SLOPE OF INCLINED SURFACES SHALL FOLLOW THE GUIDELINES LISTED BELOW: 1. MINIMUM SLOPE: 6"(152mm) OF RISE IN 12" (305mm) OF HORIZONTAL PROJECTION. 2. MAXIMUM LENGTH OF SLOPE: 10"(254mm) 3. OUTSULATION SHALL NOT BE USED IN AREAS DEFINED AS ROOFS BY BUILDING CODES GROUND FLOORS AND HIGH TRAFFIC AREAS SHALL BE REINFORCED WITH A DOUBLE LAYER OF RE-INFORCING MESH CONSISTING OF PANZER MESH AS A MINIMUM FIRST LAYER AND STANDARD R STANDARD PLUS MESH AS THE SECOND LAYER. LOCATION OF HIGH IMPACT AREAS SHALL BE CORNERS SHALL BE REINFORCED BY DOUBLE WRAPPING THE REINFORCING MESH OR BY INSTALLING CORNER MESH. REFER TO DRYVIT DETAIL DDS107 CORNERS OF OPENINGS SHALL BE REINFORCED USINNG A 9.5" (241mm) WIDE STRIP OF DETAIL MESH LAID AT 45° ANGLE. REFER TO INSTALL- ATION DRYVIT DETAIL DS107. 6. THE INSULATION BOARDS AT CORNERS OF OPEN- INGS SHALL BE CUT L-SHAPED SO THAT THEIR EDGES DO NOT ALIGN WITH THE CORNER. TERMINATION OF THE SYSTEM AT TOPS OF WALLS SHALL BE COVERED WITH A CONTINUOUS METAL CAPPING. REFER TO INSTALLATION DRYVIT DETAIL DS107 DRYVIT MATERIALS SHALL BE COMPLETELY DRY PRIOR TO THE INSTALLATION OF SEALANT (24-48 HOURS MINIMUM DRYING TIME). SEALANT PRIMERS ARE RECOMMENDED FOR SURFACE TREATMENT ON ALL SEALANT APPLICATIONS. SEALANTS APPROVED FOR USE WITH THE DRYVIT OUTSULATION SYSTEM ARE LISTED IN DS153, EXPANSION JOINTS AND SEALANTS. 3. SEALANT SYSTEM: INCLUDES THE SEALANT, CLOSED CELL BACKER ROD OR EQUIVALENT, BOND BREAKER TAPE, PRIMER AND ACCESSORIES WHICH ARE MANUFACTURED BY OTHERS. 5. EXPANSION JOINTS 1. PROVIDE A MINIMUM OF 3/4" (19mm) WIDTH FOR ALL EXPANSION JOINTS. 2. CONTINUOUS EXPANSION JOINTS IN OUTSULATION SHALL BE INSTALLED AT, BUT NOT LIMITED TO WHERE EXPANSION JOINTS OCCUR IN THE SUBSTRATE SYSTEM. WHERE BUILDING EXPANSION JOINTS EXIST. WHEN OUTSULATION ABUTS DISSIMILAR MATERIALS. AT FLOOR LINES IN WOOD FRAME CONSTRUCTION OOR LINES WHERE A NESTED STUD ASSEMBLY IS USED WHERE SUBSTRATE SYSTEM MATERIALS CHANGE AT CHANGES IN ROOF LINES, BUILDING SHAPE, OR STRUCTURAL SYSTEM. 1.5 SUBMITTALS 1. SUBMIT COPIES OF MANUFACTURER'S SPECIFICA- TIONS AND INSTALLATION INSTRUCTIONS. 2. SUBMIT COPY OF MANUFACTURER'S CURRENT ISO 9001 REGISTRATION AND COMPLIANCE. 3. TRAINED APPLICATOR SHALL SUBMIT TWO 8"x8" (204x204mm) SAMPLE FOR EACH FINISH, 4. IN FABRICATION, THE TRAINED APPLICATOR SHALL SUBMIT COMPLETE SHOP DRAWINGS INCLUDING ERECTION SCHEDULES AND DETAILS. 1.6 QUALITY ASSURANCI SYSTEM MANUFACTURER SHALL BE DRYVIT SYSTEMS CANADA. BE MEMBER IN GOOD STANDING WITH EIFS COUNCIL OF CANADA AND EIMA. TO HAVE CURRENT COMO LISTING AND LISTING NUMBER ON PRODUCTS SUPPLIED THE INSULATION BOARD MANUFACTURER SHALL BE RECOGNIZED BY DRYVIT SYSTEMS 1. THE TRAINED APPLICATOR OR PANEL FABRI- CATOR SHALL BE RECOGNIZED BY DRYVIT

SYSTEMS CANADA.

TO HAVE REQUIRED AMOUNT OF EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND SCOPE. NUMBER ON PRODUCTS SUPPLIED.

TO EMPLOY NECESSARY AMOUNT OF QUALIFIED PERSONNEL TO COMPLETE PROJECT IN 1.7 MOCK-UPS ONCE ACCEPTED MOCK-UP WILL DEMONSTRATE MINIMUM STANDARD FOR ACCEPTABLE WORK. IT IS RECOMMENDED THAT IS MOCK-UP BE CONS- TRUCTED FOR PROJECTS WHERE THE FOLLOWING a) SEQUENCE OF AIR BARRIER SYSTEM INSTAL— LATION, AND SHOULD SHOW TYPICAL AIR BARRIER CONNECTIONS WHERE DISSIMILAR AIR BARRIER MATERIALS WILL BE USED (e.g.

b) SEQUENCE OF WALL SYSTEM COMPONENTS SUCH AS EIFS SYSTEM, FENESTRATIONS, FLASHINGS, SEALANTS, ETC. 1.8 DELIVERY, STORAGE AND HANDLING

1. DELIVER ALL MATERIALS IN ORIGINAL, UNOPENED PACKAGES WITH LABELS INTACT. PROTECT ALL DRYVIT MATERIALS FROM WEATHER AND DIRECT SUNLIGHT.

WINDOWS AND THROUGH SYSTEM PENETRATIONS.)

3. STORE ALL DRYVIT MATERIALS IN A COOL, DRY LOCATION AT A TEMPERATURE NOT LESS THAN 4°C (40°F) 1.9 PROJECT CONDITIONS

EXISTING CONDITIONS THE CONTRACTOR SHALL HAVE ACCESS TO ELECTRICAL POWER. CLEAN POTABLE WATER, AND A CLEAN WORK AREA IN IMMEDIATE AREA OF SYSTEM INSTALLATION. 2. ENVIRONMENTAL CONDITIONS THE AMBIENT AIR AND WALL SURFACE TEMPERA- TURE SHALL BE A MINIMUM OF 4°C (40°F) DURING AND FOLLOWING INSTALLATION OF DRYVIT MATE- RIALS FOR A MINIMUM OF 24 HOURS OR UNTIL MATERIALS ARE FULLY DRY. PROTECTION

 ADJACENT AREAS AND MATERIALS SHALL BE PROTECTED FROM DAMAGE, DROPS, AND SPILLS DURING THE APPLICATION OF THE DRYVIT MATERIALS. 2. DRYVIT MATERIALS SHALL BE PROTECTED BY PERMANENT OR TEMPORARY MEANS FROM WEATHER AND OTHER DAMAGE PRIOR TO, DURING AND IMMEDIATELY AFTER APPLICATION. CARE MUST BE TAKEN TO PREVENT CONDEN— SATION AND/OR HEAT BUILT-UP, WHEN USING A HEATED ENCLOSURE IN INCLEMENT WEATHER.

1. INSTALLATION OF OUTSULATION SHALL BE COORDINATED WITH OTHER CONSTRUCTION SUFFICIENT PERSONNEL AND EQUIPMENT SHALL BE EMPLOYED TO ENSURE A CONTINUOUS OPERATION FREE OF COLD JOINTS, SCAFFOLD LINES, TEXTURE VARIATIONS, ETC.

1.10 LIMITED MATERIALS AND LABOUR WARRANTY DRYVIT SYSTEMS CANADA SHALL PROVIDE A 5 (FIVE) YEAR LIMITED MATERIALS WARRANTY. RECEIPT OF A PROPERLY EXECUTED WARRANTY REQUEST AND COMPLETED PROJECT FORM IS REQUIRED. NO WARRANTY IS ISSUED UNLESS ALL MATERIALS ARE PAID FOR IN FULL.

THE EIFS ASSEMBLY INCLUDING THE AIR BARRIER (MARKED ALSO AS 'STUCCO FINISH') DESIGNED AS DUAL BARRIER DRAINING SYSTEM. IT IS THE RESPONSIBILITY OF DRYVIT SYSTEMS CANADA TO CARRY OUT PERIODIC ON—SITE INSPECTIONS TO ENSURE THAT SYSTEM INSTALLATION COMPLIES AND MEETS THE DESIGN CRITERIA, DRYVIT STANDARDS AND THE PERFORMANCE REQUIREMENTS. FINAL CERTIFICATION TO THIS EFFECT TO BE ISSUED BY DRYVIT AT COMPLETION OF

EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (07240) CONT

PART 2 - PRODUCTS

1 ALL COMPONENTS OF THE OUTSULATION SYSTEM SHALL BE SUPPLIED BY AND/OR OBTAINED FROM DRYVIT SYSTEM CANADA (OR APPROVED EQUAL) OR ITS AUTHORIZED DISTRIBUTORS.

2.2 MATERIALS ADHESIVE MATERIAL

> . PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COAT FOR OUTSULATION SUPPLIED IN 27.2 KG (60 Ib.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE 10 PORT— LAND CEMENT.

1. THE OUTSULATION INSULATION BOARD SHALL BE AGED. EXPANDED POLYSTYRENE WITH AN AVERAGE NOMINAL DENSITY OF 1.0 P.C.F (16 kg/SM) BUT NOT LESS THAN 0.95 P.C.F. (15 kg/sm) MEETING THE CURRENT PUBLISHED SPECIFICATIONS OF DRYVIT'S PUBLICATION DSC131, AND SHOULD APPLY TO EACH AND EVERY BOARD SUPPLIED, NOT

2. THE OUTSULATION INSULATION BOARD SHALL MEASURE A MINIMUM OF 24" (610mm) BY 48" (1220 mm), MINIMUM THICKNESS OF 1" (25mm).

3. DRYVIT REINFORCING MESH STANDARD MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq/yd (154 (g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 200 lb/in (890 N/2.54cm) WEFT.

2. PANZER 15 MESH: A TREATED GLASS FIBRE MESH THAT MUST WEIGHT A MIN. OF 15 oz/sq.yd (509 g/sq.m) AND HAVE A MINIMUM TENSILE STRENGTH OF 700 lbs/in (1226

NOTE: WHEN PANZER 15 MESH IS USED, A LAYER OF STANDARD MESH MUST BE INSTALLED

 MESH: A TREATED, GLASS FIBRE MESH THAT MUST WEIGHT A MINIMUM OF 9.5 oz/sq.yd (320 kg/sq.m) AND HAVE A MINIMUM TENSILE STRENGTH OF 290 lbs/in (508 N/cm) OF WDTH. 4. DETAIL MESH: SHALL WEIGH A MINIMUM OF 4.5 oz/sq.yd. (152 g/sq.m.) AND HAVE A MINIMUM TENSILE STRENGTH OF 185 Ib/IN (325 N/cm) OF WIDTH.

PRIMUS: A POLYMER BASED MATERIAL USED AS BOTH THE ADHESIVE AND BASE COA'

FOR OUTSULATION SUPPLIED IN 27.2 KG (60 lb.) PAILS. THE MATERIAL IS MIXED AT A 1:1 RATIO BY WEIGHT WITH FRESH TYPE 10 PORT- LAND CEMENT. TEXTURED FINISH 1. 100% ACRYLIC FINISHES WITH QUARTZ AGGRE- GATE, & DIRT PICK-UP RESISTANT

1. QUARTZPUTS - CREATES A "RILLED" OR "SCRATCHED" PATTERN IN RANDOM OR REGULAR TEXTURE.

2. SANDBLAST - A FINE POSITIVE "SAND" STYLE TEXTURE 3. SANDPEBBLE - A DEEPER TEXTURED SAND STYLE FINISH

4. SANDPEBBLE FINE - A FINE VERSION OF THE SANDPEBBLE TEXTURE. NOTE: SOME COLOURS MAY REQUIRE THE USE OF DRYVIT COLOR PRIME.

PRIMERS COLOR PRIME: A WATER-BASED PIGMENTED ACRYLIC PRIMER.

3. HAND OR POWER TOOLS ASSOCIATED WITH THE EIFS PLASTERING TRADE.

ALL MIXING SHALL BE DONE WITH A CLEAN GOLDBLATT JIFFLER MIXER NO. 15311H7 OR EQUI-VALENT, POWERED BY A 1/2" (13mm) DRILL OR EQUIVALENT AT 400-500 RPM. 2. A HIGH-SPEED WOOD ROUTER WITH PROPER A HOT KNIFE, OR HOT GROOVER.

PART 3 - EXECUTION

3.1 INSPECTION PRIOR TO APPLICATION OF OUTSULATION, THE SUBSTRATE SHALL BE EXAMINED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND DRYVIT SYSTEMS CANADA SYSTEM SPECIFICATIONS (THIS DOCUMENT.) THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE ADVISED OF ALL DICREPANCIES. WORK SHALL NOT PROCEED UNTIL UNSATIS— FACTORY CONDITIONS ARE CORRECTED.

3.2 SYSTEM INSTALLATION

 REFER TO DS204 (INSTALLATION INSTRUCTIONS) ADHESIVE SHALL BE APPLIED VERICALLY TO THE INSULATION BOARD USING A NOTCHED TROWEL FORMING RIBBONS OF NOT LESS THAN 3/8" (9.6mm) HIGH, 3/8" (9.6mm) WIDE, SPACED NO GREATER THAN 1.5" (37mm) HIGH. RIBBONS SHALL BE ALIGNED VERTICALLY TO ALLOW FOR CONTINUOUS AIR SPACE/DRAINAGE RETWEEN RIBBONS FROM TOP TO BOTTOM OF EPS INSULATED AREA. FOL— LOWING ADHESIVE APPLICATION, BOARD SHALL IMMEDIATELY BE INSTALLED. NO ADHESIVE IS TO BE USED BETWEEN BOARD

JOINTS AT ANY LOCATION 2. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE STARTING FROM THE BASE OF THE WALL WITH ITS LONG EDGE ORIENTED HORIZONTALLY, BEGINNING IN THE FIELD OF THE WALL AND WORKING OUTWARD TO OUTSIDE CORNERS. INSULATION BOARD

JOINTS SHALL BE OFFSET FROM SHEATHING BOARD JOINTS A MINIMUM OF 8" (200 mm). 3. THE INSULATION BOARD SHALL BE APPLIED TO THE SUBSTRATE IN A RUNNING BOND PATTERN WITH OFFSET VERTICAL JOINTS.

4. CORNERS REQUIRE THE INSULATION BOARDS TO BE STAGGERED AND INTERLOCKED. REFER TO INSTALLATION DETAILS AND INSTRUCTIONS (DS107 AND DS204 RESPECTIVELY)

5. INSULATION BOARDS SHALL BE PRE-CUT TO FIT OPENINGS, CORNERS OR PROJECTIONS. BOARD JOINTS SHALL NOT COINCIDE WITH CORNERS OF WALL OPENINGS SUCH AS

BASE COAT, REINFORCING MESH BASE COAT AND REINFORCING MESH SHALL BE APPLIED TO A MINIMUM DRY FILM THICKNESS OF 2.0 mm.

JOINTS IN STANDARD MESHES SHALL BE OVER- LAPPED, BUT MUST BE FOLLOWED BY APPLICATION OF STANDARD MESH. 3. MESH COLOUR SHALL BE VISIBLE THROUGH BASE COAT APPLICATION. SLIGHT MESH PATTERN READ THROUGH IS PERMISSIBLE PROVIDED MINIMUM REQUIRED THICKNESS IS

1. FINISH SHALL BE APPLIED IN A SEAMLESS AND AND CONTINUOUS METHOD UNTIL A NATURAL BREAK IN THE WALL IS REACHED. 2. APPLICATION IN DIRECT SUNLIGHT IS TO BE AVOIDED

IF COLORPRIME IS REQUIRED IS TO BE APPLIED AND ALLOWED TO FULLY DRY PRIOR TO THE APPLICATION OF REQUIRED FINISH.

4. APPLICATION OF FINISH SHOULD NOT PROCEED UNTIL ALL OTHER REQUIREMENTS OF THE DOCU— MENT ARE AGREED TO BE SATISFACTORY.

ADJACENT MATERIALS AND THE OUTSULATION SHALL BE PROTECTED FROM THE WEATHER AND OTHER DAMAGE DURING INSTALLATION AND WHILE CURING.

SEALANTS (07900)

MAINTAINED.

PART 1 - GENERAL

1.1 ENVIRONMENTAL CONDITIONS

SEALANT AND SUBSTRATE MATERIALS TO BE MINIMUM 5°C. SHOULD IT BECOME NECESSARY TO APPLY SEALANTS BELOW 5 °C. — CONSULT SEALANT MANUFACTURER AND FOLLOW THEIR RECOMMENDATIONS.

.1 CONTRACTOR HEREBY WARRANTS THAT CAULKING WORK WILL NOT LEAK, CRACK, CRUMBLE, MELT, SHRINK, RUN, LOSE ADHESION OR STAIN ADJACENT SURFACES IN ACCORDANCE WITH GENERAL CONDITIONS, BUT FOR THREE YEARS.

.1 WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

CAULKING AT ALL SIDES OF MIRRORS (FITTING ROOMS, COLUMNS & WASHROOMS) BENCHES, MILLWORK (KITCHEN, OFFICE & WASHROOM), COAT HOOK BOARDS, VINYL BASES, DOOR FRAMES, WATER CLOSETS AND WOOD CASINGS IN THE FITTING ROOM

PART 2 - PRODUCTS

2.1 MATERIALS

PRIMERS: NON-STAINING TYPE RECOMMENDED BY SEALANT MANUFACTURER. .1 GENERAL: COMPATIBLE WITH PRIMERS AND SEALANTS, OUTSIZED 30 - 50%.
.2 POLYETHYLENE, URETHANE, NEOPRENE OR VINYL: EXTRUDED CLOSED CELL FOAM, SHORE A HARDNESS 20, TENSILE STRENGTH 140 TO 200 KPA.
.3 NEOPRENE OR BUTYL RUBBER: ROUND SOLID ROD, SHORE HARDNESS 70.

.3 BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE, WHICH WILL NOT BOND TO SEALANTS.

4 POLYVINYL CHLORIDE OR NEOPRENE: EXTRUDED TUBING WITH 6 MM MINIMUM THICK

SEALANTS (07900) CONT

2.1 MATERIALS .4 SEALANTS

.1 SEALANTS ACCEPTABLE FOR USE ON THIS PROJECT MUST BE LISTED ON CGSB QUALIFIED PRODUCTS LIST ISSUED BY CGSB QUALIFICATION BOARD FOR JOINT SEALANTS. WHERE SEALANTS ARE QUALIFIED WITH PRIMERS USE ONLY THESE PRIMERS. .2 SEALANTS FOR VERTICAL AND HORIZONTAL NON-TRAFFIC BEARING JOINTS, TO TABLE 1 CAN/CGSB-19.2-GP-23, OR LATEST EDITION.

.1 NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 10%.
.2 NORMAL TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%. CAN /CGSB-19.24-M.

.3 NORMAL TEMPERATURE, WET CONDITIONS MOVEMENT RANGE TO 25%, .4 LOW TEMPERATURE RANGE, DRY CONDITIONS, MOVEMENT RANGE TO 25%: CAN/CGSB-19.24-M .5 LOW TEMPERATURE RANGE, WET CONDITIONS, MOVEMENT RANGE TO 25%:

.5 SEALANTS FOR HORIZONTAL TRAFFIC BEARING JOINTS, TO TABLE 1, CGSB-19-GP-23. .1 NORMAL TEMPERATURE RANGE, DRY OR WET CONDITIONS, MOVEMENT RANGE TO 25%:

CAN / CBSB - 19.24 - M

MANUFACTURER AND COMPATIBLE WITH JOINT FORMING MATERIALS.

COLOUR OF SEALANTS: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD RANGE COLOURS TO MATCH AS CLOSE AS POSSIBLE TO ADJACENT MATERIALS: WHITE AT WHITE PAINTED WALLS AND SLATWALL, GRAY AT GRAY VINYL, BASES, CLEAR AT MIRRORS ETC.
JOINT CLEANER: XYLOL, METHYLETHYLEKETON OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT

.8 VENT TUBING: 6 MM INSIDE DIAMETER EXTRUDED POLYVINYL CHLORIDE TUBING. PART 3 - EXECUTION

3.1 PREPARATION REMOVE DUST, PAINT, LOOSE MORTAR AND OTHER FOREIGN MATTER. DRY JOINT SURFACES. REMOVE RUST, MILL SCALE AND COATINGS FROM FERROUS METALS BY WIRE BRUSH, GRINDING OR SANDBLASTING.
REMOVE OIL, GREASE AND OTHER COATINGS FROM NON-FERROUS METALS WITH JOINT CLEANER.
PREPARE CONCRETE, MASONRY, GLAZED AND VITREOUS SURFACES TO ACCEPT SEALANT.

EXAMINE JOINT SIZES AND CORRECT TO ACHIEVE DEPTH RATIO ½ OF JOINT WIDTH WITH MINIMUM WIDTH AND DEPT OF 6 MM, MAXIMUM WIDTH 25 MM. INSTALL JOINT FILLER TO ACHIEVE CORRECT JOINT DEPTH.
WHERE NECESSARY TO PREVENT STAINING, MASK ADJACENT SURFACES PRIOR TO PRIMING AND

APPLY BOND BREAKER TAPE WHERE REQUIRED TO MANUFACTURER'S INSTRUCTIONS. .9 PRIME SIDES OF JOINTS IN ACCORDANCE WITH SEALANT MANUFACTURER'S INSTRUCTION IMMEDIATELY 3.2 APPLICATION

APPLY SEALANTS, PRIMERS, JOINT FILLERS, BOND BREAKERS TO MANUFACTURER'S INSTRUCTIONS APPLY SEALANTS, PRIMERS, JOINT FILLERS, BOND BREAKERS TO MANDY ACTURER'S INSTRUCTIONS.
APPLY SEALANT—USING GUN WITH PROPER SIZE NOZZLE. USE SUFFICIENT PRESSURE TO FILL VOIDS
AND JOINTS SOLID. SUPERFICIAL POINTING WITH SKIN BEAD IS NOT ACCEPTABLE.
FORM SURFACE OF SEALANT WITH FULL BEAD, SMOOTH, FREE FROM RIDGES, WRINKLES, SAGS, AIR
POCKETS, EMBEDDED IMPURITIES. NEATLY TOOL SURFACE TO A SLIGHT CONCAVE JOINT.
APPLY SEALANT TO JOINTS BETWEEN WINDOW OR DOOR FRAMES TO ADJACENT BUILDING COMPONENTS,
AROUND PERIMETER OF EVERY EXTERNAL OPENING, TO CONTROL JOINTS IN MASONRY WALLS AND

CONCRETE SLABS AND WHERE INDICATED.

IN MASONRY CAVITY CONSTRUCTION VENT CAULKED JOINTS FROM CAVITY TO 3MM BEYOND EXTERNAL JOINT AND MAXIMUM OF 1500 MM O.C VERTICALLY. POSITION TUBE TO DRAIN TO EXTERIOR.

CLEAN ADJACENT SUFFACES IMMEDIATELY AND LEAVE WORK NEAT AND CLEAN. REMOVE EXCESS SEALANT AND DROPPINGS USING RECOMMENDED CLEANERS AS WORK PROGRESSES. REMOVE MASKING AFTER TOOLING OF JOINTS.

STEEL DOORS AND FRAMES (08111)

PART 1 — GENERAL

1.1 QUALITY ASSURANCE

MANUFACTURER DOOR FRAME COMPONENTS TO MINIMUM REQUIREMENTS OF CANADIAN STEEL DOOR AND FRAME MANUFACTURER'S ASSOCIATION (CSDFMA) "CANADIAN MANUFACTURING STANDARDS FOR STEEL DOORS AND FRAMES", AND "SPECIFICATIONS FOR COMMERCIAL STEEL DOORS AND FRAMES". MANUFACTURER FIRE RATED ASSEMBLIES TO REQUIREMENTS OF NFPA BULLETIN NO. 80, FIRE DOORS

AND WINDOWS, AND LABELLING AUTHORITY FOR THE RATED SCHEDULED, OR INDICATED ON THE EACH LABELLED FRAME SHALL HAVE LABELLING AUTHORITIES LABEL, SHOWING RATING CLASS, AFFIXED TO HINGE JAMB AT EYE LEVEL. RATINGS AS FOLLOWS:

> - CLASS "A" - 3 HOUR FIRE RATING CLASS 'B" - 1-1/2 HOUR FIRE RATING CLASS 'C" - 3/4 HOUR FIRE RATING

I.2 SHOP DRAWINGS

SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH GENERAL CONDITIONS.
INDICATE EACH TYPE FRAME MATERIAL, CORE THICKNESS, REINFORCEMENTS, GLAZING STOPS, LOCATION
OF ANCHORS AND EXPOSED FASTENINGS AND FINISHES. REFERENCE FRAMES TO DOOR SCHEDULE. INDICATE DOOR NUMBERS AND CONSTRUCTION WHERE APPLICABLE.

1.3 CO-ORDINATION .1 CO-ORDINATE THE WORK OF THE SECTION WITH THE WORK OF SECTION 08710 FINISH HARDWARE 1.4 DELIVERY & STORAGE

DELIVER AND STORE FRAMES AT THE JOB SITE IN COMPLIANCE WITH THE CONSTRUCTION SCHEDULE TO KEEP HANDLING AT A MINIMUM.

STORE ALL HOLLOW METAL FRAMES IN A DRY LOCATION, OFF AND AWAY FROM GROUND CONTACT, PROTECT BY SUITABLE MEANS UNTIL REQUIRED FOR INSTALLATION; BRACE AND STACK TO PREVENT WRACKING, BENDING, TWISTING OR ANY OTHER DAMAGE. DO NOT ENCLOSE IN PLASTIC WITHOUT

.3 DAMAGED OR TWISTED FRAMES WILL BE REJECTED. PART 2 - PRODUCTS

STEEL SHEET: COMMERCIAL GRADE TO ASTM A568-1, CLASS A, LOCK FORMING QUALITY, HOT DIP GALVANIZED ZF575 TO ASTM A525-86. DOOR BUMPERS: BLACK NEOPRENE, SINGLE OR DOUBLE STUD TYPE. PRIMERS: (INTERIOR DOORS) ZINC CHROMATE RUST INHIBITIVE PRIMER CONFORMING TO CGSB

1-GP-132; (EXTERIOR DOORS) ZINC RICH PRIMER GLAVAFROID SB GRADE. 2.2 COMPONENTS

.1 STEEL COMPONENTS SHALL BE AT LEAST THE MINIMUM THICK NESSES AS DESCRIBED BELOW:

 EXTERIOR LOCATIONS - INTERIOR LOCATIONS (FIRE-RATED) DOOR FRAME ACCESSORIES

GAUGE: - LOCK & STRIKE REINFORCEMENTS HINGE REINFORCEMENTS FLUSH BOLT REINFORCEMENTS REINFORCEMENT FOR SURFACE APPLIED HARDWARE MORTAR GUARD BOXES JAMB FLOOR ANCHORS

 GLAZING STOPS **ANCHORS:** GAUGE: - "T" STRAP TYPE - "L" TYPE WIRE TYPE DIA. 0.156" - STIRRUP-STRAP TYPE MIN. 2"x10"

JAMB SPREADERS: 18 GAUGE

.1 FRAMES FOR INSTALLATION IN CONCRETE WALLS SHALL BE PROVIDED WITH ADJUSTABLE JAMB ANCHORS OF THE T-STRAP TYPE, OR PRE-APPROVED EQUIVALENT.
.2 THE NUMBER OF ANCHORS TO CONCRETE WALLS PER JAMB AND AT THE FLOOR SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS BUT NO LESS THAN THE FOLLOWING:

a. FRAMES UP TO 7'6"HEIGHT - 3 ANCHORS OR 6 "L"STRAPS. b. FRAMES 7'6"TO 8'0"- 4 ANCHORS OR 8 "L"STRAPS. c. FRAMES OVER 8'0"- 5 ANCHORS PLUS 1 ANCHOR FOR EACH 2'0" OR FRACTION THEREOF INCREASE IN HEIGHT.

STEEL DOORS AND FRAMES (08111) CONT

.3 FRAMES FOR INSTALLATION IN STUD PARTITIONS SHALL BE PROVIDED WITH STEEL ANCHORS OF SUITABLE DESIGN, SECURELY WELDED OR WELDED INSIDE EACH JAMB AS PER MANUFACTURER'S RECOMMENDATIONS AND NO LESS THAN FOLLOWS:

a. FRAMES UP TO 7'6"HEIGHT - 4 ANCHORS. FRAMES 7'6"TO 8'0" - 5 ANCHORS.
 FRAMES OVER 8'0" - 5 ANCHORS, PLUS ONE ADDITIONAL FOR EACH 2'0"OR

.4 FLOOR ANCHORS — SECURELY WELD TO INSIDE OF EACH JAMB; AND MECHANICALLY FASTEN TO FLOOR USING COMPANION HOT DIP GALVANIZED FASTENERS. FABRICATE FRAMES AS DETAILED, TO CANADIAN STEEL DOOR AND FRAME MANUFACTURERS'

ASSOCIATION, (CSDFMA) "CANADIAN MANUFACTURING SPECIFICATIONS FOR STEEL DOORS AND FRAMES ATEST ISSUE. REINFORCE FRAMES TO SUITE HARDWARE REQUIREMENTS SPECIFIED SECTION 08710 CUT MITRES ACCURATELY TO FLOOR TO MAINTAIN ALIGNMENT AND FIT OF FRAME PROFILE.

MITRES TO BE CUT ACCURATELY AND WELDED ON THE INSIDE ON THE PROFILE. WELDED JOINTS TO
BE DISC SANDED TO A SMOOTH UNIFORM FINISH. KNOCKDOWN FRAMES ARE NOT ACCEPTABLE AND

GRIND WELDED CORNERS AND JOINTS TO FLAT PLANE, FILL SURFACE DEPRESSIONS AND BUTTED JOINTS WITH METALLIC PASTE FILLER AND SAND TO UNIFORM FINISH. .5 TOUCH UP FRAMES WITH PRIMER WHERE GALVANIZED FINISH DAMAGED DURING FABRICATION.

STEEL DOORS AND FRAMES (08111) CONT.

PART 1 - EXECUTION

.6 ANCHORS TO NON-FIRE RATED DOOR TO BE TYPES INDICATED ON DRAWINGS: STRAP 18 GAUGE OR WRE TYPE 3.96 MM DIAMETER. TWIST IN TYPE FOR STEEL OR WOOD STUD WALLS NOT ACCEPTABLE. ANCHORS TO FIRE RATED DOORS SHALL BE WELDED TO FRAMES, EITHER WITH A U TYPE STUD ANCHOR OR WELDED ADJUSTABLE STRAP TYPE TO LABELLING AUTHORITY REQUIREMENTS. ANCHOR PREVIOUSLY PLACED CONCRETE PANELS SHALL BE EXISTING WALL ANCHOR TYPE WITH

REINFORCE HEAD OF FRAMES WIDER THAN 1200 MM.

FOR DOUBLE DOOR TO STOCKROOM FROM SALES FLOOR. REINFORCE BOTH JAMBS WITH MIN. 100 MM

X 400 MM GALVANIZED STRUCTURAL STEEL CHANNEL. INSTALL REINFORCING CONTINUOUS FROM

ELOOR TO STRUCTURE AROVE

FLOOR TO STRUCTURE ABOVE. .10 INSTALL THREE (3) BUMPERS ON STRIKE JAMB FOR EACH SINGLE DOOR AND TWO (2) BUMPERS AT

HEAD FOR PAIRS OF DOORS.
FABRICATE THERMALLY BROKEN FRAMES FOR EXTERIOR DOORS USING STEEL CORE, SEPARATING EXTERIOR PORTION OF FRAME FROM INTERIOR PORTION WITH POLYVINYL CHLORIDE THERMAL BREAKS. .12 INSTALL 1.22 MM BASE THICKNESS STEEL FRAMES TO INTERIOR OPENINGS 1200 MM OR LESS IN UNSUPPORTED WIDTH.

.13 INSTALL 1.52 MM BASE THICKNESS STEEL FRAMES TO EXTERIOR OPENINGS AND INTERIOR OPENINGS OF 1200 MM IN LINGUIS OVER 1200 MM IN UNSUPPORTED WIDTH.

3.1 INSTALLATION .1 SET FRAMES PLUMB, SQUARE, LEVEL AND AT CORRECT ELEVATION. REMOVE SHIPPING SPREADERS. INSTALL FRAMES OVER FINISHED WALLS AND ANCHOR THROUGH FACES IN STRUCTURE.

2 SECURE ANCHORAGES AND CONNECTIONS TO ADJACENT CONSTRUCTION. ANCHOR FRAME WITH ONE DRYWALL TYPE SCREW ADJACENT TO EACH CASING CLIPS.

3 BRACES FRAMES RIGIDLY IN POSITION WHILE BUILDING—IN. INSTALL TEMPORARY HORIZONTAL WOOD CONSTRUCTION OF THE PROPERTY OF THE PROPERY

SPREADER AT THIRD POINTS OF DOOR OPENING TO MAINTAIN FRAME WIDTH. PROVIDE VERTICAL SUPPORT AT CENTER OF HEAD FOR OPENINGS OVER 1200 MM WIDE. REMOVE TEMPORARY SPREADERS AFTER FRAMES ARE BUILT-IN. MAKE ALLOWANCES FOR DEFLECTION OF STRUCTURE TO ENSURE STRUCTURAL LOADS ARE NOT TRANSMITTED TO FRAMES.

.5 LIMIT OF ACCEPTABLE FRAME DISTORTION - 1/16: OUT OF PLUMB MEASURED ON FACE OF FRAME, MAXIMUM TWIST CORNER-TO-CORNER 1/8". .6 CO-ORDINATE GROUTING OF ALL FRAMES SOLID TO ADJACENT CONSTRUCTION..7 EXTERIOR FRAMES SHALL HAVE ALL SPACES (BETWEEN FRAME AND BUILDING MATERIALS) FILLED WITH SPRAY FOAM

INSULATION AFTER INSTALLATION.

.8 INSTALL SILENCERS ON INTERIOR DOOR FRAMES.

.9 ADJUST STRIKE PLATE TO HOLD DOOR TIGHT TO STOPS WHEN CLOSED. 4.0 FINAL INSPECTION

.1 INSPECTION EACH OPENING FOR OPERATION, HARDWARE APPEARANCE AND INSTALLATION. MAKE NECESSARY ADJUSTMENTS. .2 REPLACE FRAMES DEFECTIVE UNDER TERMS OF MANUFACTURER'S WARRANTY.

.1 REMOVE TEMPORARY COVERINGS AND PROTECTION OF ADJACENT WORK AREAS. REPAIR OR REPLACE DAMAGED INSTALLED PRODUCTS. .2 CLEAN INSTALLED PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION PRIOR TO OWNER'S ACCEPTANCE. REMOVE CONSTRUCTION DEBRIS FROM PROJECT SITE AND LEGALLY DISPOSE OF DEBRIS.

ALUMINUM DOORS, FRAMES AND SCREENS (08120) PART 1 - GENERAL

1.1 SCOPE OF WORK

.1 FINISH ALL LABOUR, MATERIAL AND SERVICES TO CARRY OUT THE FABRICATION AND INSTALLATION OF WINDOWS, VESTIBULE SCREENS AND DOORS AND SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN, COMPLETE WITH ALL NECESSARY ACCESSORIES AND ALL NECESSARY REINFORCING OF FRAMING SECTIONS FOR THE COMPLETE AND PROPER INSTALLATION OF THE WORK. CO-ORDINATE WORK OF I'HIS SECTION WITH FINISH HARDWARE INCLUDING POWER DOOR OPERATORS AND AUTOMATIC ENTRANCE

ALL STOREFRONT DOORS, INCLUDING VESTIBULE INTERIOR DOORS TO BE PROVIDED WITH FULLY
AUTOMATIC DOOR OPENERS TO CONFORM TO APPLICABLE CODE REQUIREMENTS, REFER TO SECTION

.2 WARRANTY

5.0 CLEANING

.1 CONTRACTOR SHALL WARRANT ALL ALUMINUM WINDOWS AGAINST LEAKAGE, DEFECTS AND MALFUNCTION UNDER NORMAL USAGE IN ACCORDANCE WITH CG24, BUT FOR FIVE YEARS. FURNISH A WRITTEN GUARANTEE IN REGARD TO THE COMPATIBILITY OF THE GLAZING SEALANTS, TAPES AND OTHER COMPONENTS TO BE USED WITH THE INSULATING GLASS UNITS, WHERE DETERIORATION OR OTHER DAMAGE WOULD OCCUR TO THE EXPOSED EDGE OF GLASS AS A RESULT OF

1.3 QUALITY ASSURANCE

.1 FIELD MEASUREMENTS: WHEREVER POSSIBLE, TAKE FIELD MEASUREMENTS PRIOR TO PREPARATION OF SHOP DRAWINGS AND FABRICATION, TO ENSURE PROPER FITTING OF THE WORK. PERFORMANCE QUALITIES: ALUMINUM WINDOWS SHALL BE CERTIFIED TO CONFORM TO THE FOLLOWING PERFORMANCE TESTS:

.1 AIR INFILTRATION FOR STRIP WINDOWS SHALL NOT EXCEED .10 CFM PER FOOT UNDER STATIC PRESSURE DROP OF 6.24 PSF, (EQUIVALENT TO 50 MPH WIND VELOCITY) WHEN TESTED IN ACCORDANCE WITH ASTM 283, OR LATEST EDITION.

.2 WATER RESISTANCE: NO LEAKAGE WHEN THE WINDOW UNIT IS SUBJECT TO A PRESSURE DROP OF 6.24 PSF, WHEN TESTED IN ACCORDANCE WITH ASTM E331-00, OR LATEST

.3 WINDOW UNITS SHALL BE OF "THERMAL-BREAK" CONSTRUCTION AND SHALL HAVE BEEN TESTED FOR THERMAL PERFORMANCE (AAMA 1502) SHOWING A CONDENSATION RESISTANCE FACTOR (CRF) OF AT LEAST 45.

.3 DESIGN CRITERIA: DRAWINGS ARE BASED ON SPECIFIC TYPE AND MODEL ALUMINUM WINDOW BY A SINGLE MANUFACTURER. EQUIVALENT TYPE WINDOWS BY OTHER MANUFACTURERS MAY BE ACCEPTABLE PROVIDED DEVIATIONS IN PROFILE ARE MINOR AND DO NOT MATERIALLY DETRACT FROM DESIGN CONCEPT OR INTENDED PERFORMANCES, AS JUDGED SOLELY BY ARCHITECT. DO NOT BEGIN INSTALLATION OF FRAMES AND DOORS UNTIL THE AREA OF WORK HAS

BEEN COMPLETELY ENCLOSED AND INTERIOR IS PROTECTED FROM THE ELEMENTS.

2. MAINTAIN TEMPERATURE AND HUMIDITY IN AREAS OF INSTALLATION WITHIN REASONABLE LIMITS AS CLOSE TO FINAL OCCUPANCY.

1.4 ALTERNATES TO BE SUBMITTED, COMPLETE WITH ALL NECESSARY PRODUCT INFORMATION LITERATURE AND SHOP DRAWINGS AT TIME OF TENDER SUBMISSION.

PART 2 - PRODUCTS

2.1 MATERIALS - STOREFRONT .1 STOREFRONT WINDOW GLAZING TO BE OF DESIGN AND QUALITY EQUAL TO SERIES 1602 (RAIN SCREEN) AS MANUFACTURED BY KAWNEER COMPANY CANADA LIMITED OR APPROVED ALTERNATE. .2 ON INTERIOR VESTIBULE PANELS PROVIDE HORIZONTAL MULLION AT 2'4"O.C. FOR MOUNTING OF

2.2 MATERIALS GENERALLY .1 EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T5.
.2 EXPOSED SHEET TO RECEIVE ANODIC FINISH OF ANODIZING QUALITY. ALUMINUM ASSOCIATION ALLOY

AATIOU.

3 FASTENERS IN CONTACT WITH ALUMINUM SHALL BE STAINLESS STEEL 300 SERIES STAINLESS STEEL
400 SERIES CADMIUM PLATED OR ALUMINUM, FINISHED TO MATCH ADJACENT MATERIAL.

4 WEATHERING AND GLAZING SPLINES SHALL BE OF EXTRUDED BLACK NEOPRENE OF DUROMETER APPROPRIATE FOR THE FUNCTION.

APPROPRIATE FOR THE FUNCTION.

THERMAL SEPARATORS SHALL BE POLYVINYL CHLORIDE (PVC).

FLASHING TO BE BRAKE FORMED .032" ALUMINUM.

INFILL AND CLOSURE PANELS TO BE .81" ALUMINUM

SEALANTS: IN ACCORDANCE WITH SECTION 07900, COLOUR TO MATCH ALUMINUM FRAMING.

GLASS AND GLAZING MATERIALS: IN ACCORDANCE WITH SECTION 08800.

BEDDING COMPOUND: TO CGSB 19—GP—14M, OR LATEST EDITION.

ISOLATION COATROL. ALVALU PESISTANT BITLIMINOUS PAINT

.11 ISOLATION COATING: ALKALI RESISTANT BITUMINOUS PAINT

3.1 WINDOW INSTALLATION

FASTENERS WHEREVER POSSIBLE.

.1 UNITS SHALL BE CONSTRUCTED FROM EXTRUSIONS OF SIZES AND SHAPES SHOWN ON THE DRAWINGS, AND SHALL BE FORMED WITH CLEAN, SHARPLY DEFINED PROFILES. JOINTS TO BE ACCURATELY MACHINED, FITTED, ASSEMBLED AND SEALED TO PROVIDE NEAT, WEATHER TIGHT JOINERY.

2 FABRICATE WINDOW UNITS SQUARE AND TRUE WITH MAXIMUM TOLERANCE OF PLUS OR MINUS 1.5 MM FOR UNITS WITH DIAGONAL MEASUREMENT OVER 1.8 M. PROVIDE 16 MM BITE FOR FACTORY SEALED DOLUMED OF ACTOR INSTRUMENTS.

DOUBLED GLAZED UNITS. .3 LIMIT DEFLECTION TO 1/175TH OF CLEAR SPAN TESTED TO ASTM #330-00, OR LATEST EDITION, UNDER WIND LOADS FOR BUILDING LOCALITY AS ASCERTAINED BY NBC SUPPLEMENT #1 CLIMATIC INFORMATION FOR BUILDING DESIGN IN CANADA.

MAKE ALLOWANCE FOR DEFLECTION OF STRUCTURE. ENSURE THAT STRUCTURAL LOADS ARE NOT TRANSMITTED TO WINDOWS.

TRANSMITTED TO WINDOWS.

MANUFACTURER'S NAMEPLATES ON WINDOWS ARE NOT ACCEPTABLE.

ALL MEMBERS TO HAVE EXTRUDED PVC THERMAL BREAK INTEGRATED WITH THE INNER AND OUTER ALUMINUM EXTRUSIONS BY A ROLL—CRIMPING PROCESS TO FORM A RIGIDLY INTERCONNECTED ASSEMBLY WITHOUT THE USE OF FASTENERS OR OTHER BRIDGING ELEMENTS.

REINFORCING MEMBERS SHALL BE INSTALLED WHERE REQUIRED TO MEET WIND LOAD REQUIREMENTS.

CONSTRUCT TRANSOM PANELS AND FRAMES TO PROFILES AND MAXIMUM 16 MM BITE FOR

.8 CONSTRUCT TRANSOM PANELS AND FRAMES TO PROFILES AND MAXIMUM TO MM BITE FOR FACTORY—SEALED DOUBLE GLAZED UNITS.

.9 DESIGN FRAMES IN EXTERIOR WALLS TO ACCOMMODATE EXPANSION AND CONTRACTION WITHIN SERVICE TEMPERATURE RANGE OF —35 DEGREES C TO 75 DEGREES C.

.10 CONCEAL FASTENINGS FROM VIEW.

.11 FORM CUTOUTS, RECESSES, MORTISING OR MILLING FOR FINISHING HARDWARE TO TEMPLATES SUPPLIED.

REINFORCE WITH ALUMINUM OR GALVANIZED STEEL PLATES. .1 FINISH ALUMINUM COMPONENTS IN ACCORDANCE WITH DESIGNATION SYSTEMS FOR ALUMINUM FINISHES: AADAF-45-01 OR LATEST EDITION.

2.5 ISOLATION COATING .1 ISOLATE ALUMINUM FROM FOLLOWING COMPONENTS, BY MEANS OF ISOLATION COATING:
2 DISSIMILAR METALS EXCEPT STAINLESS STEEL, ZINC, OR WHITE BRONZE OF SMALL AREA.
3 CONCRETE, MORTAR AND MASONRY.
4 WOOD

2.6 GLAZING .1 SITE GLAZE WINDOWS WITH INSULATING GLASS UNITS IN ACCORDANCE WITH SECTION 08800.
2 PREPARE FRAMES AND SASH TO ACCOMMODATE GLASS AND GLAZING METHOD SPECIFIED IN SECTION PART 3 - EXECUTION

INSTALL WINDOWS IN ACCORDANCE WITH CGSB 63 GP3M, OR LATEST GOVERNING CODE.

SET UNITS PLUMB, LEVEL AND TRUE TO LINE, WITHOUT WARP OR RACK OF FRAMING MEMBERS, DOORS
OR PANELS. ANCHOR SECURELY IN PLACE, SEPARATING ALUMINUM AND OTHER CORRODIBLE METAL
SURFACES FROM SOURCES OF CORROSION OF ELECTROLYTIC ACTION AT POINTS OF CONTACT WITH DRILL AND TAP FRAMES AND DOORS AND APPLY SURFACE-MOUNTED HARDWARE ITEMS, COMPLYING WITH HARDWARE MANUFACTURER'S INSTRUCTIONS AND TEMPLATE REQUIREMENTS. USE CONCEALED

3.2 DOOR INSTALLATION INSTALL WORK PLUMB, SQUARE, LEVEL, FREE FROM WARP, TWIST AND SUPERIMPOSED LOADS. SECURE WORK IN REQUIRED POSITION, DO NOT RESTRICT THERMAL MOVEMENT. INSTALL HARDWARE IN ACCORDANCE WITH TEMPLATES AND MANUFACTURER'S INSTRUCTIONS.
ADJUST OPERABLE PARTS FOR CORRECT FUNCTION. 5 ISOLATE FROM CEMENTITIOUS MATERIALS. .6 INSTALL POWER DOOR OPERATORS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

ALUMINUM DOORS, FRAMES AND SCREENS (08120) CONT.

GLAZE ALUMINUM DOORS WITH THERMO PANE SAFETY GLASS IN ACCORDANCE WITH 08800.
GLAZE VESTIBULE SCREEN WITH SINGLE GLAZED UNITS, ALL IN ACCORDANCE WITH SECTION 08800.
GLAZE SIDELIGHTS GREATER THAN 450MM WIDE AND ANY SECTIONS WHICH COULD BE MISTAKEN FOR DOORWAYS OR OPENINGS WITH THERMO PANE SAFETY GLASS IN ACCORDANCE WITH SECTION 08800 AND THE REQUIREMENTS OF THE NATIONAL BUILDING CODE, LATEST EDITION.
STOREFRONT SECURITY GRATING, AS PER SECTION 08331 AS REQUIRED BY PROJECT.

3.4 CAULKING

WHERE REQUIRED, SEAL BETWEEN MEMBERS OF ALUMINUM WORK.
APPLY SEALANT IN ACCORDANCE WITH SECTION 07900. CONCEAL SEALANT WITHIN THE ALUMINUM WORK EXCEPT WHERE EXPOSED USE IS PERMITTED BY ARCHITECT.

INSUALATED STEEL SECTIONAL SERVICE

PART 1 - PRODUCTS

2.1 DOOR SECTIONS

DOOR-LOADING (08346)

ALL DOOR SECTIONS WILL BE OF STEEL/POLYURETHANE/STEEL SANDWICH TYPE CONSTRUCTION TO INCLUDE THERMAL BREAK AND HAVE A CALCULATED 'R" VALUE OF 17.59 IN ACCORDANCE WITH INDUSTRY GUIDELINES.

THE EXTERIOR SKIN OF STRUCTURAL QUALITY, HOT-DIPPED GALVANIZED .015"(MIN) STEEL, WITH NON-REPEATING RANDOM STUCCO TEXTURE WILL BE FACTORY-FINISHED WITH BAKED ON POLYESTER PRIMER AND WHITE POLYESTER FINISH COATS. AND FEATURE 1/4" WIDE PIN STRIPPING. DOORS WILL HAVE A 20 GAUGE FLUSH EXTERIOR STEEL SKIN. THE INTERIOR SKIN WIL BE .015" (MIN) STRUCTURAL QUALITY, HOT-DIPPED., GALVANIZED STEEL, FACTORY-FINISHED WITH A POLYESTER

PRIMER AND WHITE POLYESTER FINISH COATS. THE INTERIOR SKIN WILL HAVE TWO 1-/34" ROLL-FORMED INTEGRAL STRUTS PER SECTION. ENDS OF SECTIONS HAVE FULL-HEIGHT 18 GA. (MIN). HOT-DIPPED GALVANIZED STEEL END CAPS. THE VOID BETWEEN THE INTERIOR AND EXTERIOR SKINS WILL BE COMPLETELY FILLED BY FOAMED-IN-PLACE CFC FREE POLYURETHANE CORE AND SEPARATED A FACTORY EXTRUDED THERMAL BREAK.

DOORS WILL BE EQUIPPED WITH A FACTORY-INSTALLED JOINT SEALS BETWEEN SECTIONS, A TOP SEAL ON THE TOP SECTION TO SEAL AGAINST THE HEADER, WITH A TWO-PIECE BULB SHAPED ASTRAGAL FOR THE BOTTOM SECTION.
AIR INFILTRATION WILL BE INDEPENDENTLY TESTED AT LESS THAN OR EQUAL TO .07 CFM PER SQUARE FOOT OF DOOR AREA, IN ACCORDANCE WITH ASTM E-283-91 AT A PRESSURE DIFFERENCE OF .122"

.1 ALL TRACK, VERTICAL MOUNTING ANGLES AND BRACKETS WILL BE COMMERCIAL QUALITY STEEL MINIMUM 16 GA. THICKNESS, HOT-DIPPED GALVANIZED 2"STANDARD. VERTICAL TRACK TO BE GRADUATED PROVIDING WEDGE TYPE WEATHER TIGHT CLOSING WITH CONTINUOUS REVERSE ANGLE MOUNTING FOR STEEL JAMBS AND ARE FULLY ADJUSTABLE TO SEAL DOOR AT JAMBS. HORIZONTAL TRACK WILL BE REINFORCED WITH CONTINUOUS ANGLE OF ADEQUATE LENGTH AND GAUGE TO HELP

2.3 HARDWARE .1 HINGE & ROLLER ASSEMBLY.

2.4 COUNTERBALANCE

a. ALL HINGES AND BRACKETS WILL BE MADE FROM HOT-DIPPED, GALVANIZED STEEL. TRACK ROLLERS WILL BE CASE—HARDENED INNER STEEL RACES WITH 10—BALL — 2"ROLLERS.
ALL FACTORY—AUTHORIZED ATTACHMENTS WILL BE MADE AT LOCATED INDICATED AND REINFORCED WITH ADDITIONAL BACK UP PLATES.

SPRINGS WILL BE TORSION TYPE, LOW-STRESS, HELICAL WOUND, OIL-TEMPERED SPRING WIRE TO PROVIDE MINIMUM 100,000 CYCLES OF USE ON CONTINUOUS STEEL SHAFT. SPRING FITTINGS AND DRUMS WILL BE MADE OF DIE CAST, HIGH-STRENGTH ALUMINUM. PRE-FORMED GALVANIZED STEEL AIRCRAFT CABLE SHALL PROVIDE A MINIMUM OF A 5:1 SAFETY FACTOR. 2.5 WEATHERSTRIPPING

.1 INSTALL JAMB/PERIMETER SEALS. 2.6 LOCKS

CLASSIFIED AS 'EXTRA HEAVY DUTY' FOR COMMERCIAL USE.

.1 LOCKING DEVICES SHALL ENGAGE VERTICAL TRACKS WITH SLIDE BOLTS ON BOTH SIDES.

FINISH HARDWARE (08700) PROVIDE A COMPLETE, COMMERCIAL QUALITY HARDWARE FOR ALL ALUMINUM AND H.M. DOORS AS INDICATED ON DRAWINGS. SUBMIT A COMPLETE FINISH HARDWARE SCHEDULE FOR CONSULTANT'S APPROVAL, PRIOR TO ORDERING COMPONENTS. ALL HARDWARE FINISH TO BE STAINLESS STEEL AND

.1 A SEALED 1/2"INSULATED GLASS WINDOW UNITS - 24"X 6"SET IN TWO-PIECE MOLDED HIGH-IMPACT

KEYING SYSTEMS TO BE COORDINATED TO SUIT THE REQUIREMENTS OF THE TENANT. ALUMINUM THRESHOLDS AT EXTERIOR DOORS TO EXTENT TO THE EDGE OF CONCRETE FOUNDATION D BE EXTRUDED ALUMINUM, SLOPPING BOTH SIDES. THRESHOLDS TO BE SET ON A MASTIC BED AND BE ANCHORED WITH COUNTER- SUNK SCREWS INTO CONCRETE.

PROVIDE 3 RUBBER BUMPERS AND 1.5 PAIRS OF HINGES FOR EACH H.M. DOOR.

PROVIDE CONTINUOUS ADJUSTABLE WEATHER- STRIPPING AT HEAD AND JAMBS OF EACH EXTERIOR

METAL STUD SYSTEM (09111)

PART 1 - PRODUCTS NON-LOAD BEARING CHANNEL STUD FRAMING: TO ASTM C645-00, OR LATEST EDITION, 92 MM STUD SIZE OR AS INDICATED OR REQUIRED, ROLL FORMED FROM 20 GAUGE HOT DIPPED GALVANIZED STEEL SHEET, FOR SCREW ATTACHMENT OF GYPSUM BOARD. KNOCKOUT SERVICE HOLES AT 460 MM

STRUCTURAL STEEL STUDS WHERE INDICATED SHALL BE 150 MM DEEP X 18 GAUGE AT MINIMUM 400 MM O.C. AND C/W MIN. FOUR (4) ROWS OF HORIZONTAL BRIDGING OR AS REQUIRED BY SITE

CONNECTING OF STUDS TO STRUCTURE TO BE BY USE OF "FLEXICLIP" OR OTHER ACCEPTABLE ALTERNATE TO ALLOW FOR VERTICAL MOVEMENT OF THE STRUCTURE.

4 FLOOR AND CEILING TRACKS: TO ASTM C645-00, OR LATEST EDITION, IN WIDTHS TO SUIT STUD SIZES, 32 MM FLANGE HEIGHT.

5 METAL CHANNEL STIFFENER: 1.4 MM THICK COLD ROLLED STEEL, COATED WITH RUST INHIBITIVE COATING. ACOUSTICAL SEALANT: TO CGSB 19-GP-21M.
INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT 3 MM THICK CORK FOAM STRIP, 12 MM WIDE,

WITH SELF STICKING ADHESIVE ON ONE FACE, LENGTHS AS REQUIRED. PART 2 - EXECUTION

3.1 ERECTION ALIGN PARTITION TRACKS AT FLOOR AND CEILING AND SECURE AT 600 MM O.C. MAXIMUM. INSTALL DAMP PROOF COURSE UNDER STUD SHOE TRACKS OF PARTITIONS ON SLABS ON GRADE. PLACE STUDS VERTICALLY AT 400 MM O.C. AND NOT MORE THAN 50 MM FROM ABUTTING WALLS, AND AT EACH SIDE OF OPENINGS AND CORNERS. POSITION STUDS IN TRACKS AT FLOOR AND CEILING. PROVIDE HORIZONTAL STUD BRACING AT MID HEIGHT CONNECTED TO STUD FLANGES. CROSS BRACE

ATTACH STUDS TO BOTTOM AND CEILING TRACK USING SCREWS AND FLEXIBLE CLIPS.
CO-ORDINATE SIMULTANEOUS ERECTIONS OF STUDS WITH INSTALLATION OF SERVICE LINES. WHEN ERECTING STUDS ENSURE WEB OPENINGS ARE ALIGNED. CO-ORDINATE ERECTION OF STUDS WITH INSTALLATION OF DOOR/WINDOW FRAMES AND SPECIAL SUPPORTS OR ANCHORAGE FOR WORK SPECIFIED IN OTHER SECTIONS.
PROVIDE TWO STUDS EXTENDING FROM FLOOR TO CEILING AT EACH SIDE OF OPENINGS WIDER THAN STUD CENTRES SPECIFIED. SECURE STUDS TOGETHER, 50 MM APART USING COLUMN CLIPS OR OTHER APPROVED MEANS OF FASTENING PLACED ALONG SIDE FRAME ANCHOR CLIPS.

STEEL STUDS AS REQUIRED TO PROVIDE RIGID INSTALLATION TO MANUFACTURER'S INSTRUCTIONS. ERECT METAL STUDDING TO TOLERANCE OF 1:1000.

ERECT TRACK AT HEAD OF DOOR/WINDOW OPENINGS AND SILLS OF SIDELIGHT/WINDOW OPENINGS TO ACCOMMODATE INTERMEDIATE STUDS. SECURE TRACK TO STUDS AT EACH END, IN ACCORDANCE WITH

ACCOMMODATE INTERMEDIATE STUDS. SECURE TRACK TO STUDS AT EACH END, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL INTERMEDIATE STUDS ABOVE AND BELOW OPENINGS IN SAME MANNER AND SPACING AS WALL STUDS.

10 FRAME OPENINGS AND AROUND BUILT—IN EQUIPMENT, CABINETS, ACCESS PANELS, ON FOUR SIDES. EXTEND FRAMING INTO REVEALS. CHECK CLEARANCES WITH EQUIPMENT SUPPLIERS.

11 PROVIDE 400 MM STUD OR FURRING CHANNEL SECURED BETWEEN STUDS FOR ATTACHMENT OF FIXTURES SUCH AS BEHIND LAVATORY BASINS, TOILET AND BATHROOM ACCESSORIES AND OTHER FIXTURES INCLUDING GRAB BARS AND TOWEL RAILS, ATTACHED TO STEEL STUD PARTITIONS,

12 INSTALL STEEL STUDS OR FURRING CHANNEL BETWEEN STUDS FOR ATTACHING ELECTRICAL AND OTHER BOXFS. MAINTAIN CLEARANCES UNDER BEAMS AND STRUCTURAL SLABS TO AVOID TRANSMISSION OF STRUCTURAL LOADS TO STUDS. USE ACCEPTABLE FLEXIBLE RETAINING DEVICE.

14 INSTALL CONTINUOUS INSULATING STRIPS TO ISOLATE STUDS FROM UN-INSULATED SURFACES.

15 INSTALL TWO CONTINUOUS BEADS OF ACOUSTICAL SEALANT UNDER STUDS AND TRACKS AROUND

CEILING SUSPENSION SYSTEM (09130)

PERIMETER OF SOUND CONTROL PARTITIONS.

PART 1 - GENERAL

.1 REFERENCE STANDARDS

.1 INSTALLATION: IN ACCORDANCE WITH ASTM C636-96, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE

.1 INSTALLATION: IN ACCORDANCE WITH ASTM C636-96, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE PART 2 - PRODUCTS

HEAVY-DUTY SYSTEM TO ASTM C635-00, OR LATEST EDITION.
BASIC MATERIALS FOR SUSPENSION SYSTEM: COMMERCIAL QUALITY COLD ROLLED STEEL

REQUIREMENTS) MADE UP AS FOLLOWS: TWO DIRECTIONAL EXPOSED TEE BAR GRID.

SUSPENSION SYSTEM: NON FIRE-RATED (PROVIDE RATED SYSTEM IS REQUIRED BY CODE

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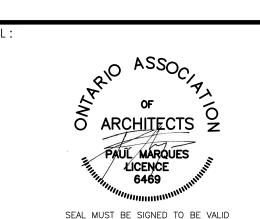
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TEL: 647.352.2121

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Drawing Name :

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**GENERAL NOTES** 

22575 LAKE RIDGE ROAD. PORT BOLSTER, ON

Proj no.: 20-914	Date: JULY 2020
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# GENERAL NOTES

# CEILING SUSPENSION SYSTEM (09130)

PART 2 - PRODUCTS

2.1 MATERIALS .4 EXPOSED TEE BAR GRID COMPONENTS: SHOP PAINTED SATIN SHEEN WHITE. COMPONENTS DIE CUT. MAIN TEE WITH DOUBLE WEB, RECTANGULAR BULB AND 25 MM ROLLED CAP ON EXPOSED FACE. CROSS TEE WITH RECTANGULAR BULB; WEB EXTENDED TO FORM POSITIVE INTERLOCK WITH MAIN TEE WEBS; LOWER FLANGE EXTENDED AND OFFSET TO PROVIDE FLUSH INTERSECTION. HANGER WRE: GALVANIZED SOFT ANNEALED STEEL WRE, 2.6 MM DIAMETER. HANGER INSERTS: PURPOSE MADE. ACCESSORIES: SPLICES, CLIPS, WIRE TIES, RETAINERS AND WALL MOULDING FLUSH, TO COMPLEMENT SUSPENSION SYSTEM COMPONENTS, AS RECOMMENDED BY SYSTEM MANUFACTURER.

2.2 PRODUCT STANDARD .1 PRELUDE 15/16" SYSTEMS BY ARMSTRONG: COLOUR — WHITE.

### 2.3 SPECIALITY CEILINGS

.1 SUPPLY AND INSTALL SPECIALTY CEILING GRIDS IF INDICATED ON DRAWINGS. INSTALL IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.

# PART 3 - EXECUTION

3.1 INSTALLATION

INSTALL SUSPENSION SYSTEM TO MANUFACTURER'S INSTRUCTIONS. DO NOT ERECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN REVIEWED BY SECURE HANGERS TO OVERHEAD STRUCTURE USING ATTACHMENT METHODS ACCEPTABLE TO

INSTALL HANGERS SPACED AT MAXIMUM 1200 MM CENTERS AND WITHIN 150 MM FROM ENDS OF MAIN

1EES. 5 UNLESS DIMENSIONS SPECIFIED ON DRAWINGS: LAY OUT CENTRE LINE OF CEILING BOTH WAYS, TO PROVIDE BALANCED BORDERS AT ROOM PERIMETER WITH BORDER UNITS NOT LESS THAN 50% OF STANDARD UNIT WIDTH. ENSURE SUSPENSION SYSTEMS ARE CO-COORDINATED WITH LOCATION OF RELATED COMPONENTS.
INSTALL WALL MOULD TO PROVIDE CORRECT CEILING HEIGHT.
COMPLETED SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, SUPPORT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150MM OF EACH CORNER AND AT MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE INTERLOCK CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY
FRAME AT OPENINGS FOR LIGHT FIXTURES, AIR DIFFUSERS, SPEAKERS AND AT CHANGES IN CEILING HEIGHTS.
.12 FINISHED CEILING SYSTEM TO BE SQUARE WITH ADJOINING WALLS AND LEVEL WITHIN 1:1000.

3.2 - EXPANSION JOINTS ERECT TWO MAIN RUNNERS PARALLEL, 25 MM APART, ON BUILDING EXPANSION JOINT LINE WHERE APPLICABLE. LAY IN STRIP OF ACOUSTIC TILE/BOARD, PAINTED BLACK, 25% NARROWER THAN SPACE BETWEEN 2 "T"BARS.

# 3.3 - CLEANING

.1 TOUCH UP SCRATCHES, ABRASIONS, VOIDS AND OTHER DEFECTS IN PAINTED SURFACES.

# GYPSUM WALL BOARD (09250)

PART 1 - GENERAL

1.1 REFERENCE STANDARDS

.1 DO WORK IN ACCORDANCE WITH ASTM  ${\rm C1396/1396M-02}$ , OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE. PART 2 - PRODUCTS

2.1 GYPSUM BOARD

.1 PLAIN: TO ASTM C1396/1396M-O2, OR LATEST EDITION, STANDARD AND TYPE X 16MM (5/8°) THICK AS NOTED, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT, EDGES .2 WATER RESISTANT BOARD: TO ASTM C1396/1396M-02, OR LATEST EDITION, STANDARD 16MM THICK, 1200 MM WIDE X MAXIMUM PRACTICAL LENGTH. 2.2 METAL FURRING AND SUSSPENSION SYSTEMS

METAL FURRING RUNNERS, HANGERS, TIE WIRE INSERTS, ANCHORS: ASTM C1396/C1396M-02, OR LATEST EDITION, GALVANIZED.

2 DRYWALL FURRING CHANNELS: 015 MM CORE THICKNESS GALVANIZED STEEL CHANNELS FOR

2.3 FASTENINGS AND ADHESIVES NAILS, SCREWS AND STAPLES: TO ASTM C1396/C1396M-O2 OR LATEST EDITION. STUD ADHESIVE: TO CGSB 71-GP-25M, OR LATEST EDTION

LAMINATING COMPOUND: TO ASTM C1396/1396M-02, OR LATEST EDITION, ASBESTOS-FREE. 2.5 ACCESSORIES CASING BEADS, CORNER BEADS FILL TYPE: 0.5 MM BASE THICKNESS COMMERCIAL GRADE

FLANGES, ONE PIECE LENGTH PER LOCATION.

2 ACOUSTIC SEALANT: TO CGSB 19-GP-21M OR LATEST EDITION .3 POLYETHYLENE: TO CAN/CGSB-51.34-M80, OR LATEST EDITION, TYPE 2.
.4 INSULATING STRIP: RUBBERIZED, MOISTURE RESISTANT, 3 MM THICK CLOSED CELL NEOPRENE STRIP, 12 MM WIDE, WITH SELF STICKING PERMANENT ADHESIVE ON ONE FACE, LENGTHS AS

SHEET STEEL WITH Z275 ZINC FINISH TO ASTM A653/A653M-00 OR LATEST EDITION, PERFORATED

.5 JOINT COMPOUNDS: TO ASTM C1396/C1396M-O2, OR LATEST EDITION, ASBESTOS-FREE. PART 3 - EXECUTION

3.1 SUSPENDED AND FURRED CEILINGS

.1 ERECT HANGERS AND RUNNER CHANNELS FOR SUSPENDED GYPSUM BOARD CEILINGS IN ACCORDANCE WITH ASTM C1396/C1396M-02, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

2 SUPPORT LIGHT FIXTURES BY PROVIDING ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 150

MM OF EACH CORNER AND AT A MAXIMUM 600 MM AROUND PERIMETER OF FIXTURE.

3 INSTALL WORK LEVEL TO TOLERANCE OF 1:1200.

4 FRAME WITH FURRING CHANNELS, PERIMETER OF OPENINGS FOR ACCESS PANELS, LIGHT
FIXTURES, DIFFUSERS, AND GRILLES. .5 INSTALL 19 X 65 MM FURRING CHANNELS PARALLEL TO, AND AT EXACT LOCATIONS OF STEEL STUD PARTITION HEADER TRACK.

FURR FOR GYPSUM BOARD FACED VERTICAL BULKHEADS WITHIN AND AT TERMINATION CEILINGS. FURR ABOVE SUSPENDED CEILINGS FOR GYPSUM BOARD FIRE AND SOUND STOPS AND TO FORM PLENUM AREAS AS INDICATED.

# 3.3 WALL FURRING

3.2 CEILING BULKHEADS

1 INSTALL WALL FURRING FOR GYPSLIM BOARD WALL FINISHES IN ACCORDANCE WITH ASTM C1396/C1396M-O2, OR LATEST EDITION, EXCEPT WHERE SPECIFIED OTHERWISE.

2 FURR OPENINGS AND AROUND BUILT-IN EQUIPMENT, CABINETS, ACCESS PANELS, ETC., ON FOUR SIDES. EXTEND FURRING TO REVEALS. CHECK CLEARANCES WITH EQUIPMENT SUPPLIERS. FURR DUCT SHAFTS, BEAMS, COLUMNS, PIPES AND EXPOSED SERVICES WHERE INDICATED.

3.4 GYPSUM BOARD APPLICATION

DO NOT APPLY GYPSUM BOARD UNTIL BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL APPLY SINGLE LAYER GYPSUM BOARD TO METAL FURRING OR FRAMING USING SCREW FASTENERS. .2 APPLY SINGLE LATER GYPSUM BOARD TO METAL FURRING ON FRAMING USING SOLET COLLEGE.

MAX. SPACING OF SCREWS 300 MM O.C.

.3 APPLY WATER RESISTANT GYPSUM BOARD WHERE WALL TILES ARE TO BE APPLIED AND ADJACENT TO SLOP SINKS AND JANITORS CLOSETS. APPLY WATER—RESISTANT SEALANT TO EDGES, ENDS, CUTOUTS THAT EXPOSE GYPSUM CORE TO FASTENER HEADS. DO NOT APPLY JOINT TREATMENT ON AREAS TO APPLY 12 MM DIAMETER BEAD OF ACOUSTIC SEALANT CONTINUOUSLY AROUND PERIPHERY OF FACH FACE OF PARTITIONING TO SEAL GYPSUM BOARD/STRUCTURE JUNCTION WHERE PARTITIONS ABUT FIXED BUILDING COMPONENTS. SEAL FULL PERIMETER OF CUTOUTS AROUND ELECTRICAL BOXES, DUCTS, IN PARTITIONS WHERE PERIMETER SEALED WITH ACOUSTIC SEALANT.

3.5 FIRE RATED ASSEMBLIES CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO. 093 OR APPROVED ALTERNATE. ASSEMBLIES SHALL COMPLY WITH PUBLISHED ULC APPROVED ASSEMBLIES.

# 3.6 ACCESSORIES

ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL-LENGTH .1 ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT PROPER PLANE. USE FULL—LENGTH PIECES WHERE PRACTICAL. MAKE JOINTS TIGHT, ACCURATELY ALIGND AND RIGIDLY SECURED. MITRE AND FIT CORNERS ACCURATELY, FREE FROM ROUGH EDGES. SECURE AT 150 MM OC. USING CONTACT ADHESIVE FOR FULL LENGTH. USE 200 A TRIM AND J TRIM WHERE APPROPRIATE.

2 INSTALL CASING BEADS AROUND PERIMETER OF SUSPENDED CEILINGS.

3 INSTALL CASING BEADS WHERE GYPSUM BOARD BUTTS AGAINST SURFACES HAVING NO TRIM—CONCEALING JUNCTION AND WHERE INDICATED. SEAL JOINTS WITH SEALANT.

4 INSTALL INSULATING STRIPS CONTINUOUSLY AT EDGES OF GYPSUM BOARD AND CASING BEADS ABUTTING METAL WINDOW AND EXTERIOR DOORFRAMES, TO PROVIDE THERMAL BREAK.

# 3.7 CONTROL JOINTS

CONSTRUCT CONTROL JOINTS USING CGC CONTROL JOINT NO, 093 OR APPROVED ALTERNATE PROVIDE CONTINUOUS POLYETHYLENE DUST BARRIER BEHIND AND ACROSS CONTROL JOINTS. .2 PROVIDE CONTINUOUS POLTE INTERNE DUST BARRIER BEHIND ARMS CONTROL JOINTS.

3 LOCATE CONTROL JOINTS WHERE INDICATED, AT CHANGES IN SUBSTRATE CONSTRUCTION, AND AS A
MINIMUM AT APPROXIMATE 10 M. SPACING ON LONG CORRIDOR RUNS AND AT APPROXIMATE 15 M SPACING
ON CEILINGS. LOCATIONS TO BE APPROVED BY CONSULTANT.

4 INSTALL CONTROL JOINTS STRAIGHT AND TRUE.

# 3.8 EXPANSION JOINTS

CONSTRUCT EXPANSION JOINTS AS DETAILED AT BUILDING EXPANSION AND CONSTRUCTION JOINTS. PROVIDE CONTINUOUS DUST BARRIER

# 3.9 ACCESS DOORS

INSTALL ACCESS DOORS TO ELECTRICAL AND MECHANICAL FIXTURES SPECIFIED IN RESPECTIVE RIGIDLY SECURE FRAMES TO FURRING OR FRAMING SYSTEMS.

3.10 TAPING AND FILLING .1 FINISH FACE PANEL JOINTS AND INTERNAL ANGLES WITH JOINT SYSTEM CONSISTING OF JOINTS COMPOUND, JOINT TAPE AND TAPING COMPOUND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS AND FEATHERED OUT ONTO PANEL FACES. AND FEATHERED OUT ONTO PANEL FACES.

2 FINISH CORNER BEADS, CONTROL JOINTS AND TRIM AS REQUIRED WITH TWO COATS OF JOINT COMPOUND AND ONE COAT OF TAPING COMPOUND, FEATHERED OUT ONTO PANEL FACES.

3 FILL SCREW HEAD DEPRESSIONS WITH JOINT AND TAPING COMPOUNDS TO BRING FLUSH WITH ADJACENT SURFACE OF GYPSUM BOARD SO AS TO BE INVISIBLE AFTER SURFACE FINISH IS COMPLETED.

4 SAND LIGHTLY TO REMOVE BURRED EDGES AND OTHER IMPERFECTIONS. AVOID SANDING ADJACENT .5 COMPLETED INSTALLATIONS TO BE SMOOTH, LEVEL OR PLUMB, FREE FROM WAVES AND OTHER DEFECTS AND READY FOR SURFACE FINISH.

# **ACOUSTIC TILE CEILINGS (09511)**

PART 1 - GENERAL 1.1 ENVIRONMENTAL CONDITIONS

> PERMIT WET WORK TO DRY BEFORE COMMENCEMENT OF INSTALLATION.
>
> MAINTAIN UNIFORM MINIMUM TEMPERATURE OF 15°C AND HUMIDITY OF 20-40% BEFORE AND DURING 3 STORE MATERIALS IN WORK AREAS 48 HOURS PRIOR TO INSTALLATION.

# .2 MAINTENANCE MATERIALS

.1 PROVIDE ACOUSTICAL UNITS AMOUNTING TO 3% OF GROSS CEILING AREA TO NEAREST FULL CARTON FOR EACH PATTERN AND TYPE REQUIRED FOR PROJECT.

# PART 2 - PRODUCTS

1 GENERALLY: ACOUSTIC UNITS FOR SUSPENDED CEILING SYSTEM: TO CAN2-92-1.M, OR LATEST EDITION. STANDARD OF ACCEPTANCE ARMSTRONG FINE FISSURED CEILING TILES #1729 (24"X 48") WITH HUMIGUARD PLUS AND BIO-BLOCK PERFORMANCE. ULC CERT. NRC 0.55.

# PART 2 - EXECUTION

3.1 INSTALLATION

1 DO NOT INSTALL ACOUSTICAL PANELS AND TILES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.

2 COORDINATE CEILING WORK TO ACCOMMODATE COMPONENTS OF OTHER SECTIONS, SUCH AS LIGHT FIXTURES, DIFFUSERS, SPEAKERS AND SPRINKLER HEADS THAT ARE TO BE BUILT INTO ACOUSTICAL CEILING

.1 INSTALL ACOUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
.2 INSTALL ACOUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH WITH DIRECTIONAL PATTERN RUNNING IN SAME DIRECTION UNLESS OTHERWISE NOTED.
.3 SCRIBE ACOUSTIC UNITS TO FIT ADJACENT WORK. BUTT JOINTS TIGHT, TERMINATE EDGES WITH .4 PROVIDE CLIP DOWN FASTENERS WITHIN FIRST 10' OF CEILING ADJACENT TO EXTERIOR VESTIBULES AND TO A 15' DISTANCE AWAY FROM EXTERIOR DOORS WITHOUT VESTIBULES. THIS IS TO ELIMINATE WIND LIFTING.

# **PAINTING (09900)**

PART 1 - GENERAL

I.1 DESCRIPTION 1 SECTION INCLUDES: ALL LABOUR, MATERIALS, TOOLS AND OTHER EQUIPMENT, SERVICES AND SUPERVISION REQUIRED TO COMPLETE ALL EXTERIOR AND INTERIOR PAINTING AND DECORATING WORK AS INDICATED ON FINISH SCHEDULES AND TO THE FULL EXTENT OF THE DRAWINGS AND SPECIFICATIONS.

2 WORK UNDER THIS CONTRACT SHALL ALSO INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:

A SURFACE PREPARATION OF SUBSTRATES AS REQUIRED FOR ACCEPTANCE OF PAINTING, INCLUDING CLEANING, SMALL CRACK REPAIR, PATCHING, CAULKING AND MAKING GOOD SURFACES AND AREAS TO THE LIMITED DEFINED UPPER MP PREPARATION REQUIREMENTS.

. B SURFACE PREPARATION AND PRIME PAINTING SURFACES FOR WALL COVERING PRIOR TO INSTALLATION IN ACCORDANCE WITH MPI AND WALL COVERING MANUFACTURER'S REQUIREMENTS. . C PRIMING (EXCEPT WHERE PRE—PRIMED WITH AN APPROVED PRIMER UNDER OTHER SECTIONS OF WORK)
AND PAINTING OF STRUCTURAL STEEL, MISCELLANEOUS METAL, AND ORNAMENTAL METAL AND PRIMED D PAINTING OF EXPOSED TO VIEW MECHANICAL (HEATING, VENTILATING AND PLUMBING) SERVICES AND EQUIPMENT, E.G. DUCTS, SPRINKLER PIPING ETC., AND ELECTRICAL WORK TO EXTENT NOTED ON FINISH SCHEDULE UNLESS PRE—FINISHED. PROVISION OF SAFE AND ADEQUATE VENTILATION AS REQUIRED OVER AND ABOVE TEMPORARY

THE LATEST EDITION OF THE FOLLOWING REFERENCE STANDARDS SHALL GOVERN ALL PAINTING WORK: A ARCHITECTURAL PAINTING SPECIFICATIONS MANUAL (MPI) INCLUDING IDENTIFIERS, EVALUATION, SYSTEMS, PREPARATION AND APPROVED LIST. TEST METHOD FOR MEASURING TOTAL VOLATILE ORGANIC COMPOUND CONTENT OF CONSUMER PRODUCTS, METHOD 24 (FOR SURFACE COATINGS) ON THE ENVIRONMENTAL PROTECTION AGENCY (EPA). .C NATIONAL FIRE CODE OF CANADA.

VENTILATION SUPPLIED BY OTHERS, WHERE TOXIC AND/OR VOLATILE/FLAMMABLE MATERIALS ARE BEING

.1 CONFORM TO THE LATEST EDITION OF INDUSTRIAL HEALTH AND SAFETY REGULATIONS ISSUED BY APPLICABLE AUTHORITIES HAVING JURISDICTION IN REGARD TO SITE SAFETY (LADDERS, SCAFFOLDING, VENTILATION ETC.)

.2 CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION IN REGARD TO THE STORAGE, MIXING, APPLICATION AND DISPOSAL OF ALL PAINT AND RELATED WASTE MATERIALS. REFER TO WASTE MANAGEMENT AND DISPOSAL.

# 4 PRODUCT DELIVERY, STORAGE AND HANDLING

.1 DELIVER ALL PAINTING MATERIALS IN SEALED, ORIGINAL LABELED CONTAINERS BEARING MANUFACTURER'S NAME, BRAND NAME, TYPE OF PAINTING OR COATING AND COLOUR DESIGNATION STANDARD COMPLIANCE, MATERIALS CONTENT AS WELL AS MIXING AND/OR REDUCTION AND APPLICATION 2 STORAGE ALL PAINT MATERIALS IN ORIGINAL LABELLED CONTAINERS IN A SECURE, DRY, HEATED AND WELL VENTILATED SINGED DESIGNATED AREA MEETING THE MINIMUM REQUIREMENTS OF THE PAINT MANUFACTURING AND (MPI) AND AT A MINIMUM AMBIENT TEMPERATURE OF 45°F (7° C).
ONLY MATERIAL USED ON THIS PROJECT TO BE STORED ON SITE.

3 TAKE ALL NECESSARY PRECAUTIONARY AND SAFETY MEASURES TO PREVENT FIRE HAZARD AND SPONTANEOUS COMBUSTION AND TO PROTECT THE ENVIRONMENT FROM HAZARD SPILLS

# 1.5 PROJECT/SITE REQUIREMENTS

.1 PERFORM NO PAINTING OR DECORATING WORK WHEN THE AMBIENT AIR AND SUBSTRATE TEMPERATURES ARE BELOW 50°F (10° C) BOTH INTERIOR AND EXTERIOR WORK.

2 WHERE REQUIRED, SUITABLE WEATHERPROOF COVERING AND SUFFICIENT HEATING FACILITIES SHALL BE IN PLACE TO MAINTAIN MINIMUM AMBIENT AIR AND SUBSTRATE TEMPERATURES FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION.

3 PERFORM NO INTERIOR PAINTING OR DECORATING WORK UNLESS ADEQUATE CONTINUOUS VENTILATION AND SUFFICIENT HEATING FACILITIES ARE IN PLACE TO MAINTAIN AMBIENT AIR AND SUBSTRATE TEMPERATURES ABOVE MINIMUM REQUIREMENTS FOR 24 HOURS BEFORE, DURING AND AFTER PAINT APPLICATION. PROVIDE SUPPLEMENTAL VENTILATING AND HEATING EQUIPMENT IF VENTILATION AND HEATING FROM EXISTING SYSTEM IS INADEQUATE TO MEET MINIMUM REQUIREMENTS.

4 PERFORM NO PAINTING OR DECORATING WORK WHEN THE MAXIMUM MOISTURE CONTENT OF THE

12% FOR CONCRETE AND MASONRY (CLAY AND CONCRETE BRICK/BLOCK)

12% FOR PLASTER AND GYPSUM BOARD.
PERFORM NO PAINTING OR DECORATING WORK THE RELATIVE HUMIDITY IS ABOVE 85% OR WHEN THE DEW POINT IS LESS THAN 5' F (3'C) VARIANCE BETWEEN THE AIR/SURFACE TEMPERATURES.

6 CONDUCT ALL MOISTURE TESTS USING A PROPERLY CALIBRATED ELECTRONIC MOISTURE METER, EXCEPT TEST CONCRETE FLOORS FOR MOISTURE USING A SIMPLE COVER PATCH TEST.

7 TEST CONCRETE, MASONRY AND PLASTER SURFACES FOR ALKALINITY AS REQUIRED.

8 DO NOT APPLY PAINT ON ANY FLOORS THAT HAVE RECEIVED ARDEX SELF—LEVELLING PRODUCT.

NOTE: CONCRETE AND MASONRY SURFACES MUST BE INSTALLED AT LEAST 28 DAYS PRIOR TO PAINTING AND DECORATING WORK AND MUST BE VISUALLY DRY ON BOTH SIDES.

.8 APPLY PAINT ONLY TO DRY, CLEAN, PROPERLY CURED AND ADEQUATELY PREPARED SURFACES IN AREAS WHERE DUST IS NO LONGER GENERATED BY CONSTRUCTION ACTIVITIES SUCH THAT AIRBORNE PARTICLES WILL NOT AFFECT THE QUALITY OF FINISHED SURFACES. PERFORM NO PAINTING OR DECORATING WORK UNLESS A MINIMUM LIGHTING LEVEL OF (30 FOOT CANDLES) IS PROVIDED ON SURFACED TO BE PAINTED OR DECORATED. ADEQUATE LIGHTING FACILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

.1 AT PROJECT COMPLETION PROVIDE 4 LITRES (1 GALLON) OF EACH TYPE AND COLOUR OF PAINT FROM SAME PRODUCTION RUN (BATCH MIX) USED IN OPENED CANS. FULL UNOPENED CANS OF SURPLUS PAINT, PROPERLY LABELED AND IDENTIFIED FOR TENANT'S LATER USE IN MAINTENANCE.

7 WASTE MANAGEMENT AND DISPOSAL

.1 PAINT, STAIN AND WOOD PRESERVATIVE FINISHES AND RELATED MATERIALS, (THINNERS, SOLVENTS, ETC.) ARE REGARDED AS HAZARDOUS PRODUCTS AND ARE SUBJECT TO REGULATIONS FOR DISPOSAL. OBTAIN INFORMATION OF THESE CONTROLS FROM APPLICABLE LOCAL GOVERNMENT DEPT. HAVING 304130111001.

2. ALL WASTE MATERIALS SHALL BE SEPARATED AND RECYCLED. WHERE PAINT RECYCLING IS
AVAILABLE, COLLECT WASTE PAINT BY TYPE AND PROVIDE FOR DELIVERY TO RECYCLING OR COLLECTION

1.8 GUARANTEE

### .1 FURNISH TWO (2) YEAR GUARANTEE. PART 2 - PRODUCTS

2.1 MATERIALS

QUALIFIED PAINTING PRODUCTS: PAINT PRODUCTS TENANT - NO ALTERNATES UNLESS APPROVED OR SPECIFIED BY IENANY.

2. OTHER MATERIALS SUCH AS LINSEED OIL, SHELLAC, THINNERS, SOLVENTS ETC. SHALL BE THE HIGH
QUALITY PRODUCT AND SHALL BE COMPATIBLE WITH PAINT MATERIALS BEING SUED. PAINT MATERIALS: TO (MPI) STANDARDS.
PAINT MATERIALS FOR EACH COATING FORMULAE TO BE PRODUCTS OF A SINGLE MANUFACTURER.

2.2 EQUIPMENT: .1 PAINTING AND DECORATING EQUIPMENT: TO BEST TRADE STANDARDS FOR TYPE OF PRODUCT AND

APPLICATION.
2.3 MIXING AND TINTING 1. UNLESS OTHERWISE SPECIFIED HEREIN OR PRE-APPROVED, ALL PAINT SHALL BE READY-MIXED AND PRE-TINTED. RE-MIX ALL PAINT IN CONTAINERS PRIOR TO AND DURING APPLICATION TO ENSURE BREAK UP OF LUMPS, COMPLETE DISPERSION OF SETTLED PIGMENT, AND COLOUR AND GLOSS UNIFORMITY. : WHERE THINNER IS USED, ADDITION SHALL NOT EXCEED PAINT MANUFACTURER'S RECOMMENDATIONS. O NOT USE KEROSENE OR ANY SUCH ORGANIC SOLVENTS TO THIN WATER-BASED PAINTS. 3 IF REQUIRED. THIN PAINT FOR SPRAYING ACCORDING IN STRICT ACCORDANCE WITH PAINT MANUFACTURER'S INSTRUCTIONS. IF DIRECTIONS ARE NOT ON CONTAINER, OBTAIN INSTRUCTION IN WRITING FROM MANUFACTURER. 1.4 FINISH AND COLOURS:

1 REFER TO FINISH SCHEDULE FOR IDENTIFICATION AND LOCATION OF COLOURS.

# PART 3 - EXECUTION

3.1 PREPARATION OF SURFACES .1 PREPARE ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGERS TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING.

USE CGSB 1-GP-126M (OR LATEST EDITION) VINYL SEALER OVER KNOTS AND RESINOUS AREAS.

APPLY WOOD FILLER TO NAIL HOLES AND CRACKS.
TINT FILLER TO MATCH STAINS FOR STAINED WOODWORK.
TOUCH UP PAINT PRIMER ON

TOUCH UP PAINT PRIMER ON GALVANIZED STEEL AND ZINC AND CONCRETE SURFACES.
MASONRY, STUCCO AND CONCRETE SURFACES.
CONCRETE FLOORS.
PLASTER AND WALLBOARD SURFACES. FILL MINOR CRACKS WITH PLASTER PATCHING COMPOUND.
COPPER PIPING AND ACCESSORIES.

.2 SAND, CLEAN, DRY, ETCH, NEUTRALIZE AND/OR TEST ALL SURFACES UNDER ADEQUATE ILLUMINATION, VENTILATION AND TEMPERATURE REQUIREMENTS.

# PAINTING (09900) CONT.

3.1 PREPARATION OF SURFACES

REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENINGS .3 REMOVE AND SECURELY STORE ALL MISCELLANEOUS HARDWARE AND SURFACE FITTINGS/FASTENINGS
(E.G. ELECTRICAL PLATES, MECHANICAL LOUVERS, DOOR AND WINDOW HARDWARE (E.G. HINGES, KNOBS,
LOCKS, TRIM, FRAME STOPS), REMOVABLE RATING/HAZARD/INSTRUCTION LABELS, WASHROOM ACCESSORIES,
LIGHT FIXTURE TRIM, ETC. FROM WALL AND CEILING SURFACES, DOORS AND FRAMES, PRIOR TO PAINTING.
CAREFULLY CLEAN REPLACE ALL SUCH ITEMS UPON COMPLETION OF PAINTING WORK IN EACH AREA. DO
NOT USE SOLVENT OR REACTIVE CLEANING AGENTS ON ITEMS THAT WILL MAR OR REMOVE FINISHES.
4 PROTECT ALL ADJACENT INTERIOR SURFACES AND AREAS, INCLUDING RATING AND INSTRUCTION
LABELS ON DOORS, FRAMES, EQUIPMENT, PIPING ETC., FROM PAINTING OPERATIONS AND DAMAGE BY DROP
CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY
DAMAGE CAUSED BY FAILURE TO PROVIDE SUCH PROTECTION.
5 SUBSTRATE DEFECTS SHALL BE MADE GOOD AND SANDED BY OTHERS READING FOR PAINTING
PARTICULARLY AFTER THE FIRST COAT OF PAINT. START OF FINISHING PAINTING OF DEFECTIVE SUFFACES (E.G. GYPSUM BOARD) SHALL INDICATE ACCEPTANCE OF SUBSTRATE AND ANY COSTS OF MAKING GOOD DEFECTS SHALL BE BORNE BY THE PAINTER INCLUDING RE-PAINTING OF ENTIRE DEFECTIVE SURFACE (NO

.1 DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER TRADE WORK) ARE ACCEPTABLE FOR APPLICATION OF PRODUCTS.

2 APPLY PAINT OR STAIN IN ACCORDANCE WITH (MPI) FINISH REQUIREMENTS.
3 APPLY PAINT AND DECORATING IN A WORKMANLIKE MANNER USING SKILLED AND TRADE QUALIFIED PPLICATORS AS NOTED UNDER QUALITY ASSURANCE. 4 UNLESS OTHERWISE APPROVED BY TENANT, APPLY A MINIMUM OF THREE (3) COATS OF PAINT WHERE DEEP OR BRIGHT COLOURS ARE USED TO ACHIEVE SATISFACTORY RESULTS.

.5 SAND AND DUST BETWEEN EACH COAT TO PROVIDE AN ANCHOR FOR THE NEXT COAT TO REMOVE DEFECTS VISIBLE FROM A DISTANCE UP TO 1000M (39"). DO NOT APPLY FINISHES ON SURFACES THAT ARE NOT SUFFICIENTLY DRY. UNLESS MANUFACTURER'S IRECTIONS STATE OTHERWISE, EACH COAT SHALL BE SUFFICIENTLY DRY AND HARD BEFORE A FOLLOWING

PAINT FINISH SHALL CONTINUE THROUGH BEHIND ALL WALL-MOUNTED ITEMS (CORKBOARDS, SLATWALL IN OFFICES AND WAREHOUSES ETC.) 3.3 MECHANICAL AND ELECTRICAL EQUIPMENT

NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING.

1 PAINT EXPOSED CONDUITS, PIPES, HANGERS AND OTHER MECHANICAL AND ELECTRICAL EQUIPMENT OCCURRING IN FINISHED AREAS AS WELL AS INSIDE CUPBOARDS AND CABINETWORK. COLOUR AND TEXTURE TO MATCH ADJACENT SURFACES, EXCEPT AS NOTED OTHERWISE.

2 PAINT PIPING, CONDUITS, DUCTWORK AND OTHER UNFINISHED EQUIPMENT IN BOILER ROOM, MECHANICAL ROOMS AND ELECTRICAL ROOMS. IN OTHER UNFINISHED AREAS LEAVE EQUIPMENT, PIPING, CONDUITS, HANGERS ETC., IN ORIGINAL FINISH AND TOUCH UP SCRATCHES AND MARKS.

3 KEEP SPRINKLER HEADS FREE OF PAINT.

PAINT INSIDE OF DUCTWORK WHERE VISIBLE WITH PRIMER AND ONE COAT OF MATT BLACK PAINT 5 PAINT DISCONNECT SWITCHES FOR FIRE ALARM SYSTEM AND EXIT LIGHT SYSTEMS IN RED ENAMEL.
6 PAINT BOTH SIDES AND EDGES OF PLYWOOD BACKBOARDS FOR EQUIPMENT BEFORE INSTALLATION.
LEAVE EQUIPMENT IN ORIGINAL FINISH EXCEPT FOR TOUCH-UPS AS REQUIRED, AND PAINT CONDUITS, MOUNTING ACCESSORIES AND OTHER UNFINISHED ITEMS.

7 PRIMED FERROUS METAL SURFACES APPLY:

ONE COAT SPOT PRIMING. ONE COAT ENAMEL UNDERCOAT TWO COATS SEMI-GLOSS ENAME

GALVANIZED AND ZINC COATED METAL ONE COAT VINYL WASH PRIMER. ONE COAT ENAMEL LINDERCOAT TWO COATS SEMI-GLOSS ENAMEL.
ZINC COATED METAL DECKING APPLY

ONE COAT VINYL WASH PRIMER. ONE COAT ENAMEL UNDERCOAT ONE COAT FLAT PAINT. INSULATION COVERING APPLY: ONE COAT TINTED ENAMEL UNDERCOAT.

ONE COAT SEMI-GLOSS ENAMEL ONE COAT VINYL WASH PRIMER. ONE COAT TINTED ENAMEL UNDERCOAT.

ONE COAT SEMI-GLOSS ENAMEL.

ONE COAT GLOSS ENAMEL

# 3.4 FXTERIOR FINISHES

NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING .1 WOOD TO RECEIVE PAINT FINISH APPLY:

ONE COAT EXTERIOR PRIMER. TWO COATS EXTERIOR HOUSE PAINT PRIMED FERROUS METAL SURFACES APPLY

ONE COAT SPOT PRIMING. ONE COAT EXTERIOR ENAMEL.
GALVANIZED AND ZINC COATED METAL APPLY.

ONE COAT VINYL WASH PRIMER. ONE COAT STEEL PRIMER.

TWO COATS EXTERIOR ENAMEL.

MASONRY, CONCRETE AND CEMENT PLASTER SURFACES WHERE DESIGNATED TO RECEIVE FINISH APPLY: .4 MASONRY, CONCRETE AND CEMENT PLASTER SURFACES WHERE DESIGNATED TO RECEIVE FINISH APPLY:

o) TWO COATS EXTERIOR MASONRY COATING.

5 FOR EXTERIOR HARD SLICK SURFACES, SUCH AS ALUMINUM, PRE—FINISHED OR ENAMELED METAL:
USE BENJAMIN MOORE M15-75 BLUE TINT BONDING PRIMER TO MANUFACTURERS EXACT SPECIFICATIONS.
SOLVENT ONLY M96-00 BONDING PRIMER SOLVENT. DEGREASE SURFACES WITH SOLVENT OR COMMERCIAL
DEGREASERS AND ROUGHEN WITH 3M SCOTCHBRITE PADS OR EQUAL. EXTERIOR COLOUR TYPICALLY TO BE
BENJAMIN MOORE #798 — BLUE. WHEN IN CLOSE PROXIMITY TO NEW PRE—FINISHED METAL SUCH AS VIC
WEST QC-790 FINISH, BENJAMIN MOORE PAINT TO BE CUSTOM COLOUR MATCHED TO THAT SURFACE.

NOTE: PAINT ALL SURFACES IN ACCORDANCE WITH (MPI) REQUIREMENTS. REFER TO MPI PAINTING MANUAL IN REGARD TO SPECIFIC REQUIREMENTS FOR THE FOLLOWING.

METAL DOORS AND FRAMES: ONE COAT OF ALKYD PRIMER TWO COATS HIGH GLOSS ALKYD - IMPERVO C133 (ALLOW 1ST COAT TO DRY OVERNIGHT). DRYWALL PARTITIONS:

ONE COAT LATEX PRIMER/SEALER

TWO COATS INTERIOR ACRYLIC LATEX SEMI-GLASS ENAMEL ONE COAT LATEX PRIMER/SEALER

TWO COATS LOW-LUSTRE LATEX. MASONRY WALLS:

ONE COAT BLOCK FILLER MOORECRAFT SUPER CRAFT LATEX BLOCK FILLER #285 ONE COAT LATEX PRIME SEAL TWO COATS LATEX SEMI-GLOSS METAL HANDRAILS/STRINGERS/RISERS, ETC.

ONE COAT IRONCLAD LOW LUSTER ENAMEL TWO COATS IMPERVO HIGH GLOSS — BENJAMIN MOORE AS PER FINISH SCHEDULE.
FOR NEW CONCRETE FLOORS AND ALL NEW EXPOSED CONCRETE AREAS WITHIN CONFINES OF THE a) TWO COATS CLEAR SEAL — CORONADO INDUSTRIAL COATINGS.
FOR EXISTING TREATED CONCRETE FLOORS AND SIMILAR EXPOSED CONCRETE AREAS WITHIN CONFINES OF

b) TWO COATS GREY EPOXY FLOOR PAINT — BENJAMIN MOORE OR APPROVED ALTERNATE. ALL EXISTING TILES, ADHESIVES ETC., TO BE COMPLETELY REMOVED FROM FLOORS PRIOR TO ANY FINISHING. NOTE:

ANY CRACKED OR DAMAGED FLOORS TO BE REPAIRED BEFORE PAINTING — CONCRETE REPAIR FOR LARGER DAMAGE, EPOXY INJECTION FOR CRACKS ET PAINT YELLOW EXIT LINES ON FLOOR PRIOR TO INSTALLATION OF CLEAR SEAL.

### NOTE: DO NOT PAINT FLOOR TREATED WITH ARDEX 3.5 FIELD QUALITY CONTROL/ STANDARD OF ACCEPTANCE:

PAINTED EXTERIOR AND INTERIOR SURFACES SHALL BE CONSIDERED TO LACK UNIFORMITY AND SOUNDNESS IF ANY OF THE FOLLOWING DEFECTS ARE APPARENT. A BRUSH/ROLLER MARKS, STREAKS, LAPS, RUNS, SAGS, DRIPS, HEAVY STIPPLING, HIDING OR SHADING BY INEFFICIENT APPLICATION METHODS, SKIPPED OR MISSED AREAS, AND FOREIGN MATERIALS IN PAINT EVIDENCE OF POOR COVERAGE AT RIVET HEADS, PLATE EDGES, LAP JOINTS, CREVICES, POCKETS, DAMAGE DUE TO TOUCHING BEFORE PAINT IS SUFFICIENTLY DRY OR ANY OTHER CONTRIBUTORY DAMAGE DUE TO APPLICATION ON MOIST SURFACES OR CAUSED INADEQUATE PROTECTION FROM DAMAGE AND/OR CONTAMINATION OF PAINT DUE TO BLOWN CONTAMINANTS (DUST, SPRAY PAINT "PAINTED SURFACES SHALL BE CONSIDERED UNACCEPTABLE IF ANY OF THE FOLLOWING ARE EVIDENT JNDER NATURAL LIGHTING SOURCE FOR EXTERIOR SURFACES AND FINAL LIGHTING SOURCE (INCLUDING DAYLIGHT) FOR INTERIOR SURFACES.

.A VISIBLE DEFECTS ARE EVIDENT ON VERTICAL SURFACES WHEN VIEWED AT NORMAL VIEWING ANGLES FROM A DISTANCE OF NOT LESS THAN 1000 MM (39").
.B VISIBLE DEFECTS ARE EVIDENT ON HORIZONTAL SURFACES WHEN VIEWED AT NORMAL ANGLES FROM A DISTANCE OF NOT LESS THAN 1000 MM (39°).
.C VISIBLE DEFECTS ARE EVIDENT ON CEILING, SOFFIT AND OTHER OVERHEAD SURFACES WHEN VIEWED AT

NORMAL VIEWING ANGLES. .D. WHEN THE FINAL COAT OF ANY SURFACE EXHIBITS A LACK OF UNIFORMITY OF COLOUR, SHEEN, TURE, AND HIDING ACROSS FULL SURFACE AREA. REJECTED AREAS: a. SMALL AFFECTED AREAS MAY BE TOUCHED UP
b. LARGE AFFECTED AREAS OR AREAS WITHOUT SUFFICIENT DRY FILM THICKNESS OF PAINTED SHALL BE
REPAINTED. RUNS, SAGS OF DAMAGED PAINT SHALL BE REMOVED BY SCRAPER OR BY SANDING PRIOR TO

3.6 PROTECTION .1 PROTECT ALL INTERIOR AND EXTERIOR SURFACES AND AREAS, INCLUDING LANDSCAPING, WALKS, DRIVES, ALL ADJACENT BUILDING SURFACES, (INCLUDING GLASS, ALUMINUM SURFACES, ETC.) AND EQUIPMENT AND ANY LABELS AND SIGNAGE FROM PAINTING OPERATIONS AND DAMAGED BY DROP CLOTHS, SHIELDS, MASKING, TEMPLATES, OR OTHER SUITABLE PROTECTIVE MEANS AND MAKE GOOD ANY DAMAGED CAUSED BY FAILURE TO PROVIDE SUCH PROTECTION.

# 3.7 CLEAN UP

APPLICATION OF PAINT

1 REMOVE ALL PAINT WHERE SPILLED, SPLASHED, SPLATTERED OR SPRAYED AS WORK PROGRESSES JSING MEANS AND MATERIALS THAT ARE NOT DETRIMENTAL TO AFFECTED SURFACES.
2 REMOVE COMBUSTIBLE RUBBISH MATERIALS AND EMPTY PAINT CANS EACH DAY AND SAFELY DISPOSE F SAME IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CLEAN EQUIPMENT AND DISPOSE OF WASH WATER/SOLVENTS AS WELL AS ALL OTHER CLEANING AND PROTECTIVE MATERIALS (E.G. RAGS, DROP CLOTHS, MASKING PAPER ETC.,) PAINTS, THINNERS, PAINT REMOVERS/STRIPPERS IN ACCORDANCE WITH THE SAFETY REQUIREMENTS OF AUTHORITIES HAVING

ALUMINUM SPANDREL PANEL (06220) \* UNLESS NOTED OTHERWISE

NOT USED

1.1 WORK INCLUDED FURNISH LABOUR, MATERIALS AND SERVICES FOR THE COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF SERIES 5000 FRAMING SYSTEM MANUFACTURED BY COMMDOOR ALUMINUM. WORK TO INCLUDE ALL NECESSARY ACCESSORIES, ANCHORS AND SEALANTS AS REQUIRED BASED ON THE PURCHASE AGREEMENT.

STRUCTURAL STEEL, WOOD BLOCKING OR FRAMING, INTERIOR TRIMS, CONCRETE MASONRY, FINAL

CLEANING, PROTECTION, RELATED WORK SPECIFIED ELSEWHERE, CONVECTOR COVERS AND TRIMS AND 1.3 DESIGN

THE 5000 SERIES CURTAIN WALL SYSTEM TO BE DESIGNED BASED ON THE "OPEN RAIN SCREEN" AND "PRESSURE EQUALIZATION" PRINCIPLES.

DEFLECTION OF THE VERTICAL MULLION TO BE < 1/175 OF THE SPAN AT THE SPECIFIED PRESSURE PERMANENT DEFORMATION OF VERTICAL MULLION TO BE < 0.2 % OF THE LENGTH OF THE MULLION.

5 QUALITY ASSURANCE THE 5000 SERIES 2" CURTAIN WALL SYSTEM SUPPLIED UNDER THIS SPECIFICATION MUST COMPLY TO THE PERFORMANCE REQUIREMENTS OF THE CANADIAN STANDARDS ASSOCIATION CAN3-A440-M90, CLASSIFICATION FIXED. B7. C5. I=52.1. A COPY OF THE TEST REPORT FROM AN INDEPENDENT TESTING

LABORATORY CERTIFYING COMPLIANCE MUST BE FURNISHED UPON REQUEST BY THE OWNER/ARCHITECT.

ALL WORK OF THIS SECTION SHALL BE EXECUTED IN STRICT ACCORDANCE WITH APPROVED

THE WORK OF THIS SECTION SHALL BE GUARANTEED AGAINST DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF CERTIFICATE OF SUBSTANTIAL

### PART II PRODUCTS 2.1 MATERIALS

SHOP DRAWINGS.

7 WARRANTY

2.1.1 ALUMINUM EXTRUSION a) ALL EXTRUDED ALUMINUM SECTIONS TO BE 6063-T6 ALLOY OR EQUIVALENT.

IF APPLICABLE, EXTRUDED VIRGIN POLYVINYL CHLORIDE (P.V.C).

2. EXTRUDED THERMOPLASTIC ELASTOMERS GASKET.

b) FRAME MEMBERS (BACK SECTION) SIZE WILL BE BASED ON PUBLISHED WIND LOAD CHARTS TO MEET SPECIFIED WIND LOAD. BACK SECTION TO BE 1" (25.4MM) PART NUMBER 5000-101. FOR 1/4" SINGLE GLAZED USE SINGLE GLAZING ADAPTOR 5000-111.

2.1.2 THERMAL BREAK

2.1.3 GLAZING MATERIAL 1. MACRO-POLYISOBUTYLENE TAPE WITH A CONTINUOUS BUILT IN SHIM; HIGHLY

EXTRUDED THERMOPLASTIC ELASTOMERS GASKET.

ADHESIVE AND ELASTIC, OR

2.1.4 FASTENERS FASTENERS SHALL BE ZINC PLATED.

FABRICATION WILL BE CARRIED OUT ACCORDING TO THE APPROVED SHOP DRAWINGS. ALL JOINTS WILL BE ASSEMBLED TIGHT USING MANUFACTURES PROVIDED ASSEMBLY BRACKETS TO MAINTAIN THE PRODUCT DESIGN PERFORMANCE.

# 2.3 FINISH

ANODIC OXIDE TREATMENTS ARE TO BE PROCESSED IN ACCORDANCE WITH AAMA DESIGNATIONS. M12C22A31 CLASS II DESIGNATION IS FOR #17 CLEAR ANODIZED FINISH (0.0004). M12C22A41 CLASS I DESIGNATION IS FOR #14 CLEAR ANODIZED FINISH (0.0007) AND COLOUR

THERMOSETTING ACRYLIC ENAMEL COATING IS TO BE APPLIED IN ACCORDANCE WITH AAMA 603.8.

FINISHES SUCH AS #26 LIGHT BRONZE, #40 BRONZE AND #29 BLACK.

SPECIFY COLOUR AND TYPE FROM PPG STANDARD CHARTS. 2.3.3 FLUOROPOLYMER PAINT COATING BASED ON KYNAR 500 RESINS ARE TO BE APPLIED IN ACCORDANCE AAMA 605. SPECIFY COLOUR

# FROM VALSPAR CURRENT CHART. PART III EXECUTION

ALUMINUM SHALL BE ISOLATED FROM CONCRETE, MORTAR, PLASTER AND DISSIMILAR MATERIALS WITH A COATING OF BITUMINOUS PAINT. EXPOSED ALUMINUM SURFACE SHALL BE PROTECTED FROM LONG TERM CONTAMINATION OF MORTAR, CONCRETE, PAINT, MUD. ETC. DOORS AND DOOR FRAMES SHALL BE PROTECTED FROM IMPACT DAMAGE BY WOOD SHEATHING AND PLASTIC WRAPS.

3.2 INSTALLATION COMMDOOR PRODUCTS TO BE INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND IN CONJUNCTION WITH APPROVED SHOP DRAWINGS. THE WORK SHALL BE PERFORMED BY QUALIFIED SKILLED PERSONNEL USING PROPER EQUIPMENT IN ORDER TO EXPEDITE THE PROJECT IN AN EFFICIENT PROFESSIONAL MANNER.

INTERIM AND FINAL CLEANING SHALL BE PERFORMED IN ACCORDANCE WITH THE GENERAL CONDITIONS LISTING METHODS OUTLINED IN AAMA 609 & 610-02 (2002).

# **NOT USED**

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drawings not specifically marked 'For Construction'

corrections or damages resulting from his work.

must assume full responsibility and bear costs for any

The contractor working from

REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	07/30/2020
	CLIENT REVIEW	08/04/2020
	SPA / PERMIT	02/10/2021
	CITY COMMENT	04/14/2021



M9N 2B1

TEL: 647.352.2121



WORKSHOP / CUSTOM GARAGE

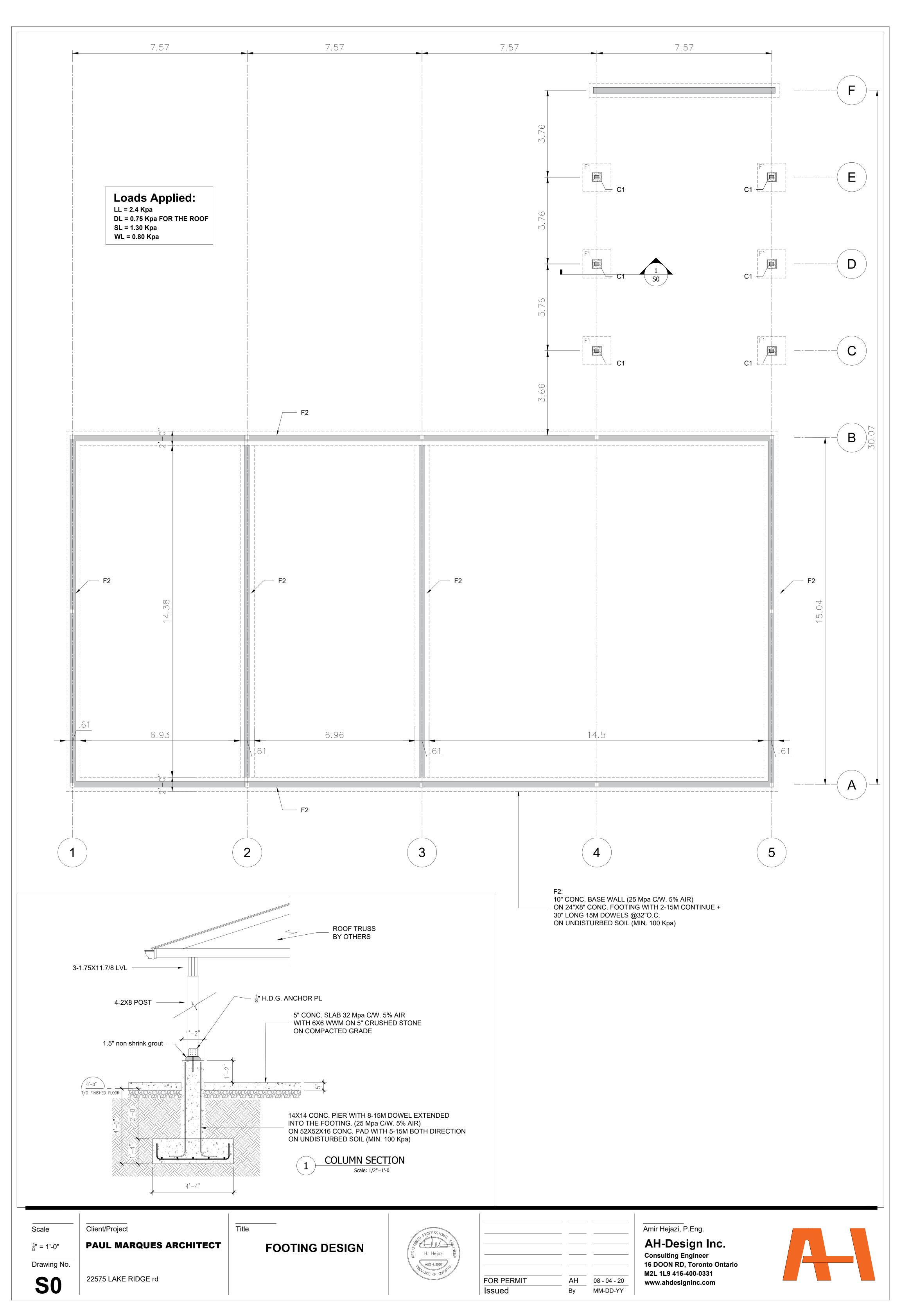
22575 LAKE RIDGE ROAD. PORT BOLSTER, ON.

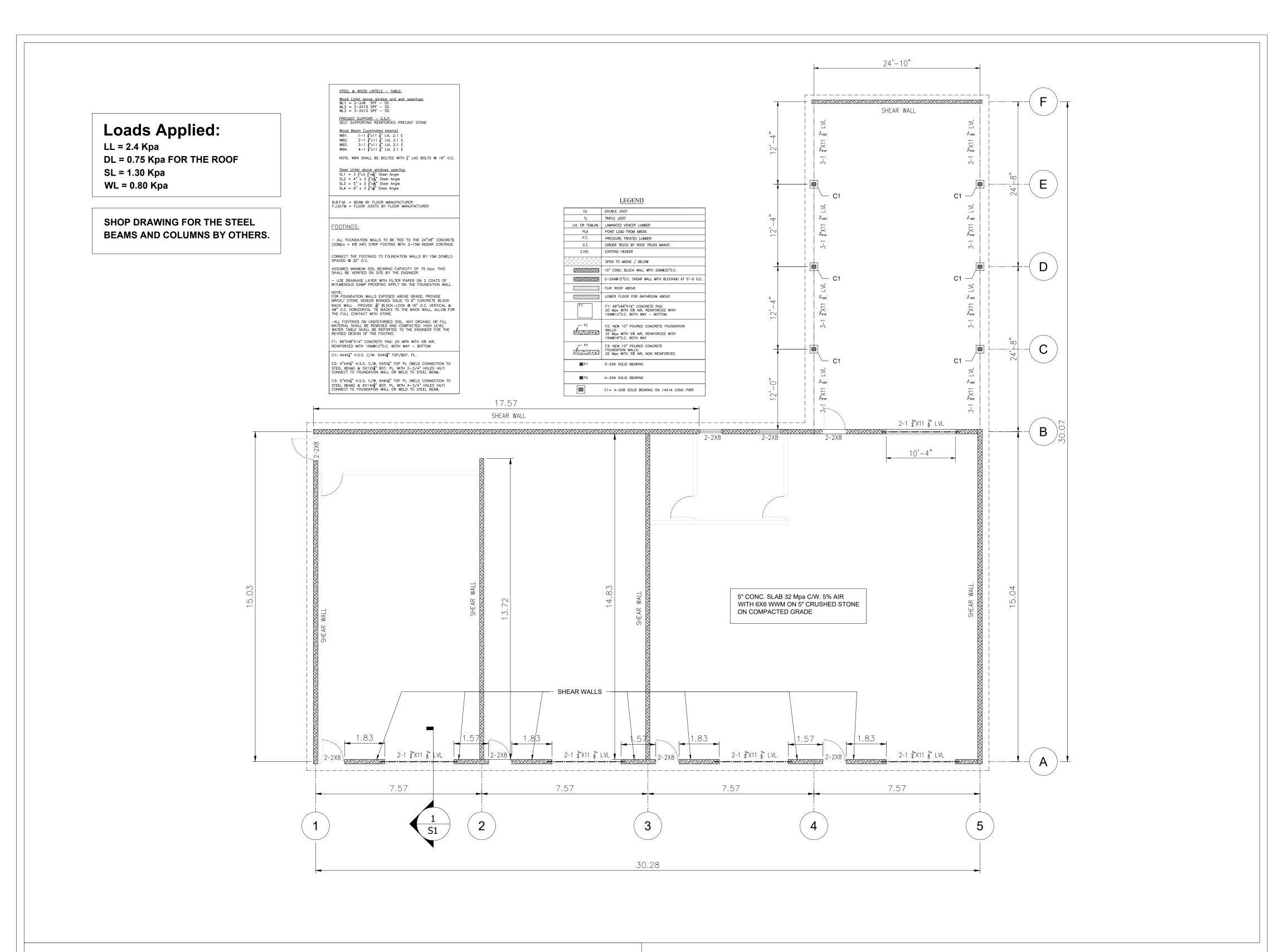
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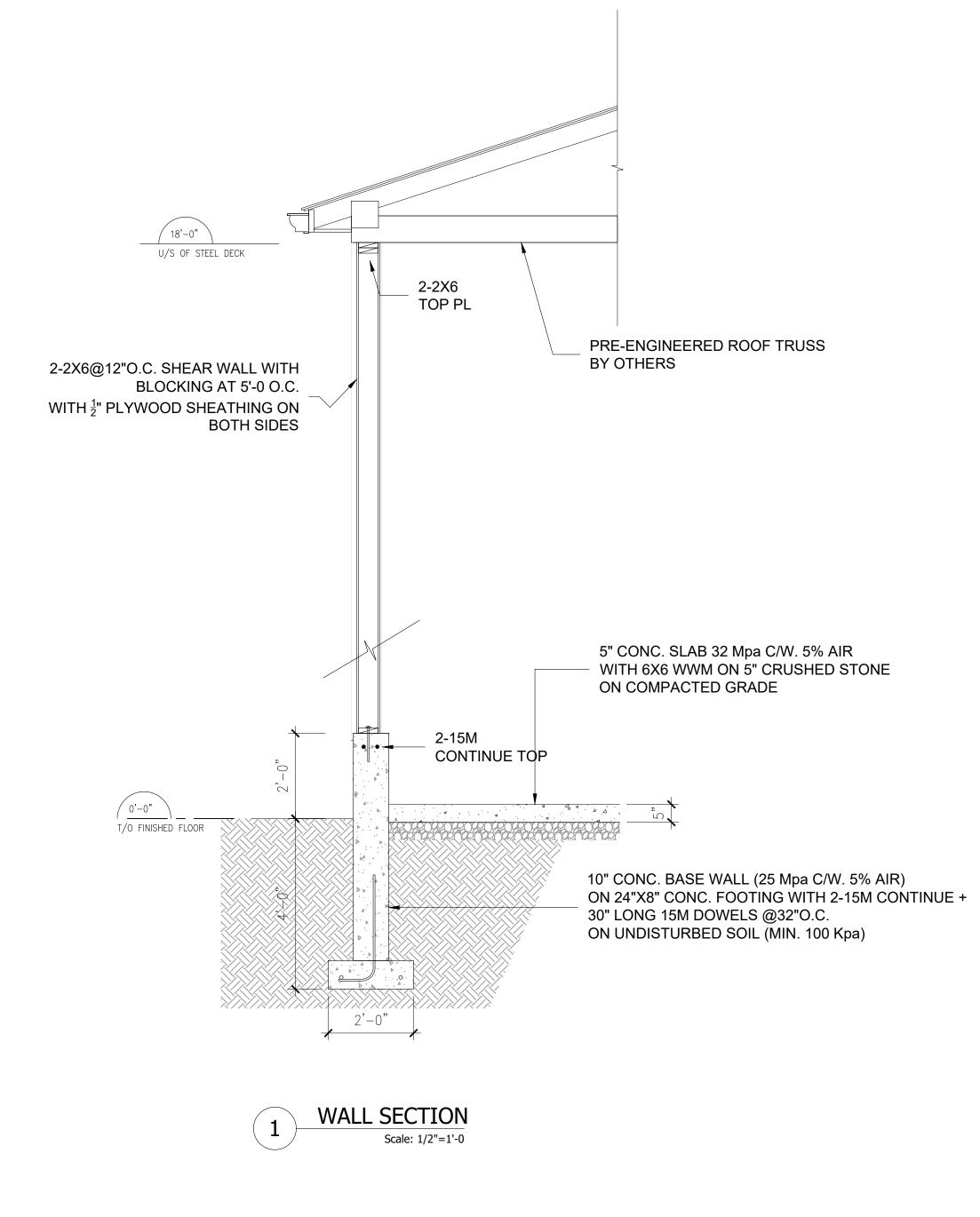
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GENERAL NOTES

Drawn by: JK	Scale: AS NOTED
Checked by: PM	
North:	Drawing No :



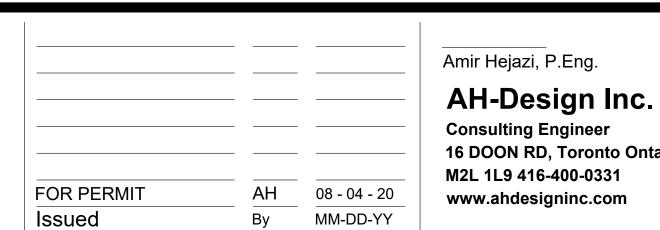




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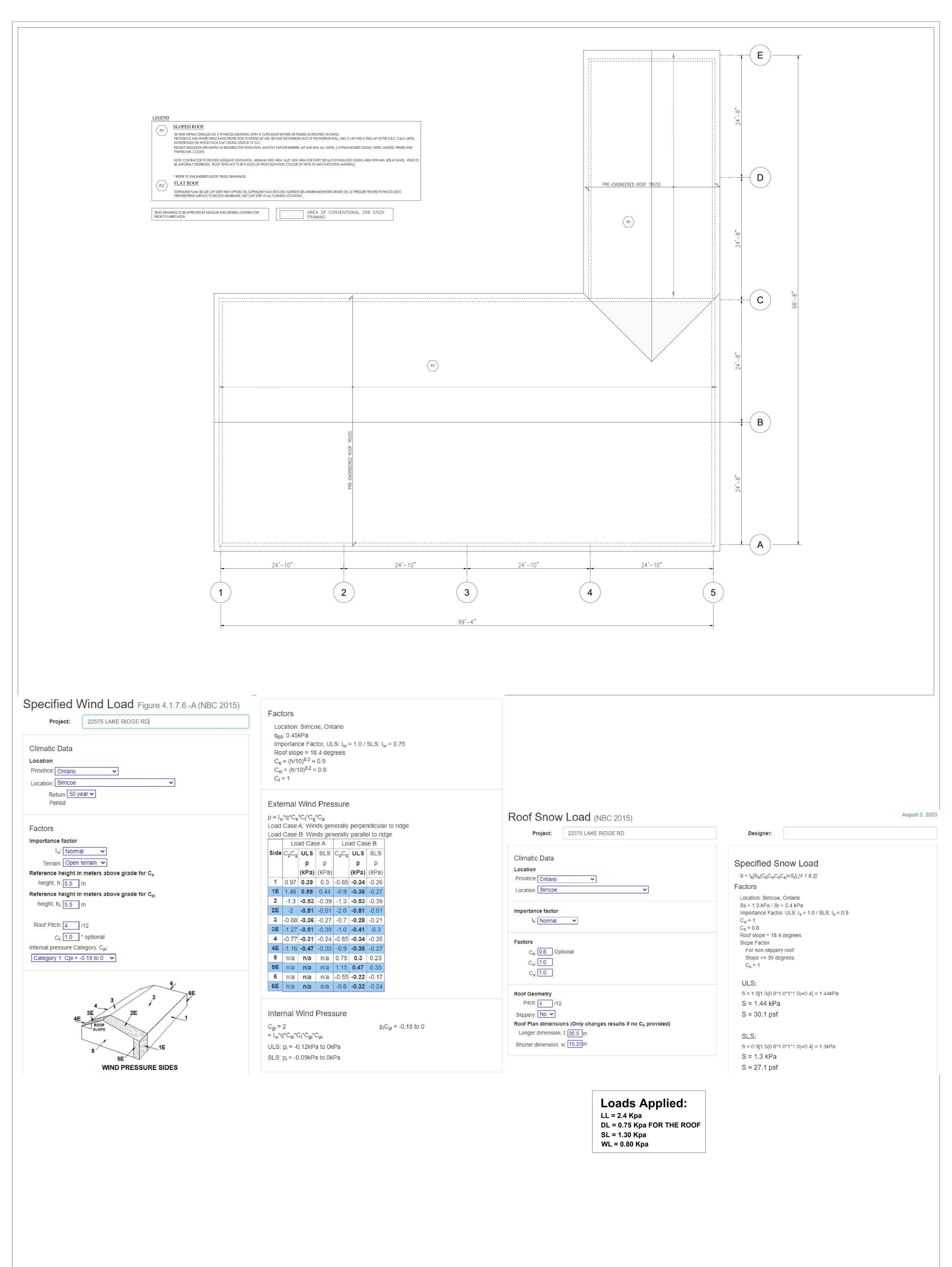
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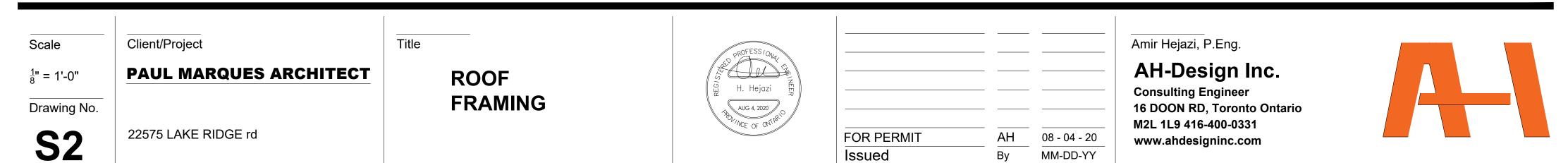
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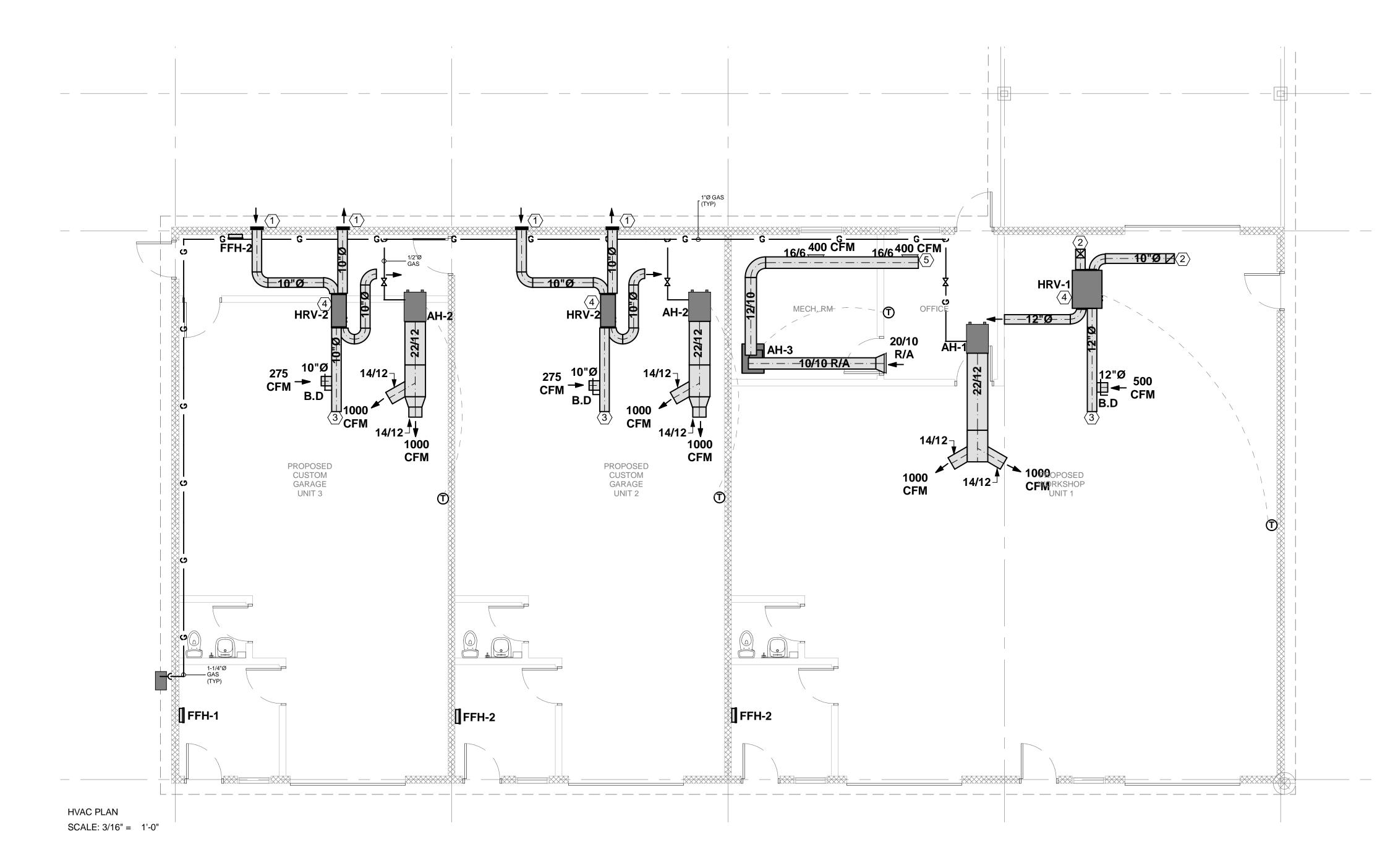


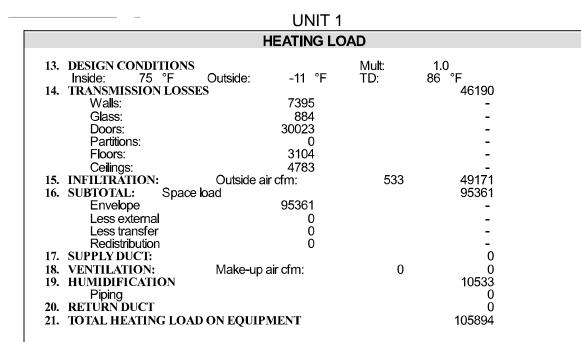
Scale

22575 LAKE RIDGE rd









# UNIT 2

		HEATING LO	DAD	
13.	DESIGN CONDITIONS	0 1 1 1 0=	Mult:	1.0
	Inside: 75 °F	Outside: -11 °F	TD:	86 °F
14.	TRANSMISSION LOSSE			22355
	Wals:	2943		-
	Glass:	442		-
	Doors:	14927		-
	Partitions:	0		-
	Floors:	1262		-
	Ceilings:	2780		-
15.	INFILTRĂTION:	Outside air cfm:	308	28443
16.	SUBTOTAL: Space	load		50797
	Envelope <sup>.</sup>	50797		-
	Less external	0		_
	Less transfer	0		_
	Redistribution	0		_
<b>17.</b>	SUPPLY DUCT:			0
18.	VENTILATION:	Make-up air cfm:	0	0
19.	HUMIDIFICATION			6093
	Piping			0
20.	RETURN DUCT			Ó
21.	TOTAL HEATING LOAD	ON EQUIPMENT		56890

# UNIT 3 - SHOP AREA

		HEATING LOAD		
13.	<b>DESIGN CONDITIONS</b> Inside: 75 °F	Outside: -11 °F	Mu <b>l</b> t: TD:	1.0 86 °F
14	TRANSMISSION LOSSE		ID.	25286
17.	Walls:	4523		20200
	Glass:	442		_
	Doors:	15096		_
	Partitions:	0		_
	Floors:	2495		_
	Ceilings:	2730		_
15.	INFILTRATION:	Outside air cfm:	161	14825
16.	SUBTOTAL: Space	oad		40111
	Envelope	40111		-
	Less external	0		_
	Less transfer	0		-
	Redistribution	0		-
	SUPPLY DUCT:	_		C
	VENTILATION:	Make-up air cfm:	198	18261
19.	HUMIDIFICATION Piping			<b>7</b> 087
20.	RETURN DUCT			Ċ
21.	TOTAL HEATING LOAD	ON EQUIPMENT		65460

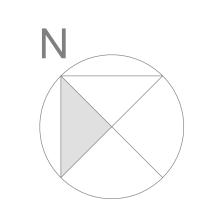
# UNIT 3 - MECH RM/OFFICE

		HE	EATING LO	DAD	
13.	DESIGN CONDITIONS			Mult:	1.0
	Inside: 75 °F	Outside:	-11 °F	TD:	86 °F
l <b>4</b> .	TRANSMISSION LOSSE	S			2770
	Walls:		419		=
	Glass:		884		-
	Doors:		168		-
	Partitions:		0		=
	Floors:		608		=
	Ceilings:		<b>6</b> 90		-
15.	INFILTRĂTION:	Outside air d	rfm:	21	1927
<b>l6.</b>	SUBTOTAL: Space	oad			4697
	Envelope		4697		-
	Less external		0		=
	Less transfer		0		-
	Redistribution		0		-
١7.	SUPPLY DUCT:				0
18.	VENTILATION:	Make-up air	cfm:	9	849
19.	HUMIDIFICATION				595
	Piping				0
	RETURN DUCT				0
21.	TOTAL HEATING LOAD	ON EQUIPM	ENT		6140

# HVAC EQUIPMENT SCHEDULE

ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (SHOP)- 4 persons(10)+2407sqft(0.18)=474cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 1 (OFFICE) - 1 persons(5)+133sqft(0.06)=13cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 2 - 3 persons(10)+1248sqft(0.18)=256cfm ASHRAE 62.1-2013 VENTILATION CALCULATION UNIT 3 - 3 persons(10)+1087sqft(0.18)=226cfm

UNIT	DESCRIPTION	MAKE	CFM	STATIC PRESS.	HEAT CAPACIT	TING TY, MBH	COOLING CAP.	OUTSIDE AIR	kW	VOLTAGE	OPERATING WEIGHT	REMARKS
DESIGNATION	ION DESCRIPTION & MODEL No. CFM PRESS. IN OUT (TONS) C.F.M VOLTAGE			(LBS)								
AH-1	GAS FIRED FURNACE	LUXAIRE TM9E120D20MP12	2000	0.5	120	114	5	HRV		120/1/60	156	c/w THERMOSTAT
AH-2	GAS FIRED FURNACE	LUXAIRE TM9E080C20MP12	2000	0.5	80	76	5	HRV		120/1/60	139	c/w THERMOSTAT
AH-3	GAS FIRED FURNACE	LUXAIRE TM9E026A08MP12	800	0.5	26	25	2	HRV		120/1/60	113	c/w THERMOSTAT
HRV-1	HEAT RECOVERY VENTILATOR	ALDES H-650	500	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
HRV-2	HEAT RECOVERY VENTILATOR	ALDES H-280SRG	275	0.2						120/1/60		SPEED CONTROL, INTERLOCK WITH AH
FFH-1	ELECTRIC WALL HEATER	OUELLET OAC02008-T				2KW				208/1/60		
FFH-2	ELECTRIC WALL HEATER	OUELLET OAC01502-T				1.5KW				120/1/60		



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



REVISIONS

DATE DESCRIPTION

2.22.2021 ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6
P:(905) 332-8888
www.lakelandengineering.ca

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PROJECT:

WORKSHOP/CUSTOM GARAGE

> 22575 LAKE RIDGE RD. PORT BOLSTER, ON

SHEET TITLE: H.V.A.C

DRAWN BY: WK

DATE: 2021-02-22

JOB #: 21-004

SHEET 1

OF 4

M1

# **HVAC KEYED NOTES**

- TERMINATE DUCT HIGH ON WALL AT WALL BOX. REVERSOMATIC OR EQUAL

  FRESH AIR INTAKE & E/A DUCT DOWN THROUGH ROOF TO CEILING
- FRESH AIR INTAKE & E/A DUCT DOWN THROUGH ROOF TO CEILING SPACE C/W CURB, GOOSENECKED & BIRDSCREEN. DUCTWORK TO BE INSULATED
- (3) CAP DUCTWORK FOR FUTURE WASHROOM EXHAUST
- 4 HRV TO BE INSTALLED AS PER MANUFACTURERES SPECIFICATIONS.
- 5 16/6 LOUVERED FACE S/A GRILLE PRICE 500 SERIES OR EQUAL (TYP FOR 2)
- 6 20/10 LOUVERED FACE R/A GRILLE PRICE 500 SERIES OR EQUAL ABOVE DOOR BELOW FINISHED CEILING.

### MECHANICAL SPECIFICATIONS

### **GENERAL REQUIREMENTS FOR MECHANICAL WORK**

### 1.0 SCOPE OF WORK

CONTRACT.

- 1.1 CONFORM TO THE APPLICABLE PROVISIONS OF THE GENERAL CONDITIONS OF THE
- 1.2 THE GENERAL MECHANICAL SPECIFICATION SHALL APPLY TO AND BE PART OF EACH OF THE SECTIONS COVERING THE MECHANICAL TRADES WORK.
- 1.3 COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE O.B.C., ALL OTHER APPLICABLE CODES, REGULATIONS, BY-LAWS, AND OFFICIAL STANDARDS ACCORDING TO THE REQUIREMENTS AND INTERPRETATIONS OF THE AUTHORITIES HAVING JURISDICTION. THESE CODES & STANDARDS CONSTITUTE AN INTEGRAL PART OF THESE SPECIFICATIONS. IN CASE OF CONFLICT, THE CODES TAKE PRECIDENCE OVER THE CONTRACT DOCUMENTS.
- 2.0 EXAMINATION OF SITE AND INFORMATION
- 2.1 EACH SUBCONTRACTOR, BEFORE TENDERING, SHALL EXAMINE THE SITE, THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THEY SHALL FAMILIARIZE THEMSELF WITH THE BUILDING CONSTRUCTION AND FINISH IN ORDER THAT THEIR TENDER MAY INCLUDE EVERYTHING NECESSARY FOR THE PROPER COMPLETION OF THE WORK.
- 2.2 IT SHALL BE THIS SUBCONTRACTOR'S RESPONSIBILITY THAT MATERIAL AND EQUIPMENT BE BROUGHT INTO THE BUILDING IN SUCH ASSEMBLIES AND SIZES AS TO ENTER INTO THE SPACES WHERE THEY ARE TO BE LOCATED AND TO BE SMALL ENOUGH TO BE HOISTED INTO THE BUILDING WITHOUT DIFFICULTY. ANY CUTTING, PATCHING, ETC., INVOLVED IN GETTING LARGE ASSEMBLIES INTO PLACE SHALL BE THE RESPONSIBILITY OF THIS SUBCONTRACTOR.

### 3.0 RELATIONSHIP WITH OTHER TRADES

- 3.1 THIS SUBCONTRACTOR SHALL CONFER WITH ALL OTHER CONTRACTORS INSTALLING EQUIPMENT, PLANT PIPING, OTHER WORK, FOUNDATIONS, ETC., WHICH MAY AFFECT THEIR INSTALLATION, AND THEY SHALL ARRANGE THEIR EQUIPMENT. PIPING, ETC., IN PROPER RELATION WITH OTHER APPARATUS, AND WITH THE BUILDING CONSTRUCTION. THEY SHALL ALSO CONFIRM THE ELECTRICAL CHARACTERISTICS OF THE PROJECT AND ORDER EQUIPMENT ACCORDINGLY
- 3.2 SPECIAL CARE SHALL BE TAKEN IN THE INSTALLATION OF ALL WORK, TO SEE THAT THEY ALL COME WITHIN THE LIMITS ESTABLISHED BY THE FINISH LINES OF ALL WALLS, FLOORS, CEILINGS, ETC.
- 3.3 THIS SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR AND OTHER SUBCONTRACTORS WHO ARE CONCERNED. OF ALL OPENINGS. FOUNDATION WORK, HANGERS, INSERTS, ANCHORS, OR OTHER PROVISIONS NECESSARY IN THEIR WORK FOR THE INSTALLATION OF THIS SUBCONTRACTOR'S WORK. THIS SUBCONTRACTOR SHALL FURNISH ALL INFORMATION AND NECESSARY MATERIALS IN AMPLE TIME SO THAT PROPER PROVISIONS CAN BE MADE FOR SAME, AND SHALL SUPPLY AND CORRECTLY AND ACCURATELY PLACE ALL INSERTS, SLEEVES, ANCHORS, ETC.
- 3.4 FAILURE TO COMPLY WITH THESE REQUIREMENTS ON THE PART OF THIS SUBCONTRACTOR WILL RENDER THEM RESPONSIBLE FOR THE COST OF CUTTING OPENINGS, INSTALLING HANGERS, INSERTS, ANCHORS, OR OTHER PROVISIONS AT A LATER DATE, AND THE SUBSEQUENT PATCHING, ETC., THEREBY REQUIRED.
- 3.5 NO CUTTING SHALL BE DONE WITHOUT PERMISSION. ALL SUCH WORK SHALL BE DONE BY SKILLED TRADES IN AND CERTIFIED FOR THIS PARTICULAR TRADE.

### 4.0 SHOP DRAWINGS

- 4.1 EACH SUBCONTRACTOR SHALL SUBMIT THREE (3) COPIES OF THE SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF MATERIAL, EQUIPMENT, AND APPARATUS BEING PROVIDED BY THEM. THESE SHALL SHOW IN DETAIL THE DESIGN AND CONSTRUCTION AND PERFORMANCE OF ALL APPARATUS, ETC.
- 4.2 THE ENGINEER'S REVIEW OF SHOP DRAWINGS AND MANUFACTURER'S SPECIFICATIONS OF ANY EQUIPMENT IS GENERAL AND IS NOT INTENDED TO SERVE AS FINAL CHECK AND IT SHALL NOT RELIEVE THE SUBCONTRACTOR OF THE RESPONSIBILITY FOR ERRORS OR F THE NECESSITY OF CHECKING THE DRAWING THEMSELF. OR OF FURNISHING ANY OF THE MATERIALS AND PERFORMING THE WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS TO THE FULL INTENT OF THE SPECIFICATION.
- 4.3 BEFORE SUBMISSION, THIS SUBCONTRACTOR SHALL CHECK ALL SHOP DRAWINGS FOR ACCURACY OF DETAILS, DIMENSIONS, ETC. AND SHALL BE SATISFIED THAT THE DRAWINGS ARE CORRECT AND THAT THE EQUIPMENT WILL FIT PROPERLY IN THE ALLOTTED SPACE. THE SHOP DRAWINGS SHALL BE STAMPED BY THIS SUBCONTRACTOR WITH THE WORD "REVIEWED". THE DATE OF APPROVAL. AND THEIR FIRM'S NAME PRIOR TO SUBMISSION.

# 5.0 REQUIREMENTS OF INSPECTION DEPARTMENTS

- 5.1 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION IN EACH CASE. PROVINCE, ELECTRICAL EQUIPMENT SUPPLIED MUST CONFORM TO THE REGULATIONS OF CSA AND THE LOCAL UTILITY. ANYTHING NECESSARY TO MAKE THE WORK COMPLY WITH THESE REQUIREMENTS SHALL BE PROVIDED BY THIS SUBCONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNERS IF IT REASONABLY COULD HAVE BEEN FORSEEN WHEN TENDERING.
- 5.2 EACH SUBCONTRACTOR SHALL PREPARE DRAWINGS IN ADDITION TO ENGINEER'S DRAWINGS AS MAY BE REQUIRED BY VARIOUS INSPECTION DEPARTMENTS HAVING JURISDICTION, AND OBTAIN THEIR APPROVAL BEFORE PROCEEDING WITH THE
- 5.3 IN THE EVENT THAT THE INSPECTION DEPARTMENT'S REQUEST DEVIATES FROM THE ENGINEER'S LAYOUT. THIS SUBCONTRACTOR SHALL CONSULT THE ENGINEER BEFORE PROCEEDING WITH SAME, IT SHALL BE NOTED THAT ENGINEER'S DRAWINGS ARE GENERALLY ACCEPTABLE TO INSPECTION DEPARTMENTS AND MINOR SUPPLEMENTS NEED ONLY BE MADE BY SUBCONTRACTORS.

# 6.0 CERTIFICATES, PERMITS, FEES

- 6.1 SUBCONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES INCLUDING PAYMENT FOR STREET CONNECTIONS TO STORM, SANITARY, WATER AND GAS IN ORDER THAT THE WORK HEREIN SPECIFIED MAY BE CARRIED OUT AND THEY SHALL FURNISH ANY CERTIFICATES NEEDED AS EVIDENCE THAT THE WORK INSTALLED CONFORMS WITH THE LAWS AND REGULATIONS OF THE MUNICIPALITY AND PROVINCE.
- 6.2 SUBCONTRACTOR SHALL CONTACT THE LOCAL GAS COMPANY AS SOON AS POSSIBLE AND VERIFY THAT GAS SERVICE IS AVAILABLE AT PRESSURE AND CAPACITY REQUIRED FOR THE PROJECT. THEY SHALL INFORM THE ENGINEER IMMEDIATELY IF THERE IS ANY PROBLEM WITH GAS SERVICE WHATSOEVER. IT SHALL BE THIS SUBCONTRACTOR'S RESPONSIBLITY TO COORDINATE GAS REQUIREMENTS WITH THE GAS COMPANY BEFORE ANY OF THEIR WORK

# 7.0 GUARANTEE

- 7.1 THIS SUBCONTRACTOR SJALL GUARANTEE ALL MATERIAL AND WORKMANSHIP USED IN THE WORK TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, OF BEST QUALITY AND TYPE OBTAINABLE TO GIVE FIRST-CLASS CONSTRUCTION AND PROPER AND EFFICIENT OPERATION, AND FREE FROM ANY DEFECTS. ANY SUCH DEFECTS WHICH MAY APPEAR IN ANY OF THE WORK WITHIN ONE YEAR AFTER WRITTEN ACCEPTANCE OF THEIR WORK SHALL BE REPAIRED AND REPLACED BY THIS SUBCONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER, WHERE SUCH DEFECTS OCCUR. THIS SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED IN MAKING THE DEFECTIVE WORK GOOD. THIS SHALL NOT OBSOLETE ANY LONGER WARRANTIES ON SPECIFIC ITEMS OF EQUIPMENT.
- 7.2 ALL INJURIES TO ADJACENT WORK, PARTICULARLY PLASTER, WOOD FINISHES, OR OTHER MATERIALS, OR DAMAGE TO OTHER EQUIPMENT, CAUSED BY SUCH DEFECTS OF THIS SUBCONTRACTOR'S WORK OR BY SUBSEQUENT REPLACEMENTS. AND REPAIRS, SHALL BE MADE GOOD AT THE EXPENSE OF THIS SUBCONTRACTOR. ALL REPAIR WORK SHALL BE DONE BY THE TRADES RESPONSIBLE FOR THE ORIGINAL WORK

# 8.0 EXCAVATING AND BACKFILLING

- 8.1 UNLESS OTHERWISE INDICATED, ALL NECESSARY EXCAVATING AND BACKFILLING SHALL BE DONE BY THIS SUBCONTRACTOR.
- 8.2 BEFORE COMMENCING WITH WORK, CHECK LOCATIONS OF ALL EXISTING SERVICES, THIS SUBCONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES AND SUBSEQUENT EXPENSES RESULTING FROM HIS NEGLIGENCE IN THIS RESPECT
- 8.3 KEEP EXCAVATION FREE OF WATER.
- 8.4 PROVIDE ANY NECESSARY SHARING AS MAY BE REQUIRED FOR THE SAFETY OF THE TRADE INSTALLING THE WORK.
- 8.5 BACKFILL INSIDE BUILDING AND UNDER PAVED AREAS WITH PIT RUN GRAVEL OR SAND PROPERLY TAMPED IN 12" LAYERS.
- 8.6 IN ALL OTHER AREAS BACKFILL WITH GOOD CLEAN EARTH PROPERLY TAMPED IN
- 8.7 EXCESS EXCAVATED MATERIAL SHALL BE PILED ON THE SITE WHERE DIRECTED BY THE FIELD SUPERVISOR FOR REMOVAL BY OTHERS.
- 8.8 LAY ALL PIPING ON A BED OF SOLID UNDISTURBED EARTH OR WHERE THIS IS NOT OBTAINABLE, ON CONCRETE PADS, SUPPORTED BY CONCRETE PIERS EXTENDED DOWN TO THE UNDISTURBED BEARING.

8.9 WHERE ANY EXCAVATING IS NECESSARY IN CLOSE PROXIMITY TO OR BELOW ANY

FOOTING LEVEL, BACKFILL WITH 1500LB. CONCRETE TO THE LEVEL OF THE TOP OF THE HIGHEST ADJACENT FOOTING.

# 8.10 AT THE COMPLETION OF THE PROJECT, FILL IN AND LEVEL OFF EXTERIOR

### 9.0 DRAWINGS

- 9.1 THE DRAWINGS SHOW THE APPROXIMATE LOCATION FOR THE SPECIAL APPARATUS AND THE MATERIALS THROUGHOUT THE BUILDING. THE ARRANGEMENT SHOWN ON THE DRAWINGS IS MORE OR LESS DIAGRAMMATIC AND AS SUCH APPROXIMATE ONLY, AND MAY BE ALTERED, AS APPROVED BY THE ENGINEER. TO MEET THE REQUIREMENTS OF THE APPARATUS, ETC., AND OF THE BUILDING, EACH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL MEASUREMENTS FOR HIS WORK THROUGHOUT, AND HE SHALL ARRANGE HIS PIPING, WIRING, AND APPARATUS TO CONFORM TO THE ARCHITECTIRAL AND STRUCTURAL DETAILS IN SATISFACTORY MANNER AND SHALL CO-OPERATE WITH OTHER CONTRACTORS TO ENSURE THAT WORK SHALL MEET ALL REQUIREMENTS OF DIVERSE CONTRACTS.
- 9.2 THE SUBCONTRACTORS IS PARTICULARLY CAUTIONED THAT SMALL SCALE ENGINEER'S PLANS MUST BE SUPPLEMENTED BY THEIR OWN DETAIL DRAWINGS WHERE NECESSARY FOR PROPER CO-ORDINATION OF THE WORK.
- 9..3 ITEMS SHOWN ON THE DRAWINGS BUT NOT SPECIFIED, OR SPECIFIED BUT NOT SHOWN, SJALL BE INCLUDED.
- 9.4 ITEMS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE WORKING SYSTEM BUT NOT SPECIFIED NOR SHOWN SHALL BE INCLUDED.

# 10.0 CONTRACTOR'S SHOP

10.1 EACH SUBCONTRACTOR SHALL PROVIDE HIS OWN OFFICE, WORKSHOP, TOOLS AND MATERIALS STORAGE AND BE RESPONSIBLE FOR ANY LOSS OR DAMAGE THERETO. BUILDING SHALL BE ERECTED UNDER THE SUPERVISION OF THE CONTRACTOR

# 11.0 RESPONSIBILITY AND LIABILITY

11.1 EACH SUBCONTRACTOR SHALL SUPERVISE THE LAYING OUT OF THEIR WORK AND SJALL ARRANGE IT IN CO-OPERATION WITH OTHERS WHO MAY BE WORKING ON THE PREMISES WHILE THE WORK OF THIS CONTRACT IS IN PROGRESS. THEY SJALL PROTECT FINISHED AND UNFINISHED WORK OF THIS CONTRACT AND/OR WORK OF OTHERS ON THE PREMISES UNTIL THE COMPLETED WORK HAS BEEN ACCEPTED. OF ANY DISCREPANCIES OR INCONSISTENCIES FOUND IN THE DRAWINGS OR SPECIFICATIONS BEFORE SUBMITTING THEIR TENDER. THEY SJALL ABIDE BY THE DISCRESSION FIVEN THEM IN WRITING WITH REGARD TO THE SAME. EACH SUBCONTRACTOR IS CAUTIONED THAT THE WORK AS SHOWN IS INTENDED TO BE COMPLETE IN ALL RESPECTS AND THAT FAILURE ON THEUR PART TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES WILL NOT RELIEVE THEM OF THE RESPONSIBILITY OF COMPLETING THE WORK AS INTENDED AT THE CONTRACT

# 12.0 CLEAN-UP

- 12.1 DURING THE COURSE OF CONSTRUCTION, EACH SUBCONTRACTOR SHALL KEEP THEIR WORK TIDY AND NOT ALLOW AN ACCUMULATION OF DEBRIS RESULTING FROM THEIR WORK
- 12.2 UPON COMPLETION OF THEIR WORK, THEY SHALL LEAVE THE PREMISES IN A BROOM-CLEAN CONDITION.

# 13.0 PROTECTION

13.1 PROTECT YOUR WORK FROM CONSTRUCTION DIRT OR DAMAGE FROM ANY CAUSE SECURELY PLUG AND CAP ALL OPENINGS IN PIPE, EQUIPMENT, AND FIXTURES TO PREVENT OBSTRUCTIONS.

# 14.0 IDENTIFICATION OF EQUIPMENT

14.1 IDENTIFY ALL FANS, PUMPS, MOTOR STARTERS, AND OTHER MECHANICAL FOLUPMENT AS TO SERVICE BY AN ENGRAVED PLASTIC LAMACOID NAMEDI ATE FIRMLY AFFIXED BY ADHESIVE AND SCREWS TO EACH UNIT. NOTE THAT BOTH UNIT AND ITS REMOTE STARTER SHALL BE TAGGED. PROVIDE PRESSURE SENSITIVE TAPE MARKERS, SHOWING PIPE SERVICE AND ARROWS INDICATING DIRECTION OF FLOW ON EXPOSED PIPE. ON CONCEALED PIPES, PROVIDE MARKERS ADJACENT TO ACCESS DOORS THROUGHOUT THE LENGTH OF PIPES AT INTERVALS NOT EXCEEDING 50 FEET. INSTALL MARKERS AFTER PIPE HAS BEEN PAINTED AND ON

# <u>15.0 TAGS</u>

15.1 AT THE COMPLETION OF THE INSTALLATION, THE MECHANICAL CONTRACTOR SHALL TAG ALL VALVES WITH NUMBERED BRASS DISCS AND SHALL PROVIDE THE OWNER WITH A FRAMED LIST OF THE TAGS TO INDICATE LOCATION AND SERVICE OF ALL VALVES..

# 16.0 OPERATING INSTRUCTIONS AND RECORD DRAWINGS

BOTH SIDES OF ANY WALL THROUGH WHICH PIPE PASSES.

- 16.1 FOR EACH ITEM OF SPECIAL APPARATUS, OPERATING AND MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED IN THREE (3) COPIES FOR THE OWNER'S USE. THESE SHALL INCLUDE:
- GENERAL ARRANGEMENT SHOP DRAWINGS.
- COMPLETE EXPLANATION OF OPERATING PRINCIPLES AND SEQUENCES.. COMPLETE PART LISTS WITH NUMBERS.
- RECOMMEND MAINTENANCE PRACTICES AND PRECAUTIONS. 5. COMPLETE WIRING AND CONNECTIONS DIAGRAMS.
- 16.2 OBTAIN TWO SETS OF MECHANICAL DRAWING WHITE PRINTS FROM THE CONTRACTOR AND KEEP A RECORD IN RED PENCIL OF ANY DEVIATION FROM THE

### DRAWN LOCATION OF PIPES, DUCTS, ETC.. ONE SET SHALL BE TURNED IN TO THE OWNER WITH THE OPERATING INSTURCTIONS, AND THE OTHER SET SHALL BE HANDED TO THE ENGINEER.

# 17.0 PAINTING

17.1 ALL EQUIPMENT FABRICATED FROM STEEL AND NOT FACTORY FINISH PAINTED SJALL BE SUPPLIED WITH A PRIME COAT DONE AT THE SUPPLER'S FACTORY. IF DAMAGED IN TRANSIT OR ON THE JOB, THIS CONTRACTOR SHALL TOUCH UP WITH RED LEAD PRIMER BEFORE FINISHING PAINTING.

# 18.0 ACCESS DOORS

**GAUGE PRIMED STEEL** 

- 18.1 LOCATE ACCESS DOORS WHERE REQUIRED AND OF SUFFICIENT SIZE FOR SERVICES VALVES, DAMPERS, CLEANOUTS, ETC.
- 18.2 THESE SHALL BE FLUSH MOUNTING, SCREDRIVER ACCESS, METAL TUPES, 16

# **HEATING, VENTILATING, AND AIR CONDITIONING**

# 1.0 GENERAL

- 1.1 ALL HEATING, VENTILATING, AND AIR CONDITIONING EQUIPMENT SHALL BE C.S.A. LISTED, BEAR THE C.S.A. SEAL, AND BE INSTALLED IN ACCORDANCE WITH C.S.A.
- 1.2 IN ADDITION TO THE PROVISIONS OF SENTENCE (1), ALL FANS SHALL BE LICENSED TO BEAR THE A.M.C.A. SEAL.
- 1.3 ALL DUCTWORK SHALL BE CONSTRUCTED, INSTALLED, & SUPPORTED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
- 1.4 IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL RIGID DUCTWORK SHALL BE FABRICATED FROM GALVANIZED STEEL SHEETS IN ACCORDANCE WITH NFPA-90A, ULC-S110, AND ASTM-A525; AND OF THE US SHEET GAUGES AS TABLED BELOW.

, 1, 020 0110, 71112	7,10111171020,71112 01 1112 00 011221	0,10020,101,18228 82
HEET GAUGE	RECTANGULAR DUCT	ROUND DUC
26 24 22 20 18	UP TO 12" 13" TO 30" 31" TO 54" 55" TO 84" 85" & ABOVE	UP TO 13" 14" TO 22" 23" TO 36" 37" TO 50" 51" TO 60"

- FLAT AREAS OF DUCT OVER 18" SJALL BE STIFFENED BY CROSS BREAKING ACROSS THE CORNERS, AND ALL DUCTS SHALL BE SELF SUPPORTING.
- 1.5 IN ADDITION OT HE PROVISIONS OF SENTENCE (3), ALL FLEXIBLE DUCTWORK SHALL BE SUBJECT TO NFPA-90A ABD ULC-5110 STANDARDS FOR FLAME SPREAD AND SMOKE DEVELOPED, BE ULC LISTED, AND BEAR THE ULC SEAL, ALL CONNECTIONS. SHALL USE JOINT TREATMENT TYPE AS DETAILED IN MANUFACTURER'S INSTRUCTIONS, MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 12'-6". USED ONLY IN HORIZONTAL RUNS, AND SHALL NOT PENETRATE FIRE SEPARATIONS.
- 1.6 DUCTWORK SHALL BE MADE SUBSTANTIALLY AIR TIGHT THROUGHOUT AND SHALL HAVE NO OPENINGS OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE, THE ALLOWABLE LEAKAGE FACTOR SHALL NOT EXCEED 2% THROUGH THE LONGEST DUCT RUN. ALL DUCT JOINTS SHALL BE SEALED WITH JOINT TAPE MEETING THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109.
- 1.7 ALL AIR HANDLING SYSTEMS SHALL BE TESTED AND BALANCED BY A QUALIFIED TESTING COMPANY TO WITHIN 5% OF THE DESIGN AIR VOLUMES. THREE (3) COPIES OF THE FINAL TESTING AND BALANCING REPORT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE ENGINEER.
- 1.8 ELBOWS SHALL BE CONSTRUCTED USING A RADIUS OF 1.5 TIMES OF THE DUCT DIAMETER / WIDTH. HOLLOW TURNING VANES IN VANE RAILS SHALL BE USED WHEN
- 1.9 BALANCING DAMPERS SHALL BE INSTALLED AT ALL TAKE-OFFS FROM BRANCH DUCTS, AND ALL BRANCH DUCT CONNECTIONS TO MAIN DUCTS, BALANCING DAMPERS SHALL BE MANUALLY OPERATED OPPOSED TO BLADE TYPE. SPLITTER TYPE, OR BUTTERFLY TYPE, COMPLETE WITH LOCKING QUADRANT OPERATOR.
- 1.10 FIRE DAMPERS SHALL BE INSTALLED IN THE PLANE OF PENETRATION OF FIRESEPARATIONS AND IN ACCORDANCE WITH NFPA-90A AND ULC-S505, AND SHALL BEAR THE ULC SEAL, DAMPERS SHALL BE TYPES A OR B. 1.5 HOUR FIRE RATED AND COMPLETE WITH 160 DEG. F REPLACEABLE LINK, A LIGHTLY FITTED ACCESS DOOR SHALL BE INSTALLED FOR EACH FIRE DAMPER TO PROVIDE ACCESS FOR INSPECTION. AND RESETTING OF DAMPER. AND REPLACING OF FUSIBLE LINK. FIRE DAMPERS SHALL BE SUPPORTED INDEPENDENTLY FROM DUCTWORK.
- 1.11 VIBRATION ISOLATION FLEXIBLE DUCT CONNECTIONS SHALL BE USED WHERE DUCTWORK CONNECTS DIRECTLY TO AIR HANDLING EQUIPMENT, CONNECTORS SHALL BE NONCOMBUSTIBLE OR OF COMBUSTIBLE FABRIC CONSTRUCTION PROVIDED THEY DO NOT EXCEED 10" IN LENGTH AND COMPLY WITH THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109. COLLARS SHALL BE GALVANIZED IRON AND FASTENED SECURELY TO ENSURE A LEAKPROOF CONNECTION.
- 1.12 ALL DUCTWORK SHALL BE INSTALLED TO ALLOW FREEDOM FROM VIBRATION DURING OPERATING CONDITIONS, DUCT HANGERS SHALL BE SUPPORTED FROM STRUCTURAL STEEL AND STRUCTURAL CONCRETE SLAB, BUT NOT FROM ROOF DECK. BENT GALVANIZED IRON HANGERS SHALL BE USED. DUCT HANGERS SHALI BE SPACED MAXIMUM 8'-6" APART, WHERE DUCTS PASS THROUGH WALLS AND FLOORS. THE SPACE AROUND THE DUCT SHALL BE PACKED AND SEALED WITH FIRE RESISTANT SEALING COMPOUND
- 1.13 KITCHEN EXHAUST DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH N.F.P.A. #96 LATEST EDITION PROVIDE ALL ACCESS CLEANOUT SEPARATIONS AS PER N.F.P.A. #96 WHETHER SHOWN ON PLANS OR NOT. ALL KITCHEN EXHAUST DUCTWORK SHALL BE 16 GAUGE WELDED.
- 1.14 SPIRAL DUCTWORK SHALL BE SPIRAL HELIX AS MANUFACTURED BY WESBELL HIGH-TEC MANUFACTURING INC.

# 2.0 INSULATION - GENERAL

- 2.1 INSULATION SHALL BE APPLIED ON CLEAN, DRY SURFACES AND ONLY AFTER TESTS AND APPROVALS REQUIRED HAVE BEEN COMPLETED.
- 2.2 ALL PIPE INSULATION SHALL BE CONTINUOUS THROUGH WALL AND CEILING OPENINGS AND SLEEVES. SUITABLE FIRE STOPS SHALL BE INSTALLED WHERE
- 2.3 INSULATION ON ALL COLD SURFACES MUST BE APPLIED WITH A CONTINUOUS UNBROKEN VAPOUR SEAL
- 2.4 HANGERS, SUPPORTS, ANCHORS, ETC., THAT ARE SECURED DIRECTLY TO COLD SURFACES, MUST BE ADEQUATELY INSULATED AND VAPOUR SEALED TO PREVENT
- 2.5 ALL SURFACE FINISHES SHALL BE EXTENDED TO PROTECT ALL SURFACES, ENDS, AND RAW EDGES OF INSULATION.
- 2.6 ALL DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED.
- 3.0 PLUMBING AND PIPING INSULATION
  - PIPE INSULATION: GLASS FIBER INSULATION WITH FACTORY APPLIED. JACKET; JOHNS-MANVILLE MICRO-LOK 650 OR APPROVED EQUAL.
  - JACKET EXPOSED: CANVAS FREE A VAPOUR BARRIER JACKET, CONSISTING OF A WHITE GLASS FIBER SURFACE BONDED TO AN ALUMINIZED FILM.
- JACKET CONCEALED: ALL PURPOSE A VAPOUR BARRIER JACKET, CONSISTING OF A HIGH INTENSITY WHITE KRAFT PAPER SURFACE BONDED TO AN ALIMINIZED FILM AND REINFORCED WITH A GLASS FIBER YARN.
- FITTINGS: PRE-MOULDED ONE PIECE PVC INSULATED FITTING COVERS; JOHNS-MANVILLE ZESTON OR APPROVED EQUAL.
- A. DOMESTIC COLD WATER:
- AMBIENT TEMPERATURE PIPE SIZE **THICKNESS** DOMESTIC HOT WATER SUPPLY: BELOW 35°F ALL DOMESTIC HOT WATER RETURN: ABOVE 35°F ALL
- B. AIR CONDITIONING UNIT RUNOUTS AND DRAIN LINES:
- ALL RUNOUTS FROM RISER OR MAIN TO THE AIR CONDITIONING UNITS AND AIR CONDITIONING UNIT DRAIN LINES SHALL BE INSTALLED WITH FLEXIBLE FOAM. CLOSED CELL STRUCTURE, PLASTIC INSULATION; JOHNS-MANVILLE AEROTUBE OR APPROVED EQUAL

THICKNESS 4" AND OVER 3/4"

CUTS AND BUTT JOINTS OF INSULATION SHALL BE JOINED BY SEALING WITH A WATERPROOF VAPOUR BARRIER ADHESIVE.

ARCHITECTURAL SPECIFICATION.

# 4.0 DUCTWORK INSULATION

INSULATE ONLY DUCTWORK SHOWN AND/OR NOTED ON THE DRAWINGS.

RECTANGULAR DUCT - RIGID GLASS FIBER 1-1/2" THICK BOARD; JOHNS-MANVILLE SPIN-GLAS 650 BOARD OR APPROVED EQUAL. VAPOUR BARRIER SHALL CONSIST OF A FOIL SCRIM KRAFT PAPER LAMINATE CONSISTING OF ALUMINUM FOIL REINFORCED WITH GLASS FIBER YARN AND LAMINATED TO A CHEMICALLY TREATED FIRE RESISTANT KRAFT.

ROUND DUCT - FLEXIBLE GLASS FIBER 1-1/2" SCRIM KRAFT FACING OR APPROVED EQUAL. ALL EXHAUST DUCTS SHALL BE INSULATED WITHIN 6'-0" OF COLD OUTLET AT

ROOF, ATTIC, OR WALL WITH 1" THICK GLASS FIBER INSULATION WITH FOIL

FACED VAPOUR BARRIER (AS ABOVE). ALL HEATING A/C MAKE-UP AIR AND EXHAUST DUCTWORK WITHIN UNCONDITIONED (ATTIC, ETC.) SHALL BE INSULATED WITH 2" RIGID

FIBERGLASS THERMAL INSULATION C/W VAPOUR BARRIER.

INSULATED OUTDOOR OR EXPOSED DUCTWORK SHALL BE FINISHED WITH 6 OZ. FIRE RETARDANT CANVAS LAGGED IN PLACE WITH FIRE RETARDANT LAGGING AHESIVE, OUTDOOR VAPOUR BARRIER MASTIC FINISH WITH A

REINFORCING MEMBRANE, ALL JOINTS SHALL HAVE A MINIMUM OVERLAP OF 3".

FLEXIBLE DUCT - CAN-FLEX TYPE C1-IV INSULATED POLYOLEFIN JACKET, CAN-FLEX TYPE C1-IA INSULATED ALUMINIZED JACKET, OR APPROVED **EQUAL** 

B. ACOUSTIC:

FLEXIBLE GLASS FIBER 1" THICK DUCT LINER; JOHNS-MANVILLE LINACOUSTIC OR APPROVED EQUAL.

PROVIDE ACOUSTIC LINING ON FIRST 12 FEET FROM UNIT OF A/C SUPPLY DUCTS AND RETURN DUCTS. ENLARGE DUCTS TO PROVIDE INSIDE CLEAR DIMENSIONS AS SHOWN ON DRAWINGS.

# 5.0 EQUIPMENT LIST AND SCHEDULE

5.1 LOUVRE, GRILLE, AND OTHER DIFFUSER SCHEDULE:

SEE SCHEDULES DESCRIPTION: SEE SCHEDULES

NOTE: ALL GRILLES AND DIFFUSERS SHALL BE FINISHED AS PER

# PLUMBING, DRAINAGE, AND PIPING

# 1.0 GENERAL

- 1.1 WORK SHALL INCLUDE ALL PLUMBING AND DRAINAGE AS REQUIRED AND/OR SHOWN ON THE DRAWINGS. ALL WORK THAT IS INSTALLED, TESTED, AND INSPECTED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE AND LOCAL PLUMBING CODES, BY-LAWS, AND REGULATIONS.
- 1.2 ALL REQUIRED TESTS SHALL BE MADE IN THE PRESENCE OF THE AUTHORIZED INSPECTOR CERTIFYING THE TEST. UPON COMPLETION OF THE TEST, A WRITTEN REPORT SHALL BE SUBMITTED TO THE ARCHITECT SUMMARIZING COMPLETE TEST DATA AND RESULTS.
- 1.3 PROVIDE SLEEVES WHERE PIPING PASSES THROUGH FOUNDATIONS, FLOORS. ROOFS, OR WALLS, SLEEVES SHALL BE SCHEDULE 40 GALVANIZED OR WROUGHT IRON PIPE. OR TYPE "L" OR "K" COPPER TUBE THROUGH FOUNDATIONS. FLOORS OR ROOFS. AND OF 20 GAUGE GALVANIZED STEEL SHEET THROUGH ABOVE GRADE WALLS. SLEEVES ARE NOT REQUIRED FOR PLUMBING VENTS. ALL SLEEVES SHALL BE SIZED TO ACCEPT INSULATED PIPE.
- 1.4 HORIZONTAL PIPING SHALL BE SUPPORTED AT INTERVALS AS FOLLOWS:
- PIPE SIZES UP TO 3/4" PIPE SIZES 1" TO 3" PIPE SIZES 4" AND OVER
- 1.5 PIPE HANGERS SHALL CONSIST OF GRINNELL NO.250 CLEVIS HANGERS WITH THREADED RODS AND SUITABLE CLAMPING DEVICE AT TOP END. GRAPPLER STRAP HANGERS ARE NOT ACCEPTABLE.
- 1.6 WHERE SUPPORTING COPPER PIPE, THE PIPE SHALL BE ISOLATED FROM THE HANGER WITH ELECTROLYTIC ACTION TAPE OR EQUIVALENT.
- 1.7 VERTICAL PIPING SHALL BE SUSPENDED AT THE FLOOR AND/OR WITH INTERMEDIATE WALL SUPPORTS AT 10'-0" INTERVALS FOR PIPING 2" AND OVER. AND 6'-0" INTERVALS FOR PIPING UP TO 1-1/2". MORE FREQUENT SUPPORTS SHALL BE PROVIDED WHERE NECESSARY TO PREVENT MOVEMENT.
- CONTRACTION OF PIPES AND TO BE FREE FROM STRAINS AND DISTORTIONS. PROVIDE SWING JOINTS ON ALL BRANCH LINES. EXPANSION LOOPS ON ALL STRAIGHT RUNS OVER 100 FEET, AND ANCHORS TO LIMIT HORIZONTAL EXPANSION

1.8 ALL PIPING SHALL BE INSTALLED TO MAKE PROVISION FOR THE EXPANSION AND

- 1.9 PROVIDE DRAIN COCKS AT ALL LOW POINTS OF WALTER SYSTEMS TO ALLOW DRAINAGE OF SYSTEM AND WHERE REQUIRED TO PREVENT FREEZING.
- 1.10 ALL EXPOSED FITTINGS, VALVES, WASTE, AND WATER PIPING SHALL BE CHROME PLATED IN WASHROOM AND KITCHEN AREAS AND OTHER FINISHED AREAS.

1.11 PROVIDE STOPS TO EACH PLUMBING FIXTURE OF LOCKSHIELD OR HANDWHEEL

- TYPE AS SPECIFIED. PROVIDE ISOLATING VALVES TO EACH GROUP OF PLUMBING 1.12 PROVIDE AIR COLUMN CHAMBERS AT EACH GROUP OF PLUMBING FIXTURES. THESE SHALL BE 1" MINIMUM PIPE WITH CAP. 18" LONG MOUNTED ON THE TOP OF THE SUPPLY HEADERS OF HOT AND COLD WATER. WHERE THE HEADER IS LARGER THAN 1". THE COLUMN SHALL BE ONE SIZE LARGER THAN THE HEADER. ALTERNATIVELY, PROVIDE ANCON "SHOK-GUARD" OR APPROVED EQUAL WATER
- MANUFACTURER'S RECOMMENDATIONS. 1.13 PROVIDE AUTOMATIC TRAP DEAL PRIMER, ANCON NO. MS-180 OR APPROVED EQUAL FOR EVERY FLOOR DRAIN, HUB DRAIN, AND COMBINATION DRAINS. TRAP SEAL PRIMER SHALL BE CONNECTED TO NEAREST WATER SUPPLY, WHERE SEVERAL TRAPS WITH PRIMER REQUIREMENTS ARE LOCATED IN CLOSE VICINITY

HARMER ARRESTOR, SIZED FOR THE APPLICATIONS IN ACCORDANCE WITH

- THE USE OF A PROPERLY SIZED FLUSH TANK IS ACCEPTABLE. 1.14 PROVIDE DIELECTRIC UNIONS FOR COUPLINGS AT ALL CONNECTIONS BETWEEN
- COPPER AND PIPING. 1.15 PROVIDE COMPLETE PLUMBING CENT SYSTEM AS REQUIRED BY O.B.C. AND LOCAL

# AUTHORITIES. 2.0 MATERIALS

2.1 UNDERGROUND WATER MAINS SHALL BE P.V.C. CERTIFIED TO CAN/CSA-B137.3 "RIGID POLYVINYL CHLORIDE PIPE FOR PRESSURE APPLICATIONS" MINIMUM PRESSURE RATING 1034 KPA (150 PSI) SIZE 100 MM (4") DIA. TO 200 MM (8") DIA.

SOME MUNICIPALITIES REQUIRE THAT BURIED P.V.C. WATER MAINS MUST BE DUCTILE IRON ENTERING A BUILDING. CONTACT THE LOCAL AUTHORITY HAVING JURISDICTION. DUCTILE IRON WATER MAINS SHALL CONFORM TO ANSI/AWWA C151/A21-51 AND SHALL HAVE A CEMENT-MORTAR LINING IN CONFORMANCE WITH

ANSIAWWA C104/A21-4. 2.2 UNDERGROUND WATERMAINS 50 MM (2") DIA. AND SMALLER SHALL BE TYPE "K" SOFT COPPER CERTIFIED TO ASTM B88. "SEAMLESS COPPER WATER TUBE". SOLDER JOINTS ARE NOT PERMITTED IN UNDERGROUND WATERMAIN SYSTEMS. SOLDER JOINTS ABOVE GROUND SHALL CONFORM TO ANSI B16-18 OR

2.3 ALL ABOVE GROUND DOMESTIC WATER PIPES - COPPER TYPE 'L', ASTM B88, THIRD PARTY CERTIFIED WITH LEAD-FREE SOLDER.

B16-22. FLARED JOINT SETTINGS SHALL CONFORM TO ANSI B16-26.

# 3.0 VALVES FOR DOMESTIC HOT AND COLD WATER DISTRIBUTION

3.1 DOMESTIC AND NON-POTABLE HOT AND COLD WATER:

# - TYPE OF PIPING: TYPE "L" COPPER

PRESSURE RATING: 1380 KPA (200 PSIG) W.O.G.

CLEARANCE FOR RISING STERN TYPE.

# 1. GATE VALVES

- 65 MM (2-1/2") & UNDER - ALL BRONZE, SOLDER ENDS; - 75 MM (3") AND OVER - IRON BODY, BRONZE MOUNTED, FLANGED.

INSTALL BALL VALVES ON HOT AND COLD WATER RISER CONNECTIONS (UP TO 50 MM (2")) TO MAIN RUNS.

MANUFACTURER CATALOGUE NO. 75 MM (3") & 65 MM (2-1/2") & UNDER

RISING STERN NON-RISING STERN RISING STERN NON-RISING STERN RED WHITE 281A 421A 465-1/2C CRANE 459 KITZ 44

NOTE: USE NON-RISING STERN ONLY WHERE THERE IS INSUFFICIENT

# 2. GLOBE VALVES

- 50 MM (2") & UNDER - BRONZE, COMPOSITION DISC, SOLDER ENDS. MANUFACTURER CATALOGUE NO.

65 MM (2-1/2") & UNDER 75 MM (3") & OVER **RED WHITE** 400A CRANE KITZ **JENKINS** 106AP 2342

NOTE: USE COMPOSITION DISCS TO SUIT FLUID TEMPERATURE RATING.

# T BE USED IN A CEILING SPACE USED AS A RETURN AIR PLENUM.

# 3. BUTTERFLY VALVES

1065 KPA (150 PSI)WP; - 65 MM (2-1/2") AND OVER - IRON BODY, ALUMINUM BRONZE DISC, STAINLESS STEEL STERN, FULL EPDM LINER. LEVER OPERATION FOR SIZE 150 MM (6") AND UNDER. GEAR OPERATION FOR SIZE 200 MM (8") AND

CATALOGUE NO. MANUFACTURER

65 MM (2-1/2") AND OVER.

DISCS, SOLDER ENDS.

FLANGED.

WAFER 5121EL 6121EL JENKINS 220 EL 230 EL KEYSTONE

4. CHECK VALVES - 50 MM (2") & UNDER - BRONZE, SWING CHECK WITH REGRINDABLE BRONZE

- 65 MM (2-1/2") & OVER - IRON BODY, BRONZE MOUNTED, SWING CHECK,

NOTE: BUTTERFLY VALVES MAY BE ISED IN LIEU OF GATE OR GLIBE VALVES,

### MANUFACTURER CATALOGUE NO.

	50 MM (2") & UNDER		65 MM (2-1/2") & OVER
CRANE	1342 `´	374	, ,
JENKINS	4092	587	
RED WHITE	236		435A
KITZ	22	78	

3.2 INSTALLATION:

1. REFER TO SECTION 15050 PIPING INSTALLATION.

2. INSTALL VALVES AT THE FOLLOWING LOCATIONS: EACH RISER BASE - EACH MAIN BRANCH - EACH SINGLE PLUMBING FIXTURE;

- WHERE INDICATED IN THE CONTRACT DOCUMENTS.

# 3.3 PRESSURE REDUCING VALVES

- 1. CLAYTON SERIES 90-B OR 90-BKT OR APPROVED EQUAL PRESSURE REDUCING VALVES (PILOT OPERATED) WITH IRON BODY, BRONZE & RESILIENT
- TRIM. FOR SMALLER THAN 32 MM (1-1/4") USE CRD-KT 1725 (250 PSI) 2. INSTALL PRESSURE REDUCING VALCE ASSEMBLIES COMPLETE WITH 3

# VALVE BY-PASS STRAINER AND OUTLET PRESSURE GAUGE CONNECTION. 3.4 BACKFLOW PREVENTERS

 LAWN IRRIGATION WATTS #909 SERIES OR APPROVED EQUAL BACKFLOW PREVENTER ASSEMBLY CONSISTING OF TWO CHECK VALVES AND A PROTECTION ZONE WITH A PRESSURE DIFFERENTIAL RELIEF VALVE TO ATMOSPHERE, 1725 KPA (250 PSI) WORKING PRESSURE, USE SCREWED CONNECTIONS TO 50 MM (2") SIZE, FLANGED CONNECTIONS FOR LARGER SIZED VALVES. BRONZE OR CAST IRON

BODY. BRONZE TRIM, AND STAINLESS STEEL PILOT TRIM, BACKFLOW PREVENTER CERTIFIED TO CAN/CSA B-64. 2. CARBONATED BEVERAGE MACHINES & TEA/COFFEE MACHINE:

WATTS NIDEK SD-2 DUAL CHECK WITH ATMOSPHERIC PORT. ALL OTHER APPLICATIONS:

WATTS SERIES 007QT, CERTIFIED TO CSA STANDARD B64.

### ALL HEATING, COOLING, AND REFRIGERATION EQUIPMENT AND WERE SPECIFIED IN THE CONTRACT DOCUMENTS.

CAN/CSA-B181.2 SIZES 75 MM (3") DIA., OR

CGSB-34-GP-22 (CSA APPROVED), OR

4.0 DRAINAGE PIPES AND FITTINGS - INSIDE BUILDING 4.1 UNDERGROUND SANITARY AND STORM

1. TRANSITE SOILE PIPE WITH JOHN MANSVILLE RING-TITE SOIL FITTINGS CGSB-34-GP-22 (CSA APPROVED), OR

2. CLASS 4000 CAST IRON MECHANICAL JOINT PIPE AND FITTINGS WITH

4. INSTALL BACKFLOW PREVENTERS AT DOMESTIC WATER CONNECTIONS TO

MECHANICAL STAINLESS STEEL COUPLINGS, CSA-B70-1971, OR 3. PVC DRAIN WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO

4. ABS DRAIN. WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO CAN/CSA-B181.1 FOR SIZES 75 MM (3") DIA., OR 5. PROFILE (RIBBED) PVC SEWER PIPE AND FITTINGS CERTIFIED TO CAN/CSA-

B182.4 FOR STORM SEWERS 200 MM (8") DIA. TO 600 MM (24") DIA. ONLY.

GROUND, 75 MM AND LARGER 1. TRANSITE SOILE PIPE WITH JOHN-MANSVILLE RING-TITE SOIL FITTINGS

4.2 SOIL, WASTE, AND VENT STACKS, DRAINS AND RAINWATER LEADERS ABOVE

2. CLASS 4000 CAST IRON MECHANICAL JOINT PIPE AND FITTINGS WITH MECHANICAL STAINLESS STEEL COUPLINGS, CSA-B70-1971, OR

LEAD CONTENT), OR 4. PVC DRAIN WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO

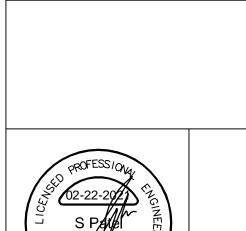
3. DWV COPPER WITH CAST BRASS OR WROUGHT COPPER DRAINAGE

CAN/CSA-B181.1 AND CAN/CSA-B181.2 (SOLVENT WELD ONLY).

5. NOTE: ALL PVC OR ABS TYPE PIPING TO BE USED ABOVE GROUND SHALL BE CONFIRMED TO BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION IF ACCEPTABLE AND USED, IT SHALL BE PROVIDED WITH U.L.C. LISTED AND APPROVED FIRE STOP DEVICE AT ALL PENETRATIONS OF ANY FIRE SEPARATION.

FITTINGS AND SOLDER JOINTS (SOLDERING TO CONTAIN NOT MORE THAN 0.2%

6. PLASTIC PIPING SHALL NO



Read this drawing in conjunction with all

Architectural, Structural and Mechanical Drawings

# REVISIONS

ISSUED FOR PERMIT



#1-1100 Sutton Dr. Burlington, ON L7L 6R6

**P:**(905) 332-8888

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PROJECT:

2.22.2021

# WORKSHOP/CUSTOM

22575 LAKE RIDGE RD. PORT BOLSTER, ON

DRAWN BY: WK 2021-02-22 JOB #:

SHEET TITLE:

OF 4

21-004 SHEET 2

NOTES

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4.3 SOIL, WASTE, AND VENT STACKS, DRAINS 65 MM DIA. AND SMALLER:

- DWV COPPER PIPING WITH WROUGHT COPPER SOLDER JOINTS FOR ABOVE GRADE. (BELOW GRADE, PROVIDE TYPE "L" OR TYPE "K" COPPER PIPING.)
- ABS DRAIN, WASTE AND VENT PIPE AND PIPE FITTINGS CERTIFIED TO CAN/CSA-B181.1 WHERE ENCLOSED IN WALLS.
- 3. NOTE: ALL PVC OR ABS TYPE PIPING TO BE USED ABOVE GROUND SHALL BE CONFIRMED TO BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION. IF ACCEPTABLE AND USED, IT SHALL BE PROVIDED WITH U.L.C. LISTED AND APPROVED FIRE STOP DEVICE AT ALL PENETRATIONS OF ANY FIRE SEDARATION
- 4. PLASTIC PIPING SHALL NOT BE USED IN A CEILING SPACE USED AS A RETURN AIR PLENUM.

# 4.4 PIPE INSTALLATION

- FOR PIPE INSTALLATION, REFER TO SECTION 15000.
- 2. FOR EXCAVATION AND BACKFILLING, REFER TO SECTION 15000.
- 3. CLASS 4000 MECHANICAL JOINT CAST IRON SOIL PIPE AND MECHANICAL JOINT COUPLINGS SHALL BE OF ONE MANUFACTURER.
- 4. LAY UNDERGROUND PIPING STRAIGHT AND TRUE TO LINE AND GRADE WITH UNIFORM INVERT, SPIGOT ENDS ON GROOVE SHALL POINT IN DIRECTION
- OF FLOW.

  5. MINIMUM UNDERGROUND PIPE SIZE SHALL BE 75 MM (3").

# 5.0 CLEANOUTS

- 5.1 INSTALL CLEANOUTS IN STORM AND SANITARY DRAINAGE PIPING IN THE
- BUILDING DRAINS LEAVING BUILDING ON UPSTREAM SIDE OF EXTERIOR WALL.
- 2. CHANGES OF DIRECTION MORE THAN 45°.
- ON HORIZONTAL BRANCHES AND MAIN DRAINS AT INTERVALS NOT EXCEEDING 15 METERS (50') FOR 100 MM (4") OR SMALLER, AND 30 METERS (100') FOR 150 MM (60") AND LARGER.
- 4. DRAIN FROM SINK, KITCHEN PIPING, OR GREASE WASTE PIPING, AT INTERVALS NOT EXCEEDING 6 METERS (20') FOR ALL SIZES OF PIPE.
- 5. ENDS OF ALL HORIZONTAL DRAINAGE LINES.
- 6. BASE OF SOIL OR WASTE STOCKS AND RAINWATER LEADERS.
- 7. WHERE REQUIRED BY BUILDING AND PLUMBING CODES.

# 5.2 GENERAL REQUIREMENTS:

- 1. CLEANOUTS SHALL BE FULL FOR PIPES UP TO 100 MM (4") AND NOT LESS THAN 100 MM (4") FOR LARGER SIZES.
- CLEANOUTS SHALL BE OF THE FOLLOWING TYPES:

   BARRETT TYPE FITTING WITH BOLTED COVERPLATE AND GASKET;
   FITTING WITH THREADED PLUG.
   CLEANOUT FERRULES INSTALLED IN "Y" OR EXTENTED "Y".

### 5.3 PRODUCTS

- 1. ACCEPTABLE MANUFACTURERS: JAY R. SMITH, MIFAB, ZURN, WATTS (JAY R. SMITH NOTED FOR REFERENCE).
- 2. OUTSIDE AREAS HEAVY DUTY SERIES 4250.
- 3. UNFINISHED CONCRETE SERIES 4250.
- 4. LINO TILED AREA SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 5. CERAMIC TILE FLOOR SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 6. TERRAZO TILE FLOOR SERIES 4200 (SQUARE), SERIES 4180 (ROUND)
- 7. LATEX DECK/MEMBRANE FLOOR SYSTEMS SERIES DX4343 (ROUND).
- 8. CARPETED AREA SERIES 4160 (SQUARE), SERIES 4140 (ROUND).
- 9. CLEANOUTS SHALL BE DUCO CAST IRON WITH SECURED NICKEL BRONZE

# 5.4 INSTALLATION

- LOCATE CLEANOUTS TO BE READILY ACCESSIBLE WITH SUFFICIENT CLEARANCES FOR RODDING AND CLEANING.
- EXTEND CLEANOUTS TO FINISHED FLOOR OR WALL UNLESS EXPOSED IN UNFINISHED BASEMENT AREA, PIPE TUNNEL, ACCESSIBLE CRAWL SPACE, OR MECHANICAL ROOM.
- 3. IN WET FLOOR AREA, EXTEND CLEANOUT TO WALLS OR PROVIDE WITH GASKETTED WATERPROOF TOP.
- 4. WHERE CLEANOUTS PASS THROUGH WATERPROOF FLOOR OR ARE INSTALLED IN SLABS ON GRADE, PROVIDE CLEAMING COLLAR AND CLAMP TO MEMBRANE OR PROVIDE LEAD FLASHING TO SUIT.
- 5. ON OUTSIDE DRAINS, BRING CLEANOUT TO GRADE AND ANCHOR IN CONCRETE COLLAR.
- 6. ALL CLEANOUTS IN FINISHED AREAS SHALL BE THE SAME SHAPE (SQUARE OR ROUND).
- 7. COVER CLEANOUTS CONCEALED BEHIND FINISHED WALLS WITH ROUND CHROMED, BRONZE, OR STAINLESS ACCESS PLATE SECURED TO CLEANOUT WITH 6 MM (1/4") DIA. COUNTER SUNK MACHINE SCREW. COVERPLATE SHALL BE SUFFICIENTLY LARGE FOR ACCESS AND RODDING. INSTALL CLEANOUT NO MORE THAN 25 MM (1") BEHIND FACES OF FINISHED WALLS.

# 6.0 DRAINS

- UNLESS OTHERWISE SPECIFIED ON DRAWINGS, USE THE FOLLOWING:
- 6.1 F.D. FLOOR DRAIN FOR HEAVY TRAFFIC WATTS SERIES FC-300, EPOXY COATED CAST IRON BODY WITH SERRATED CLAMPING FLANGE, ADJUSTABLE COLLAR AND NON-TILT (7") 178 MM DIAMETER EPOXY COATED CAST IRON TRACTOR GATE.
- 6.2 F.D. FLOOR DRAIN FOR FINISHED SPACES WATTS SERIES FD-100-C, EPOXY COATED CAST IRON BODY WITH SERRATED CLAMPING FLANGE, ADJUSTABLE COLLAR AND NON-TILT (6") 152 MM DIAMETER NICKEL BRONZE STRAINER.
   6.3 R.D. ROOF DRAIN WATTS SERIES RD-200-BED SUITABLE FOR CONVENTIONAL
- ROOF SYSTEMS, CAST IRON BODY ROOF DRAIN WITH UNDERDECK CLAMP BEARING PAN AND ALUMINUM DOME, FOR I.R.M.A. CONSTRUCTION TYPE ROOF USE ANCON SERIES RD-100-BED WITH ALUMINUM DOME (OR AS SPECIFIED ON FLOOR PLAN).
- 6.4 ACCEPTABLE MANUFACTURERS: JAY R. SMITH, MIFAB, ZURN, WATTS

# 7.0 MATERIALS INSIDE BUILDING

# 7.1 GAS PIPING

- ENTIRE NATURAL GAS INSTALLATION SHALL CONFORM TO NATIONAL STANDARD OF CANADA CAN/CSA-B149.M86 NATURAL GAS INSTALLATION CODE AS PREPARED BY CANADIAN GAS ASSOCIATION AND IN ACCORDANCE WITH THE LATEST LOCAL AMENDMENTS. PIPING SHALL BE SCHEDULE 40 BLACK CARBON STEEL PIPE COMPLYING WITH ASTM-A53. FITTINGS SHALL BE EITHER MALLEABLE IRON OR STEEL SCREWED FITTINGS COMPLYING WITH ANSI-B16.3.
- A READILY ACCESSIBLE MANUAL SHUT-OFF VALVE SHALL BE INSTALLED FOR EACH APPLIANCE AND SHALL BE OF EITHER LUBRICATED PLUG, OR ACCENTRIC TYPE. ALL GAS PIPING SHALL BE PAINTED YELLOW-ORANGE BY GENERAL CONTRACTOR.

# 7.2 REFRIGERANT PIPING

SUCTION AND LIQUID LINES HALL BE TUPE A.C&R COPPER WITH SOLDER TYPE FITTINGS USING 95/9 SILVER SOLDER. EVACUATE COMPLETED SYSTEM WITH VACUM PUMP TO ENSURE REMOVAL OF MOISTURE. RECHARGE WITH FREON TO MANUFACTURER'S SPECIFICATIONS. THOROUGHLY CHECK ENTIRE SYSTEM WITH LEAK DETECTOR WHEN UNDER PRESSURE AND REPAIR ANY LEAK.

### 8.0 INSULATION

# 8.1 GENERAL

- INSULATION SHALL BE APPLIED ON CLEAN, DRY SURFACES AND ONLY AFTER TESTS AND APPROVALS REQUIRED HAVE BEEN COMPLETED.
- ALL PIPE INSULATION SHALL BE CONTINUOUS THROUGH WALL AND
  CEILING OPENINGS AND SLEEVES. SUITABLE FIRE STOPS SHALL BE INSTALLED
  WHERE REQUIRED.
- 3. INSULATION ON ALL COLD SURFACES MUST BE APPLIED WITH A CONTINUOUS, UNBROKEN VAPOUR SEAL.
- 4. HANGERS, SUPPORTS, ANCHORS, ETC., THAT ARE SECURED DIRECTLY TO COLD SURFACES, MUST BE ADEQUATELY INSULATED AND VAPOUR SEALED TO PREVENT CONDENSATION.
- 5. ALL SURFACE FINISHES SHALL BE EXTENDED TO PROTECT ALL SURFACES, ENDS, AND RAW EDGES OF INSULATION.
- 6. ALL DOMESTIC HOT AND COLD WATER PIPING SHALL BE INSULATED.
- 8.2 PLUMBING AND PIPING INSULATION
  - PIPE INSULATION: FLASS FIBER INSULATION WITH FACTORY APPLIED JACKET; JOHN-MANVILLE MICRO-LOK 650 OR APPROVED EQUAL.
- JACKET EXPOSED: CANVAS FREE A VAPOUR BARRIER JACKET,
  CONSISTING OF A WHITE GLASS FIBER SURFACE BONDED TO AN
- JACKET CONCEALED: ALL PURPOSE A VAPOUR BARRIER JACKET, CONSISTING OF A HIGH INTENSITY WHITE KRAFT PAPER SURFACE BONDED TO AN ALUMINIZED FILM AND REINFORCED WITH A GLASS FIBER YARN.
- FITTINGS: PRE-MOULDED ONE PIECE PVC INSULATED FITTING COVERS; JOHN-MANVILLE ZESTON OR APPROVED EQUAL.
- A. DOMESTIC COLD WATER: DOMESTIC HOT WATER SUPPLY:
- DOMESTIC HOT WATER SUPPLY:
  DOMESTIC HOT WATER RETURN:
- AMBIENT TEMPERATURE PIPE SIZE THICKNESS

  BELOW 35°F ALL 1-1/2"
- B. AIR CONDITIONING UNIT RUNOUTS AND DRAIN LINES
- ALL RUNOUTS FROM RISER MAIN TO THE AIR CONDITIONING UNITS AND AIR CONDITIONING UNIT DRAIN LINES SHALL BE INSTALLED WITH FLEXIBLE FOAM, CLOSED CELL STRUCTURE, PLASTIC INSULATION; JOHNS-MANVILLE AEROTUBE OR APPROVED EQUAL.

PIPE SIZE THICKNESS

### UP TO 3" 1/2" 4" AND OVER 3/4"

# 9.0 PLUMBING FIXTURES

ABOVE 35°F

- 9.1 REFER TO DRAWING FOR PLUMBING FIXTURE SCHEDULE.
- 9.2 SHOCK ABSORBERS SHALL BE ANCON SG CERTIFIED.
- 9.3 ACCESS PANEL SHALL BE ANCON-LEHAGE L-1001 HEAVY DUTY ACCESS DOORS.
- 9.4 WATTS AND ZURN AREA ACCEPTABLE ALTERNATIVES.
- 9.5 BACKFLOW PREVENTER SHALL BE WILKINS MODEL NO. WTTP-30 OR APPROVED EQUAL.
- 9.6 DOMESTIC HOT WATER EXPANSION TANK SHALL BE WATTS MODEL DET-12 FOR POTABLE WATER USE OR APPROVAL EQUAL.
- 9.7 NON-FREEZE HOSE BIB (WALL HYDRANT) SHALL BE ANCON MODEL HY-725, ENCASED NON-FREEZE WITH INTEGRAL VACUUM BREAKER.
- 9.8 PROVIDE LAVATORY PROTECTIVE ENCLOSURES FOR THE BARRIER FREE WASHROOM(S). ALL CLEARANCES AS REQUIRED BY CODE SHALL BE MAINTAINED.
- 10.0 COVERING AND INSULATION
- 10.1 INSULATEALL DOMESTIC HOT AND COLD WATER PIPING AND FITTINGS AND ALSO HORIZONTAL STORM DRAIN FOR MINIMUM SIX (6) METRES FROM ROOF DRAINS WITH 38 MM PRE-MOULDED, LOW PRESSURE, GLASS FIBER INSULATION. COVER ALL INSULATION WITH A VAPOUR BARRIER JACKET ADHERED AT LOGITUDINAL LAPS AND JOINT SEAL STRIPS WITH A SUITABLE VAPOUR BARRIER LAP CEMENT.

# SANITARY & STORM DRAINAGE SYSTEMS

### 1.0 SANITARY DRAINAGE SYSTEM

COMBUSTIBLE PIPE AND FITTING REQUIREMENTS: (O.B.C., 3.2.6. "LOW-RISE" CONSTRUCTION)

PIPE AND FITTINGS LOCATED INSIDE A BUILDING ABOVE THE LOWEST FLOOR IN A "SANITARY DRAINAGE SYSTEM" SHALL BE IPEX "SYSTEM 15" PVC-DWV OR EQUAL ALTERNATE. IN COMPLIANCE WITH THE ONTARIO BUILDING CODE 7.2.5.12.(1), THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND CERTIFIED TO CAN/CSA-B181.2 FOR DRAIN, WASTE AND VENT APPLICATIONS. IN ADDITION, IN COMPLIANCE WITH THE REQUIREMENTS OUTLINED IN THE O.B.C. 3.1.5.16.(1)(A), WHEN INSTALLED IN BUILDINGS CLASSIFIED AS "LOW-RISE NONCOMBUSTIBLE", THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND LISTED TO CAN/ULC-S102.2-M AND HAVE A "FLAME-SPREAD RATING" NOTE GREATER THAN "25".

### 2.0 STORM DRAINAGE SYSTEM

COMBUSTIBLE PIPE AND FITTING REQUIREMENTS: (O.B.C., 3.2.6. "LOW-RISE" CONSTRUCTION)

PIPE AND FITTINGS LOCATED INSIDE A BUILDING ABOVE THE LOWERST FLOOR IN A "STORM DRAINAGE SYSTEM" SHALL BE IPEX "SYSTEM 15" PVC-DWV OR EQUAL ALTERNATE. IN COMPLIANCE WITH THE ONTARIO BUILDING CODE 7.2.5.12 (2), THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND CERTIFIED TO CAN/CSA-B181.2 FOR DRAIN, WASTE AND VENT APPLICATIONS. IN ADDITION, IN COMPLIANCE WITH THE REQUIREMENTS OUTLINED IN THE O.B.C. 3.1.5.16(1)(A), WHEN USED IN BUILDINGS CLASSIFIED AS "LOW-RISE NONCOMBUSTIBLE", THIS PIPE AND FITTING SYSTEM SHALL BE TESTED AND LISTED TO CAN/ULC-S102.2-M AND HAVE A "FLAME-

# 3.0 COMBUSTIBLE PIPING PENETRATIONS (O.B.C. 3.1.9.4)

SPREAD RATING" NOT GREATER THAN "25".

# REQUIREMENTS:

ALL COMBUSTIBLE PIPING PENETRATIONS THROUGH VERTICAL OR HORIZONTAL "FIRE SEPARATIONS" SHALL COMPLY WITH THE REQUIREMENTS DESCRIBED IN THE O.B.C. 3.1.9.4.(1) THROUGH (8) AND PROVIDE A FIRESTOP SYSTEM THAT HAS BEEN TESTED AND LISTED TO THE TEST STANDARD CAN/ULC-S115-M WITH A PRESSURE DIFFERENTIAL OF 50 PA. IN ADDITION, THE MANUFACTURER SHALL PROVIDE DOCUMENTATION CONFIRMING COMPLIANCE TO THE REQUIRED STANDARD. (IT SHOULD BE NOTED THAT SENTENCE (4),(B) AND SENTENCE (6) RESTRICTS THE USE OF ALL COMBUSTIBLE PIPING WITHIN AN AREA DESIGNATED AS A "VERTICAL

# 4.0 SOLVENT WELDING

IT IS THE RESPONSIBILITY OF THE SELECTED TRADE CONTRACTOR TO CONTACT THE MANUFACTURER (IPEX INC.) PRIOR TO INSTALLATION AND ARRANGE A DEMONSTRATION FOR PROPER SOLVENT WELDING PROCEDURES AS WELL AS RECOMMENDED SOLVENT CEMENT TYPES.

# 5.0 EXPANSION / CONTRACTION

COMPENSATION SHALL BE PROVIDED TO ACCOMODATE EXPANSION /
CONTRACTION ON THE DRAINAGE SYSTEM. IT IS RECOMMENDED THAT THERE BE
COMPENSATON ON EVERY SECOND FLOOR (OPPOSITE THE RISER CLAMP) FOR THE
VERTICAL PIPING SYSTEM. CONSULT PIPE SYSTEM MANUFACTURER FOR SPECIFIC
DETAILS REGARDING APPROVED COMPENSATION METHODS.

NOTE: THE ABOVE ONTARIO BUILDING CODE (O.B.C.) REFERENCES ARE TAKEN FROM THE 2008 EDITION AND SHOULD BE VERIFIED BY THE TRADE CONTRACTOR BEFORE PROCEEDING.

IN ADDITION, TO ENSURE COMPATIBILITY, PERFORMANCE AND MATERIAL QUALITY, IT IS RECOMMENDED THAT THE PIPE AND FITTING DRAINAGE SYSTEM SHALL BE PRODUCED BY THE SAME MANUFACTURER.

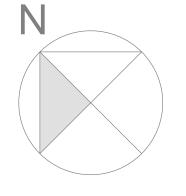
FURTHERMORE, THE MANUFACTURER OF THE PIPE AND FITTING SYSTEM SHALL BE CONTACTED BY THE TRADE CONTRACTOR PRIOR TO THE INSTALLATION TO OBTAIN PRECISE INSTALLATION INSTRUCTIONS. AS WELL, SITE MEETINGS SHALL BE ARRANGED AND INCLUDE THE CONTRACTOR, MANUFACTURER AND BUILDING INSPECTOR

- 1. THE CONTRACTO FOR THIS DIVISION OF WORK IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW DRAWINGS FOR ALL DIVISIONS OF WORK AND IS RESPONSIBLE FOR THE COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
- 2. ALL ROOF CUTTING, PATCHING AND FLAGSHIP REQUIRED TO INSTALL THE PLUMBING SYSTEMS SHALL BE BY A LANDLORD APPROVED ROOFING CONTRACTOR AT THIS CONTRACTOR'S EXPENSE. COORDINATE ROOF PENETRATIONS WITH LANDLORD AND THE GENERAL CONTRACTOR.
- 3. ALL PLUMBING AND DRAINAGE WORK SHALL BE INSTALLED AS REQUIRED BY ONTARIO PLUMBING CODE AND ONTARIO BUILDING CODE, REVISED TO DATE, AND SHALL MEET THE REQUIREMENTS OF ALL PROVINCIAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.

4. CONTRACTOR TO ENSURE INCOMING WATER PRESSURE. BACKFLOW PREVENTER

INSTALL BOOSTER PUMP IF INCOMING WATER PRESSURE IS LOW.

SIZE BASED ON INCOMING PRESSURE OF 50 - 60 PSI. CONTRACTOR TO SUPPLY AND



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



REVISIONS

DATE DESCRIPTION

2.22.2021 ISSUED FOR PERMIT



**P**:(905) 332-8888

www.lakelandengineering.ca

Do not scale drawings. Contractor must verify all dimensions and advise the designer of any errors or ommissions. No variations or modifications to work shown shall be implemented without prior written approval. All previous issues of this drawing is superseded by the latest revisions. All drawings and specifications remain the property of Lakeland Engineering.

PROJECT:

WORKSHOP/CUSTOM GARAGE

> 22575 LAKE RIDGE RD. PORT BOLSTER, ON

SHEET TITLE:

DRAWN BY: WK

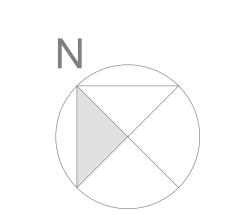
DATE: 2021-02-22

JOB #: 21-004

SHEET 3

NOTES

OF 4



Read this drawing in conjunction with all Architectural, Structural and Mechanical Drawings



REVISIONS					
DATE	DESCRIPTION	I			
2.22.2021	ISSUED FOR F	PERMIT			

LAKELAND

#1-1100 Sutton Dr. Burlington, ON L7L 6R6 **P:**(905) 332-8888 www.lakelandengineering.ca

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PROJECT:

# WORKSHOP/CUSTOM GARAGE

22575 LAKE RIDGE RD. PORT BOLSTER, ON

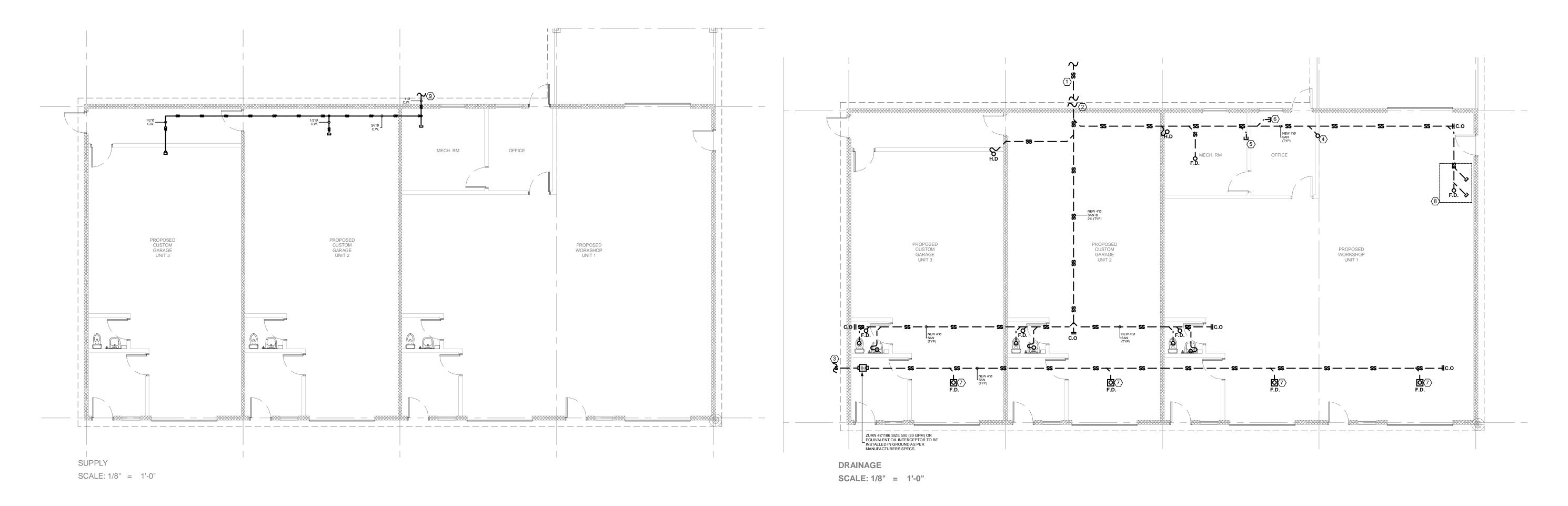
SHEET TITLE:

OF 4

DRAWN BY: WK DATE: 2021-02-22 JOB #: 21-004

SHEET 4

PLUMBING



# **PLUMBING KEY NOTES**

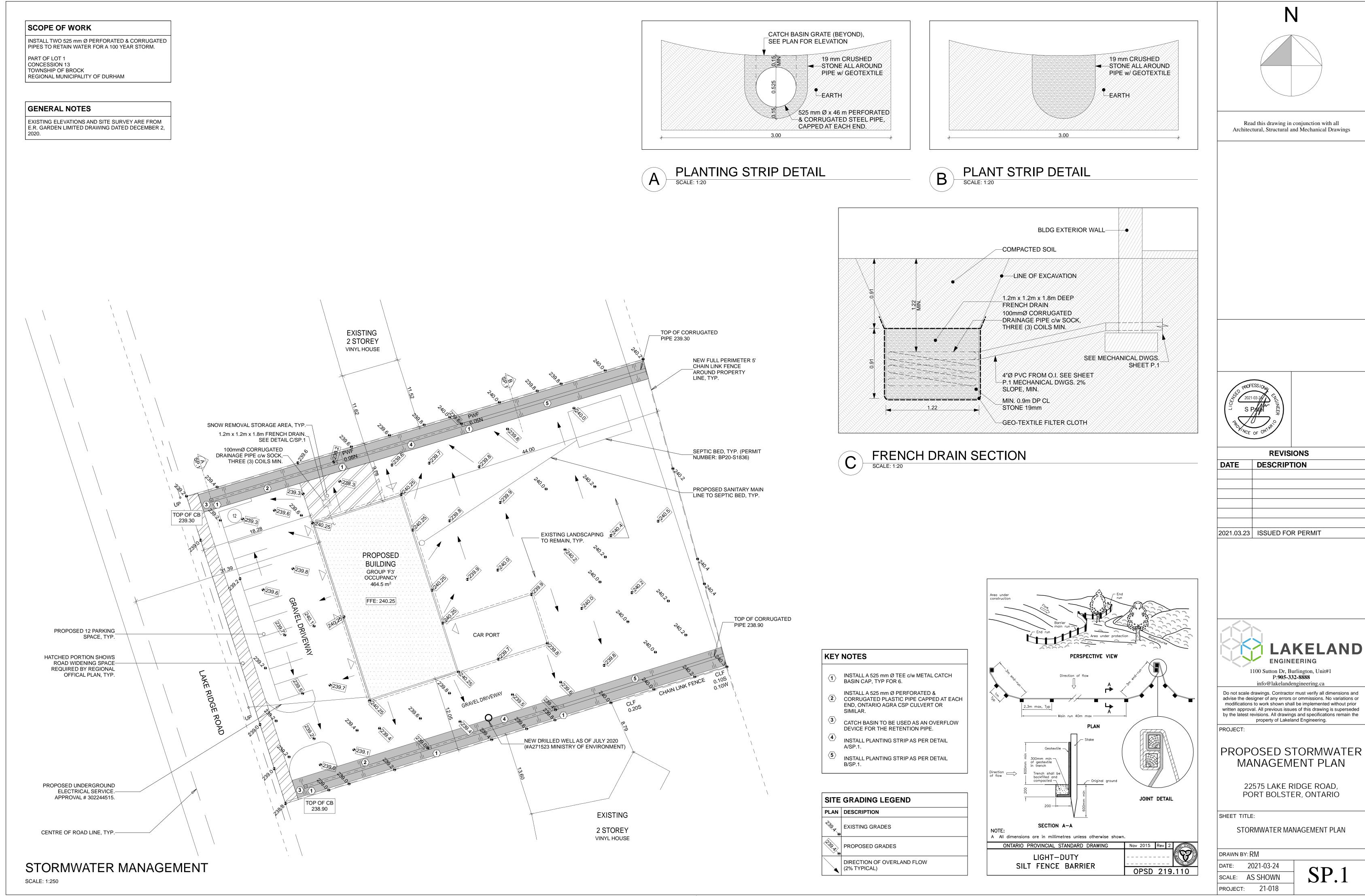
- SAN TO SEPTIC TANK. SEPTIC TANK BY OTHERS.
- (2) CONNECT NEW 4"Ø TO SEPTIC TANK SANITARY. CONTRACTOR TO CONFIRM SIZE & LOCATION ON SITE.
- (3) NEW 4"Ø SAN OUT TO FRENCH DRAIN. FRENCH DRAIN BY OTHERS. 4"Ø SAN STACK TO ABOVE, CAPPED FOR FUTURE USE.
- 5 2"Ø SAN CAPPED FOR FUTURE USE.
- 6 1-1/2"Ø SAN CAPPED FOR FUTURE USE.
- $\langle \overline{7} \rangle$  12/12 SQUARE FLOOR DRAIN.
- 8 SAN ROUGH-IN FOR FUTURE WASHROOM.
- 9 INCOMING 1" D.C.W FROM WELL. WELL BY OTHERS.

# PLUMBING LEGEND

	D.C.W LINE
	D.H.W. LINE
- — ss — —	SANITARY SEWER LINE
c.o <b>  </b> -	CLEAN OUT
H.D. <b>Y</b>	HUB DRAIN

- PLUMBING FIXTURE CONNECTIONS -					
FIXTURES	WASTE	VENT	COLD WATER	HOT WATER	
WATER CLOSET (Tank Type)	3"	1-1/2"	1/2"	-	
LAVATORY	1-1/2"	1-1/4"	1/2"	1/2"	
SINK	1-1/2"	1-1/4"	1/2"	1/2"	
SLOP SINK	2"	1-1/2"	1/2"	1/2"	
SHOWER STALL	3"	1-1/2"	1/2"	1/2"	
DISHWASHER	2"	1-1/2"	-	1/2"	
URINAL	2"	1-1/2"	3/4"	=	
GREASE INTERCEPTOR	2"	1-1/2"	-	=	
FLOOR DRAIN	3"	1-1/2"	-	-	
HUB DRAIN	3"	1-1/2"	-	-	
FUNNEL FLOOR DRAIN	3"	1-1/2"	-	-	

1-1/2" 1-1/4" 1/2" -





# REGIONAL MUNICIPALITY OF DURHAM

WORKS DEPARTMENT PROPERTY ACCESS APPLICATION  Nº 005767						
OWNER'S NAME TONY MANCINI FORMER OWNER'S NAME TELEPHONE 416-688-5520 MAR 29, 202						
THE UNDERSIGNED HEREBY APPLIES FOR ACCESS FROM REGIONAL ROAD 23 LAKE RIDGE RO TO THE PREMISES DESCRIBED AS FOLLOWS  NAME & NUMBER  LOT OR HSE. NO.   CONCESSION / PLAN NUMBER / STREET   TOWNSHIP   PORT   MUNICIPALITY						
PROPOSED ACCESS WIDTH EXISTING ACCESS	E EXISTING	DATE REQUIRED EXPIRY DATE IF TEMP.				
TYPE: PERMANENT TEMPORARY ALTERATION TO EXISTING	USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FARM BUILDINGS FARM LAND	CULVERT CURB CUT CURB REPLACEMENT				
COST DISTRIBUTION	SEWER APPLICATION NUMBER WATER APPLICATION NUMBER	763 <u>4</u> 43 <u>2</u> 8501				
CULVERT DIAMETER 450mm x LENGTH 3.5 m @ = 1800 LENGTH OF CURB CUT						
SKETCH (NOT TO SCALE)  CONC RD 14 RD. NAME OR NO.  BOULEVARD  SKETCH (NOT TO SCALE)  B22575 LOT OR HOUSE NO.  INDICATE NORTH RD. NAME OR NO.						
LAKE RIDGE RD #23  ROAD NAME & NUMBER  REMARKS REMOVE EXISTING AND REPLACE WITH ONE AND HALF  LENGTHS OF 450mm CULVERT.						
AGREEMENT  I HEREBY REQUEST THE REGIONAL MUNICIPALITY OF DURHAM TO INSTALL THE ABOVE DRIVEWAY OPENING(S)  AND AGREE TO PAY THE REGION THE TOTAL COST THEREOF AS DETERMINED BY THE COMISSIONER OF WORKS IN ACCORDANCE WITH THE REGION'S POLICY GOVERNING DRIVEWAY OPENINGS. I FURTHER AGREE THAT THE REGIONAL MUNICIPALITY OF DURHAM IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY PORTION OF THE DRIVEWAY SURFACE WITHIN THE REGIONAL ROAD ALLOWANCE.  SIGNED:OWNER/AGENT  ADDRESS						

Page 150 of 151

APPROVED: REGION OF DURHAM

### THE CORPORATION OF THE TOWNSHIP OF BROCK

### **BY-LAW NUMBER 3042-2021**

BEING A BY-LAW TO APPOINT A DEPUTY CLERK FOR THE CORPORATION OF THE TOWNSHIP OF BROCK PURSUANT TO SECTION 228 and 228(2) OF THE MUNICIPAL ACT, S.O. 2001, AS AMENDED

**WHEREAS** section 228 of the Municipal Act, S.O. 2001, as amended, obligates municipalities to appoint a Clerk to perform such duties as prescribed within the Municipal Act and the other Acts of Revised Statutes of Ontario;

**AND WHEREAS** section 228(2) of the Municipal Act, S.O. 2001, as amended provides that Council may appoint Deputy Clerks to perform such duties as prescribed within the Municipal Act and other Acts of the Revised Statues of Ontario;

**NOW THEREFORE** the Council of the Corporation of the Township of Brock enacts as follows:

- 1. THAT **Ingrid SveInis** be and is hereby appointed Deputy Clerk for the Corporation of the Township of Brock whose duties shall be as provided for in the Municipal Act and other Acts of the Revised Statutes of Ontario together with such other duties as may be assigned by Council.
- 2. THAT this By-law shall come into force and effect on the date of its passage.

THIS BY-LAW READ A FIRST, SECOND AND THIRD TIME THIS 26<sup>th</sup> DAY OF APRIL, A.D., 2021.

Mayor	Deputy Clerk
John Grant	Deena Hunt